

# Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

PLN: **PLN2019-00362**

BLD: **RECEIVED**

SEP 12 2019

### Applicant/Owner Information

Applicant: **TIM PATTERSON**

Mailing Address: **3550 Carter Drive #32, South  
South San Francisco, CA**

San Mateo County  
Planning Division

Zip: **94080**

Phone.W: **9563372919**

H:

E-mail Address: **tep1993@outlook.com**

FAX:

Name of Owner (1): **same**

Mailing Address:

Zip:

Phone.W:

H:

E-mail Address:

Name of Owner (2):

Mailing Address:

Zip:

Phone.W:

H:

E-mail Address:

### Project Information

Project Location (address):

**Cedar St. cross of Drake St.**

**Montara, CA**

Zoning: **RM-CZ**

Assessor's Parcel Numbers: **036 — 132 — 210**

Parcel/lot size: **6975**

SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

**New construction of SFD on vacant parcel with recorded easement off Cedar St., Montara.**

**Primary structure is a 2450 sq. ft. two story home with attached 470 ft. two car garage and 60 sq. ft covered entry porch. Utilities will have to be extended and improved from**

**Drake to accommodate water, gas and sewer for sprinkler system per MWSD requirements.**

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

**Existing parcel has mild slope, vacant, semi cleared, wooded, accessible from Cedar St.**

**Property is a triangular flag lot starting 65 Ft. back (west) of Cedar curb line.**

Describe Existing Structures and/or Development:

**No existing structures**

**Tree removal will be required at direction of arborist,**

**Tree removal schedule attached**

### Submittals

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: 

Owner's signature:

Applicant's signature:

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SEP 12 2019 Planning and Building Department

# Application for Design Review by the County Coastside Design Review Committee

San Mateo County Government Center • 455 County Center • Redwood City CA 94063  
Planning Division Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN 2019-00362

Other Permit #: \_\_\_\_\_

## Applicant Information

### Applicant:

Name: Tim Patterson  
Address: 3550 Carter Drive #32 South  
San Francisco Zip: 94980  
Phone, W: 9563372919 H: \_\_\_\_\_  
Email: tep1993@outlook.com

### Owner (if different from Applicant):

Name: same  
Address: 3550 Carter Drive #32 South  
Zip: 95776  
Phone, W: \_\_\_\_\_ H: \_\_\_\_\_  
Email: \_\_\_\_\_

### Architect or Designer (if different from Applicant):

Name: Skyline Corp.  
Address: 1720 E. Beamer Street, Woodland Ca Zip: 95776  
Phone, W: 80033867003 H: \_\_\_\_\_ Email: skyline homes.com

## Project Site Information

### Project location:

APN: \_\_\_\_\_  
Address: 036-132-210 Cedar St. cross Drake  
Montara (no address) Zip: 94037  
Zoning: \_\_\_\_\_  
Parcel/lot size: 6975 sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

## Project Description

### Project:

- New Single Family Residence: 3,010 sq. ft.
- Total living under roof (two story) incl. garage
- Other: \_\_\_\_\_

### Describe Project:

Build new SFD to submitted design  
on vacant parcel in Montara, CA.

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

**2. Material and Finish of Proposed Buildings or Structures**

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	hardiplank		<input type="checkbox"/>
b. Trim	smart composit trim	see attached	<input type="checkbox"/>
c. Windows	white vinyl dual pane	materials	<input type="checkbox"/>
d. Doors	stanley /steel panel	schedule page w/	<input type="checkbox"/>
e. Roof	class a fiberglass	neighborhood	<input type="checkbox"/>
f. Chimneys	stainless	photos	<input type="checkbox"/>
g. Decks & railings	redwood		<input type="checkbox"/>
h. Stairs	concrete		<input type="checkbox"/>
i. Retaining walls	block		<input type="checkbox"/>
j. Fences	redwood		<input type="checkbox"/>
k. Accessory buildings	non ap		<input type="checkbox"/>
l. Garage/ Carport	garage to match home		<input type="checkbox"/>


**3. Required Findings**

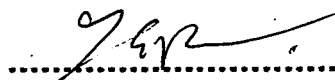
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

**4. Certification**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

  
 Owner: \_\_\_\_\_

  
 Applicant: \_\_\_\_\_

09/12/19  
 Date: \_\_\_\_\_

09/12/19  
 Date: \_\_\_\_\_

# Application for a Variance

## Companion Page

455 County Center, 2nd Floor Redwood City, CA • 94063  
Mail Drop PLN 122 • Phone: 415 • 363 • 4161 Fax: 415 • 363 • 4849

Applicant's Name: **PATTERSON**

Primary Permit#:

Please fill out the general Planning Permit Application Form and this form when applying for a Variance. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form and a parcel constraints map.

Specific zoning requirements for which a variance is sought:

(Example: 10 ft. side setbacks)

Relief from RM-CZ parcel setbacks is requested to meet adjacent zone setbacks consistent with adjoining subdivision dwellings. The triangular parcel differs in shape and could not be developed without variance.

Zoning ordinance section numbers:

What you propose instead:

Proposed is a 12 foot rear setbacks with a 10 ft. front and side setback.

Note: that the adjoining front parcel with easement access is owned by Caltrans and is not planned for development. At the minimum subject parcel is located 65' from the Cedar roadway. Similar side and rear setbacks have been noted in the residential district.

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required findings. Please attach a brief statement in which you present evidence to support the required findings.

**a. The parcel's location, size, shape, topography and/or other physical conditions vary substantially from those of other parcels in the same zoning district or vicinity.**

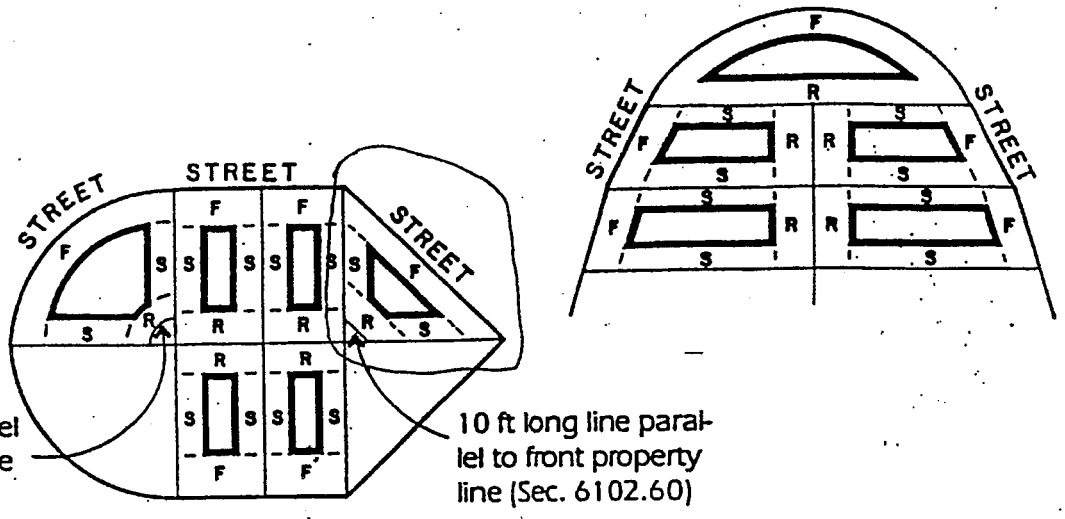
**b. Without the variance, the landowner would be denied the rights and privileges that are enjoyed by other landowners in the same zoning district or vicinity.**

**c. The variance does not grant the landowner a special privilege which is inconsistent with the restrictions placed on other parcels in the same zoning district or vicinity.**

**d. The variance authorizes only uses or activities which are permitted by the zoning district.**

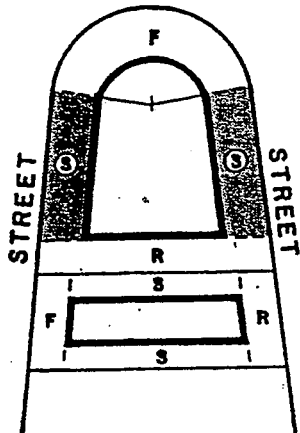
**e. The variance is consistent with the objectives of the General Plan, the Local Coastal Program (LCP) and the Zoning Regulations.**



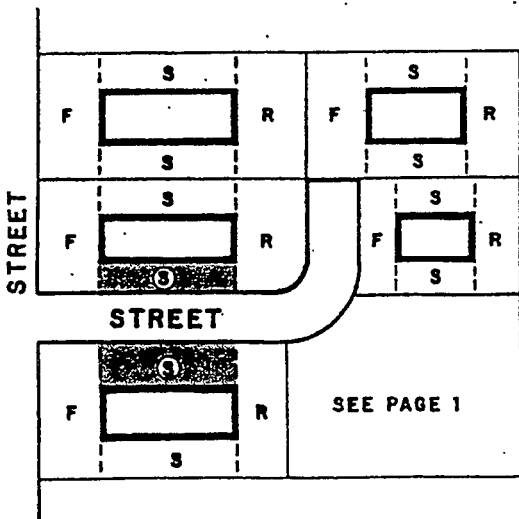
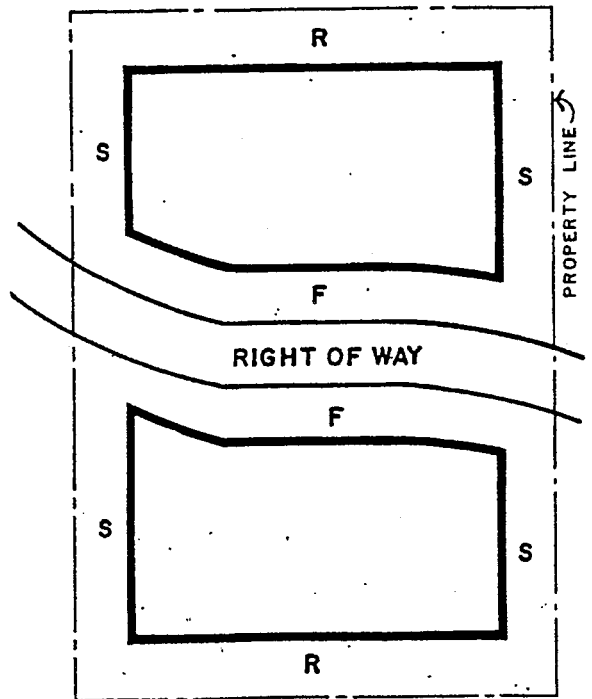


10 ft long arc parallel to front property line (Sec. 6102.60)

10 ft long line parallel to front property line (Sec. 6102.60)



When legal parcel is split by a road:



Occasionally, a public or private road (serving 2 or more parcels) will bisect a legal parcel. In this case, the front yard setbacks will be taken from the road easement rather than from any other property line.

**Environmental Information Disclosure Form**

PLN 2019-00362

PLN \_\_\_\_\_  
BLD \_\_\_\_\_

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SEP 12 2019

Project Address: Cedar St. MONTARA

Cross Street Drake

Assessor's Parcel No.: 036 — 132 — 210

Zoning District: RM-CZ

Name of Owner: Tim Patterson

Address: 3550 Carter Drive #32, San Mateo County Planning Division  
Ca. 94080 Phone: 956.3372919

Name of Applicant: same

Address: \_\_\_\_\_  
Phone: \_\_\_\_\_

**Existing Site Conditions**

Parcel size: 6975 sq ft

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). No development on site. Wooded, access to parcel per easement recorded

No development on site. Wooded, access to parcel per easement recorded  
with county 10/25/2011 Rec. #2011-126128

**Environmental Review Checklist**

**1. California Environmental Quality Act (CEQA) Review**

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq. ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6' d.b.h. in Emerald Lake Hills area or ≥ 12' d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>report attached</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>250</u> c.y. Fill: _____ c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Clearing for project and diseased trees only report attached  
grading to permit foundation installation/ no permit anticipated

Signature required on reverse →

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of <b>10,000 sq. ft. or more of impervious surface?</b> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <b>Land disturbance of 1 acre or more of area?</b> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <b>prior</b> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

## Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:

(Applicant may sign)

Date: 09/12/19

San Mateo County  
Planning Division

# Application for a Coastal Development Permit

455 County Center, 2nd Floor • Redwood City, CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

## Companion Page

Applicant's Name: TIM PATTERSON  
Primary Permit #: PLN2019-00362

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

Does the owner or applicant own any adjacent property not listed?

Yes  No

If yes, list Assessor's Parcel Number(s):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes  No

If yes, explain (include date and application file numbers).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	SEE ATTACHED	_____	<input type="checkbox"/>
b. Trim	SCHEDULE OF	_____	<input type="checkbox"/>
c. Roof	MATERIALS/	_____	<input type="checkbox"/>
d. Chimneys	COLORS	_____	<input type="checkbox"/>
e. Accessory Buildings	_____	_____	<input type="checkbox"/>
f. Decks/Stairs	_____	_____	<input type="checkbox"/>
g. Retaining Walls	_____	_____	<input type="checkbox"/>
h. Fences	_____	_____	<input type="checkbox"/>
i. Storage Tanks	_____	_____	<input type="checkbox"/>

#### 4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |  | Yes                                 | No                                  |
|--|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units?<br>(If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| d. Beaches?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| e. Sand Dunes?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| g. Ridgetops?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| j. Grading or alteration of landforms?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| k. Landscaping?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| l. Signs?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| n. Areas subject to flooding?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

Tree removal to construct SFD

no grading permit required

landscape plan attached

Utilities extended per plan

attached. Underground utilities w/

exception of OH electrical

to cross Cedar St. 80' from

property corner

#### 5. Staff Use Only

##### California Coastal Commission Jurisdiction

**A.** Does the Proposed Project Involve:

1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?  
 Yes                       No
2. Construction or grading within 100 feet of a stream or wetland?  
 Yes                       No
3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?  
 Yes                       No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

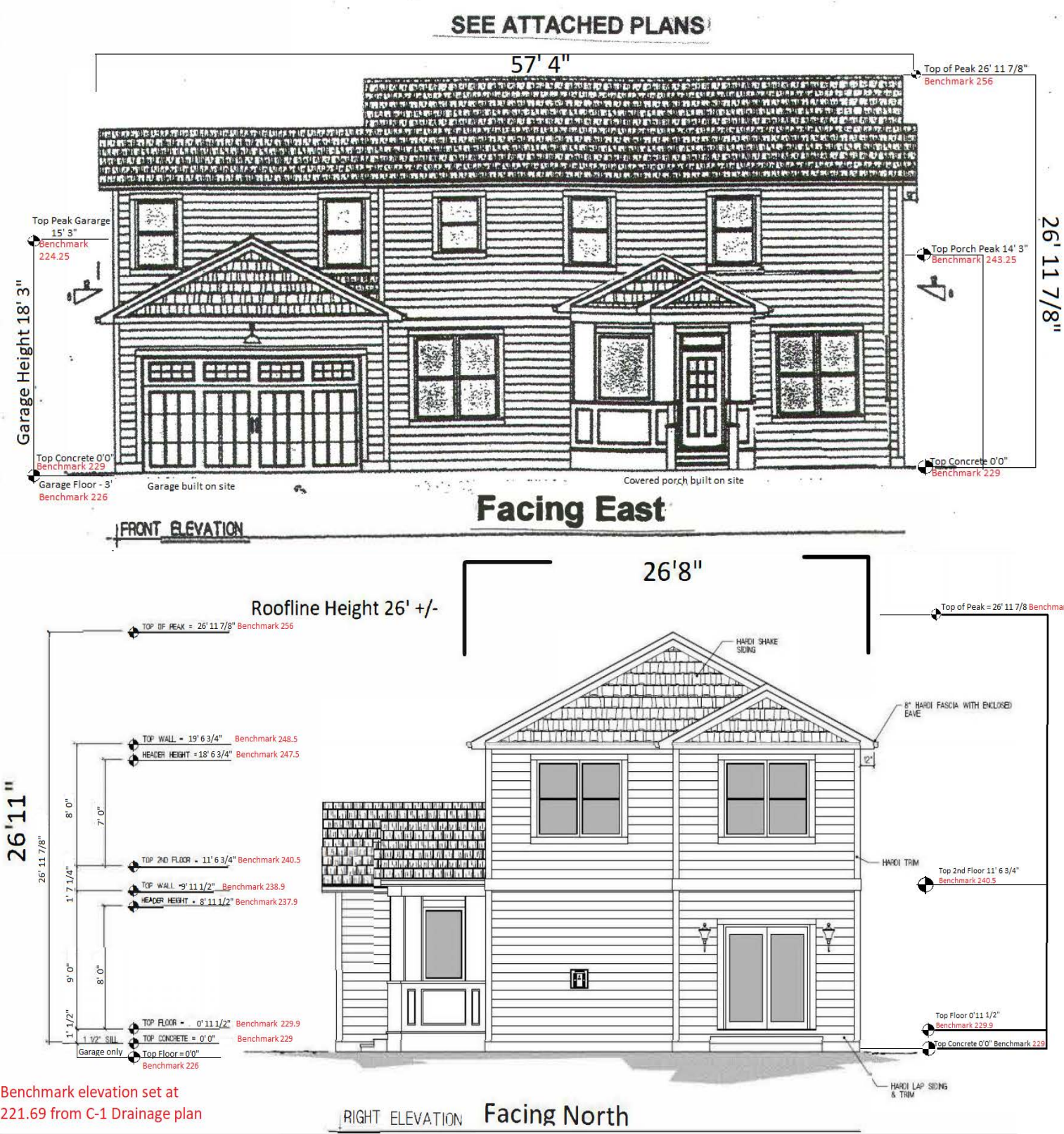
Commission; a public hearing is always required.

**B.** Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).  
 Yes                       No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: \_\_\_\_\_



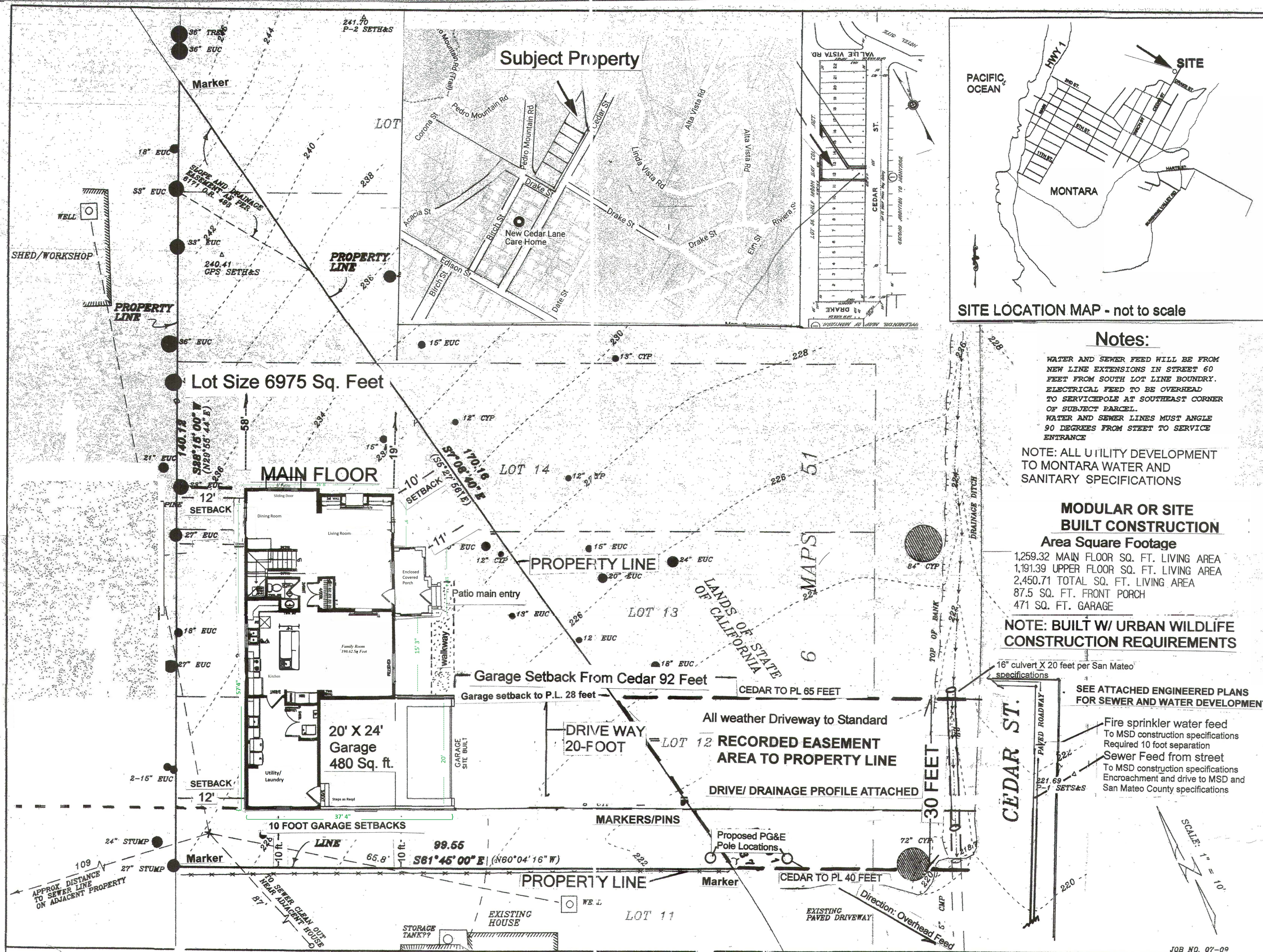


**PROPERTY COVERAGE MEASUREMENTS BY PERCENTAGE:**

**TOTAL PROPERTY AREA:  
6975 SQ. FEET**

**TOTAL LIVING AREA UNDER ROOF INCLUDING GARAGE AND PORCH  
3010 SQ. FT**  
**MAIN FLOOR: 1259 SQ. FT**  
**SECOND FLOOR: 1191 SQ. FT**  
**PORCH: 88 SQ. FT**  
**GARAGE: 471 SQ. FT**  
**TOTAL: 1730 SQ. FT**

**FOOTPRINT PERCENTAGE OF PROPERTY COVERED BY ALL STRUCTURES :  
26%**  
**TOTAL PERCENTAGE OF PROPERTY TO ALL AREAS UNDER ROOF:  
43%**

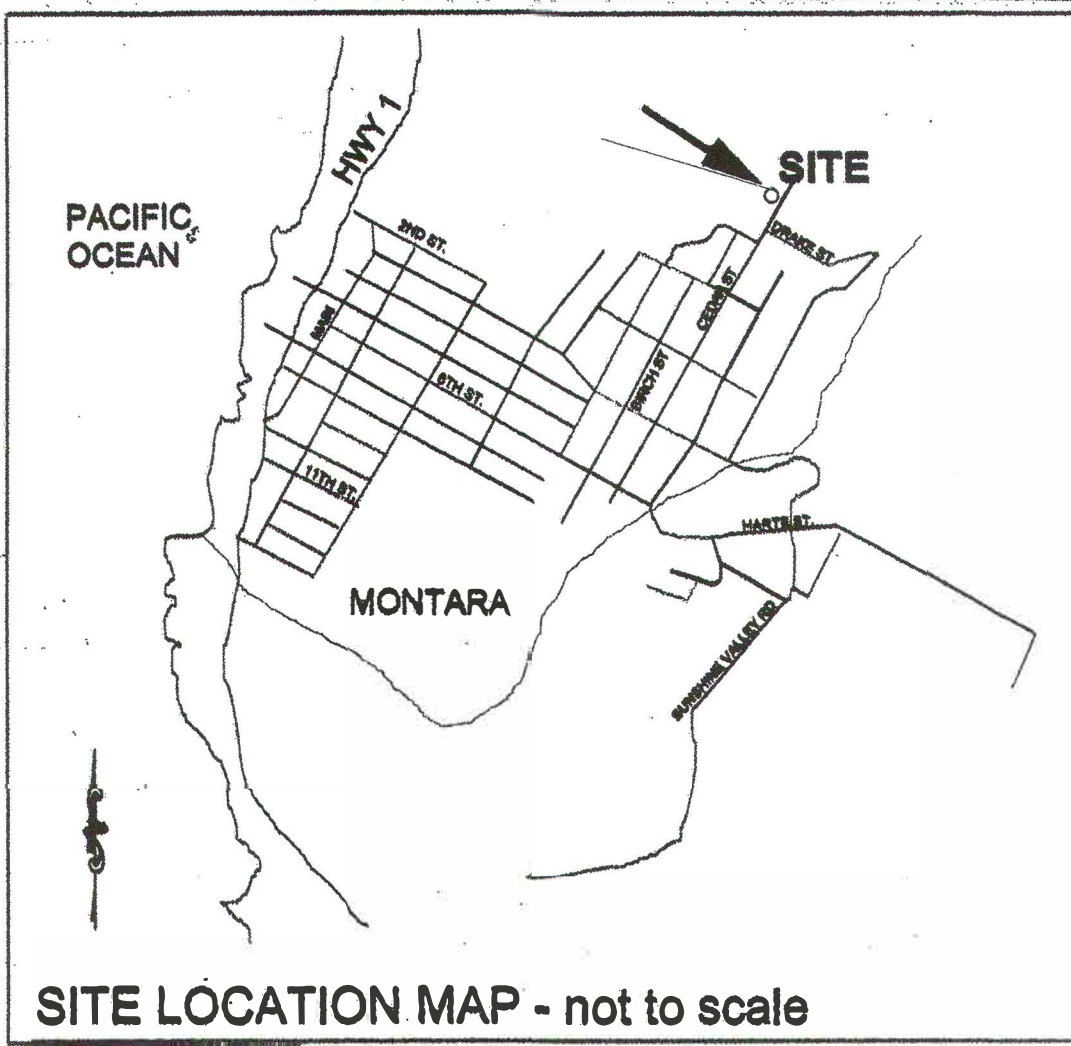


**SITE PLAN**

Scale 1" = 10 Feet

**NEW CONSTRUCTION  
SINGLE FAMILY RESIDENCE  
TIM PATTERSON  
CEDAR STREET  
MONTARA, CA  
036-132-210**

**PATTERSON SFD  
Montara, California  
San Mateo County**



**Notes:**

WATER AND SEWER FEED WILL BE FROM NEW LINE EXTENSIONS IN STREET 60 FEET FROM SOUTH LOT LINE BOUNDARY. ELECTRICAL FEED TO BE OVERHEAD TO SERVICE POLE AT SOUTHEAST CORNER OF SUBJECT PARCEL. WATER AND SEWER LINES MUST ANGLE 90 DEGREES FROM STREET TO SERVICE ENTRANCE.

NOTE: ALL UTILITY DEVELOPMENT TO MONTARA WATER AND SANITARY SPECIFICATIONS

**MODULAR OR SITE BUILT CONSTRUCTION**  
**Area Square Footage**  
 1,259.32 MAIN FLOOR SQ. FT. LIVING AREA  
 1,191.39 UPPER FLOOR SQ. FT. LIVING AREA  
 2,450.71 TOTAL SQ. FT. LIVING AREA  
 87.5 SQ. FT. FRONT PORCH  
 471 SQ. FT. GARAGE

**NOTE: BUILT W/ URBAN WILDLIFE CONSTRUCTION REQUIREMENTS**

SEE ATTACHED ENGINEERED PLANS FOR SEWER AND WATER DEVELOPMENT

Fire sprinkler water feed To MSD construction specifications Required 10 foot separation

Sewer Feed from street To MSD construction specifications Entrenchment and drive to MSD and San Mateo County specifications

MANUFACTURER:  
**SKYLINE**  
 1720 E BEAMER STREET  
 WOODLAND, CA. 95776  
 1-830-666-0974

SUBMITTAL CONSULTANT:  
 GAEA DESIGN  
 POWER HOUSE DESIGN GROUP  
 6808 DEVON DRIVE  
 LIBERTY TOWNSHIP, OH 45044  
 (613) 444.0519

**AGENT/CONTACT**  
 PETER EARNSHAW  
 AMERICAN DREAM HOMES  
 3120 SANTA ROSA AVE.  
 SANTA ROSA, CA 95407  
 (707)576-7498

DRAWN BY: LCL  
 DATE: 7.16.15  
 SCALE: NONE

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.		

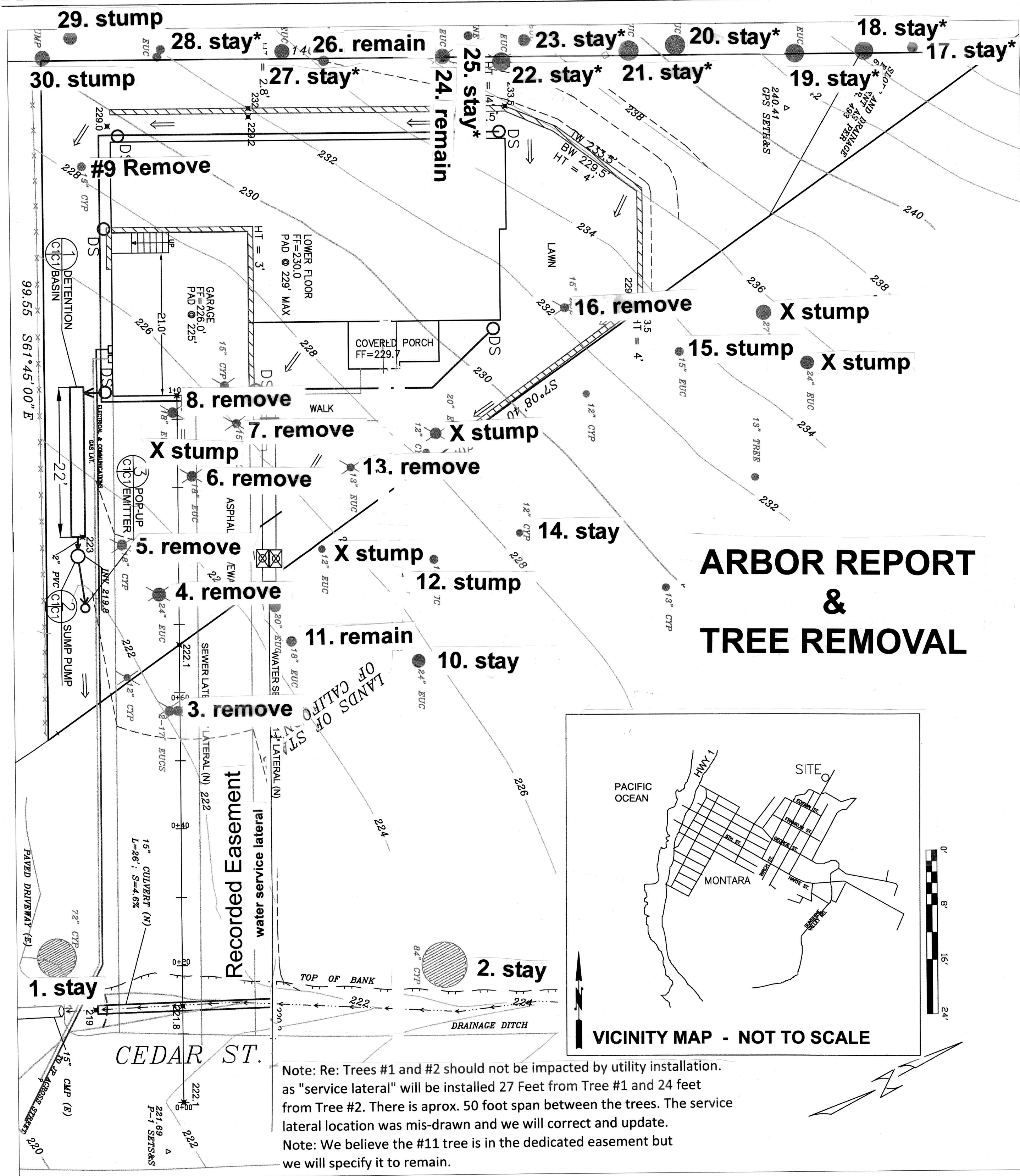
APPROVAL STAMPS:

**OWNER/APPLICANT**  
 TIM PATTERSON  
 3550 CARTER DR. #32  
 SOUTH SAN FRANCISCO,  
 CA. 94080

SHEET TITLE  
 SECTION VIEW  
 DRAWING NUMBER  
 SE1



UPDATED FEBRUARY 1, 2020



# ARBOR REPORT & TREE REMOVAL

Note: Re: Trees #1 and #2 should not be impacted by utility installation. as "service lateral" will be installed 27 Feet from Tree #1 and 24 feet from Tree #2. There is approx. 50 foot span between the trees. The service lateral location was mis-drawn and we will correct and update. Note: We believe the #11 tree is in the dedicated easement but we will specify it to remain.

The proposed water service line is very close to trees #10 and #12, within the lands of the state of California. If these two trees cannot be removed, the line should be moved at least 10 feet away from these two trees to keep impacts low. Excavation at the proposed distance could potentially have a high impact on tree stability and health. The proposed water line is also in close proximity to large cypress tree #2. If possible the water hook up should be at least 18 feet from cypress tree #2. The water line will need to be excavated with the use of an air knife in combination with hand tools when within 36 feet of cypress tree #2. No roots within 18 feet of this tree shall be cut. The line shall be tunneled underneath and between roots when possible to reduce impacts to the trees. This work shall be supervised by the Project Arborist. Impacts are expected to be minor if the above recommendations are followed.

Note: The owner has indicated that he will only be responsible for growth that is actually on his property and that tree stumps and growth that fall on the adjacent lines should remain to minimize any development impact.

Tree#	Species	DBH	CON	HT/SP	Comments
1	Monterey cypress ( <i>Hesperocyparis macrocarpa</i> )	72.6	70	65/50	Fair vigor, fair form, codominant at 8 feet, recommended to cable leaders and remove deadwood.
2	Monterey cypress ( <i>Hesperocyparis macrocarpa</i> )	73.0	70	60/45	Fair vigor, fair form, multi leader at 10 feet, well maintained.
3R	Blue gum ( <i>Eucalyptus globulus</i> )	34.4	45	75/25	Fair vigor, poor form, codominant at 6 feet with poor unions, suppressed, in grove.
4R	Blue gum ( <i>Eucalyptus globulus</i> )	25.4	50	75/20	Fair to poor vigor, fair form, dead wood in canopy, in grove.
5R	Monterey cypress ( <i>Hesperocyparis macrocarpa</i> )	23.1	45	50/20	Fair vigor, poor form, poor live crown ratio, suppressed by eucalyptus, topped in past.
6R	Blue gum ( <i>Eucalyptus globulus</i> )	22.7	30	70/20	Fair to poor vigor, poor form, decay at grade, hazard, poor live crown ratio, tall for DBH.
7R	Blue gum ( <i>Eucalyptus globulus</i> )	17.8	50	65/20	Fair vigor, poor form, tall for DBH, suppressed.
8R	Blue gum ( <i>Eucalyptus globulus</i> )	22.5	45	65/20	Fair vigor, poor form, tall for DBH, suppressed, heavier towards neighbor's property.
9	Monterey cypress ( <i>Hesperocyparis macrocarpa</i> )	16.8	45	20/20	Fair vigor, poor form, topped.
10*	Blue gum ( <i>Eucalyptus globulus</i> )	28.6	50	75/20	Good vigor, fair form, tall for DBH.
11*	Blue gum ( <i>Eucalyptus globulus</i> )	18.5	40	65/20	Poor vigor, poor form, decay at grade (root rot).
12*	Blue gum ( <i>Eucalyptus globulus</i> )	20.4	45	70/15	Poor vigor, poor form, tall for DBH, abundance of dead wood.
13R	Blue gum ( <i>Eucalyptus globulus</i> )	22.5	45	20/20	Fair vigor, poor form, tall for DBH, suppressed.
14*	Monterey cypress ( <i>Hesperocyparis macrocarpa</i> )	17.3	45	50/20	Fair vigor, poor form, tall for DBH, suppressed.
15*R	Blue gum ( <i>Eucalyptus globulus</i> )	27.8	40	75/20	Fair to poor vigor, poor form, suppressed, top of canopy leans at 45 degrees.
16R	Blue gum ( <i>Eucalyptus globulus</i> )	32.8	55	90/25	Good vigor, fair form, dominant tree.
17*	Blue gum ( <i>Eucalyptus globulus</i> )	30est	50	75/20	Fair vigor, fair to poor form, suppressed, n grove, history of limb loss, ivy to 40 feet.
18*	Blue gum ( <i>Eucalyptus globulus</i> )	30est	40	70/20	Fair to poor vigor, poor form, top failed in past, ivy to 40 feet.
19*	Blue gum ( <i>Eucalyptus globulus</i> )	30est	45	75/20	Fair to poor vigor, fair form, ivy to 40 feet.
20*	Blue gum ( <i>Eucalyptus globulus</i> )	30est	40	75/20	Fair vigor, poor form, codominant with over extended limbs, ivy to 40 feet.
21*	Blue gum ( <i>Eucalyptus globulus</i> )	30est	40	70/20	Poor vigor, poor form, topped in past.
22*R	Blue gum ( <i>Eucalyptus globulus</i> )	30est	45	70/20	Fair vigor, poor form, ivy to 40 feet, dieback.
23*R	Blue gum ( <i>Eucalyptus globulus</i> )	20est	40	60/20	Poor vigor, poor form, suppressed, ivy to 40 feet.
24R	Blue gum ( <i>Eucalyptus globulus</i> )	30.0	45	70/20	Fair vigor, poor form, ivy to 40 feet, dieback.
25*R	Blue gum ( <i>Eucalyptus globulus</i> )	20est	40	60/20	Poor vigor, poor form, suppressed, ivy to 40 feet.
26R	Blue gum ( <i>Eucalyptus globulus</i> )	20.0	40	60/20	Fair to poor vigor, poor form, suppressed, ivy growth in tree.
27*R	Blue gum ( <i>Eucalyptus globulus</i> )	30est	50	70/25	Fair vigor, fair form.
28*R	Blue gum ( <i>Eucalyptus globulus</i> )	20-20	40	60/20	Fair to poor vigor, poor form, codominant at grade.
29*R	Blue gum ( <i>Eucalyptus globulus</i> )	30est	0	4/0	DEAD, STUMP
30*R	Monterey cypress ( <i>Hesperocyparis macrocarpa</i> )	25est	0	10/0	DEAD, STUMP.

R-Indicates proposed or recommended tree removal \*-Indicates tree located on neighboring

Kielty Arborist Services LLC  
 Certified Arborist WE#0476A  
 P.O. Box 6187  
 San Mateo, CA 94403  
 650-515-9783

December 6, 2018

Timothy Patterson  
 tep1993@outlook.com

Site: Patterson Property on Cedar Street, Montara, CA

Dear Mr. Patterson,

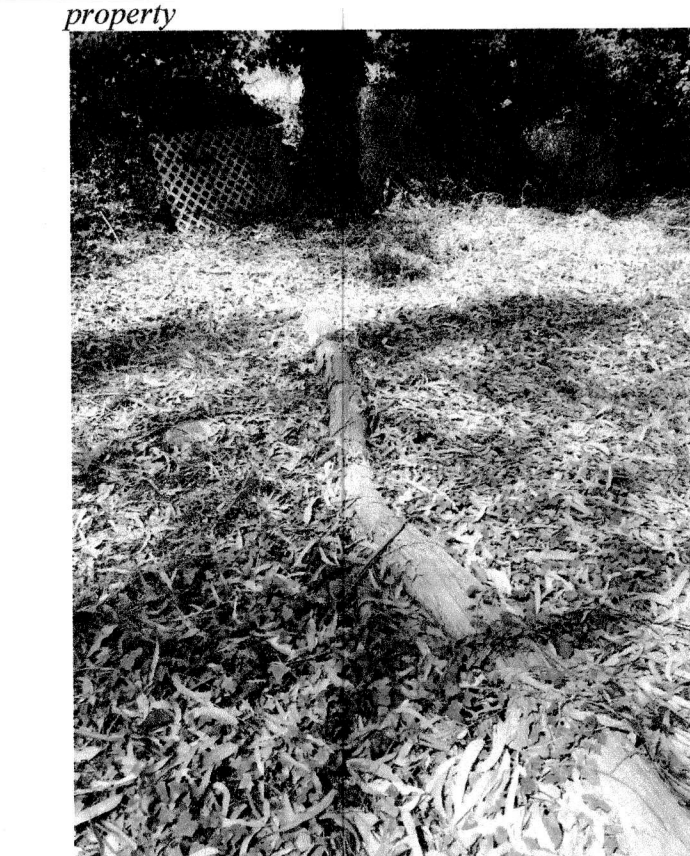
As requested on Thursday, October 11, 2018, I visited the above site to inspect and comment on the trees. A new home is proposed on this site, prompting the need for a tree survey and tree protection plan. This site is located on an undeveloped piece of land, and your concern for the future health and safety of the trees has prompted this visit. Civil plans C-1 and C-2 dated 3/19/18 were viewed for writing this report.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on site by the property owner. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.



**Summary:**  
 A new home is proposed on this undeveloped piece of land. It would be impossible to construct a home on this property without the removal of some of the trees. All of the trees on site are of a "Significant" size (protected) in the county of San Mateo. The trees proposed for removal are needed to be removed in order to construct a home on site. Blue gum eucalyptus trees have naturalized in this area and have taken over a large portion of the land. They can be considered an invasive species in this area, as the fog enables them to spread by natural means of seed dispersal. All eucalyptus trees on site had weevil damage on their leaves. In Australia, where the Eucalyptus trees are from, the eucalyptus weevils have natural enemies that suppress their numbers. This is not the case here in California, because there is no biological control for this insect, their numbers rapidly increase. Heavy infestations cause die back of shoots which may result in the development of epicormic shoots (watersprouts). These epicormic growth shoots are areas where limbs are weakly attached and will often fail. A eucalyptus limb at 70+ feet that fails can cause serious damage to person or building. Evidence of past large limb failures was evident on site, as large limbs were observed laying on the ground.

**Image showing history of limb loss on site**  
 mulch spread to a depth of 8 inches with plywood placed on top of the mulch. The plywood boards shall be attached together in a way that reduces movement. Straw wattle can be placed at the edge of the mulched area to reduce movement. Anytime vehicles or heavy machinery are to be in an area of bare soil when within 36 feet of the cypress trees, they must be on top of a landscape barrier. The landscape barrier will protect the soil within the tree root zones from compaction. Impacts from the proposed parking areas are expected to be nonexistent if the landscape barriers are adequately installed.

The proposed sewer line is 18 feet from cypress tree #1. This line is recommended to be excavated with the use of an air spade (air knife) in combination with hand tools when within 36 feet (6 times diameter) of cypress tree #1. All existing roots encountered within the trench must be exposed and remain as damage free as possible. The line must be tunneled underneath or between roots when possible. Root cutting shall stay as minimal as possible. The Project Arborist must be on site when excavation within 18 feet of this tree is to take place in order to document and inspect the work.

No roots shall be cut when within 18 feet (3 times diameter) of Monterey cypress tree #1 and #2 as these roots are critical for tree stability. The proposed driveway is located 7 feet from mature cypress tree #1 and 24 feet from cypress tree #2. It is recommended to construct the new driveway using biaxial geogrid (Tensar brand BX-1100) when within 36 feet (6 times diameter) of cypress tree #1 and #2. This geogrid can be pinned down over the existing soil surface as an underlayment which disperses loads laterally, and allows for building up a base section over the soil as a zero cut type driveway build. This will raise finished driveway grade elevation, but will also allow for thinning of the required base section thickness to as much as 50% below standard. Some initial grading will likely be needed to make a flat surface. Grading shall stay as minimal as possible. The maximum depth of excavation for the driveway allowed when within 18 feet from cypress tree #1 and #2 should be no greater than 4 inches. The Project Arborist must be on site to witness the construction of the driveway when within 36 feet of the cypress trees. Minor irrigation will be needed during the construction of the driveway. The top foot of soil shall be saturated in areas where no driveway will be located every 2 weeks during the construction of the driveway. Any roots to be exposed and retained or root ends that have been cut, must be wrapped in burlap and kept moist by keeping the burlap moist. If the above recommendations are followed, impacts to the trees are expected to be minor with no long term impacts.



# LANDSCAPE PLAN

SCALE: 12' PER INCH

SAN FRANCISCO APPROVED  
PLANTING FOR COASTAL AND FOG  
BELT AREAS

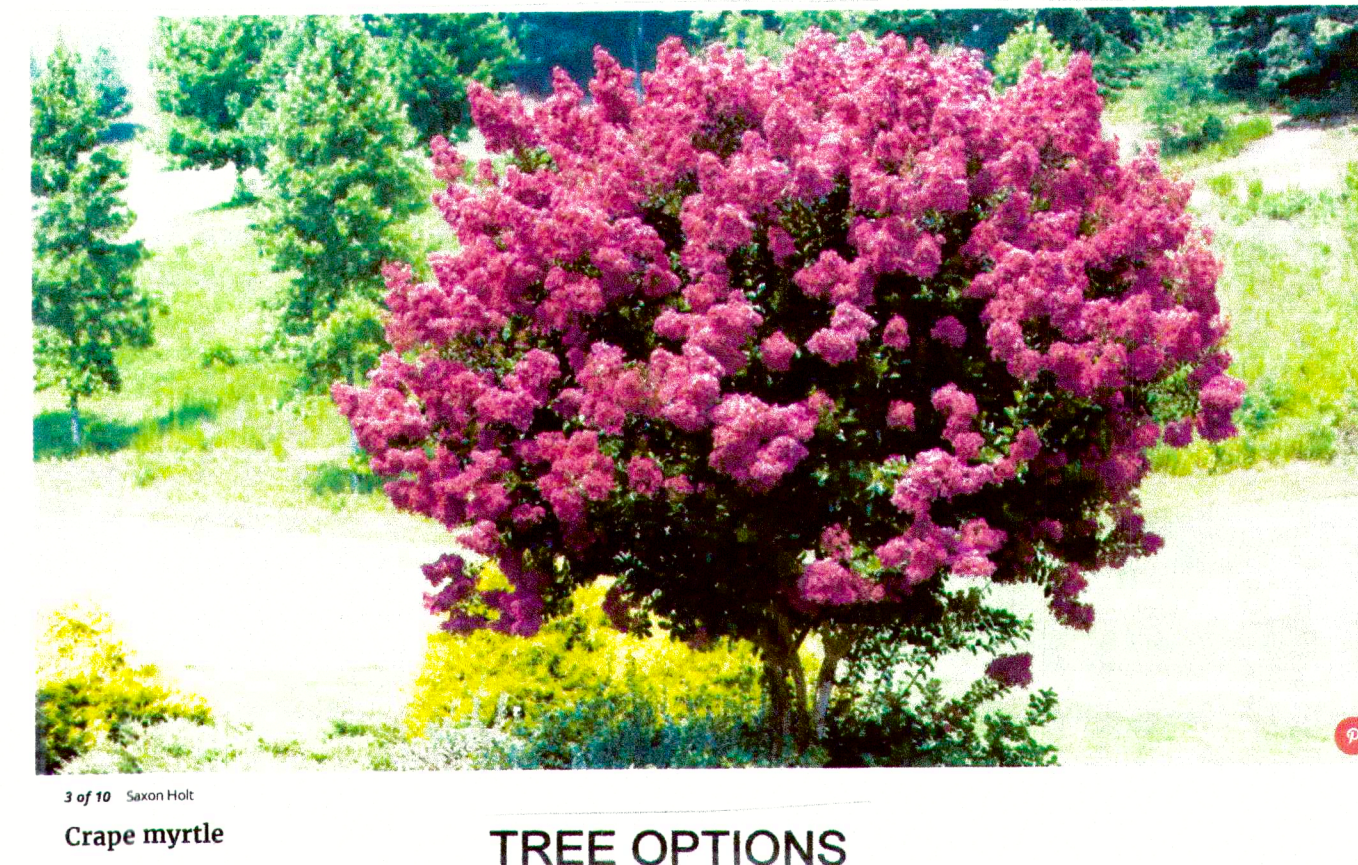
All Plants 1 gallon  
unless otherwise noted

SFPDP's Suggested Plants

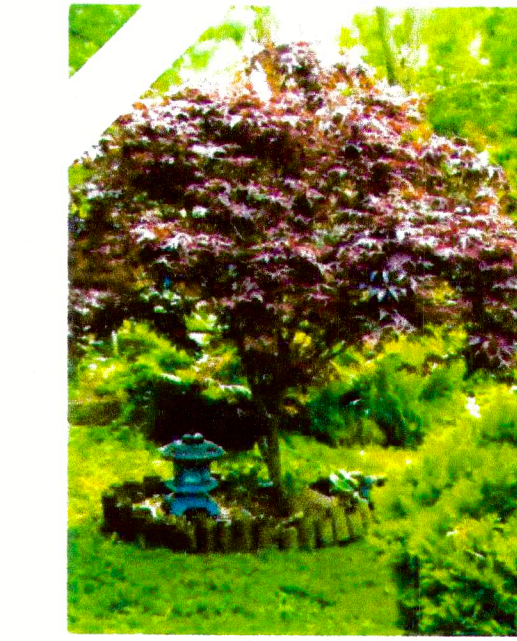
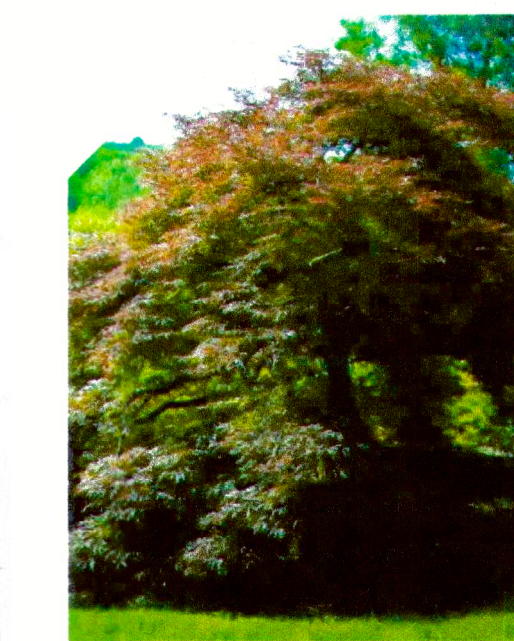
Plants that tolerate Shade, Part Shade, Wind, Seacoast and Fog (suited for Zone 1 in SF Climate Zone Map)

Photo	Name	Suitable Site Conditions				Number of Plants	Plant Size Height x Width
		Sun	Part Shade	Shade	Seacoast Fog/Wind		
<b>BORDER GRASS</b>							
	Elymus magellanicus Blue Wheatgrass	X	X		X	100	Up to 1.5 ft. x 1.5 ft.
	Fragaria chiloensis Beach Strawberry	X	X	X	X	10	4-8" x 12-18" spreading
	Helleborus foetidus Bear's foot hellebore	X	X			10	2.5 ft. x 2.5 ft.
	Helleborus orientalis Lenten Rose	X	X			10	up to 1.5 ft. tall
	Iris douglasiana	X	X		X	5	1.5 - 3 ft. Tall
	Pelargonium peltatum Ivy Geranium	X	X		X	5	1-1.5 ft x 3-5 ft trailing
	Phormium 'Dusky Chief' New Zealand Flax	X	X		X	5	3-4 ft. x 3-4 ft.
	Phormium 'Jack Pratt'	X	X		X	10	1.5 ft. x 1.5 ft.
	Phormium 'Tiny Tiger'	X	X		X	10	Up to 1 ft. x 1 ft.

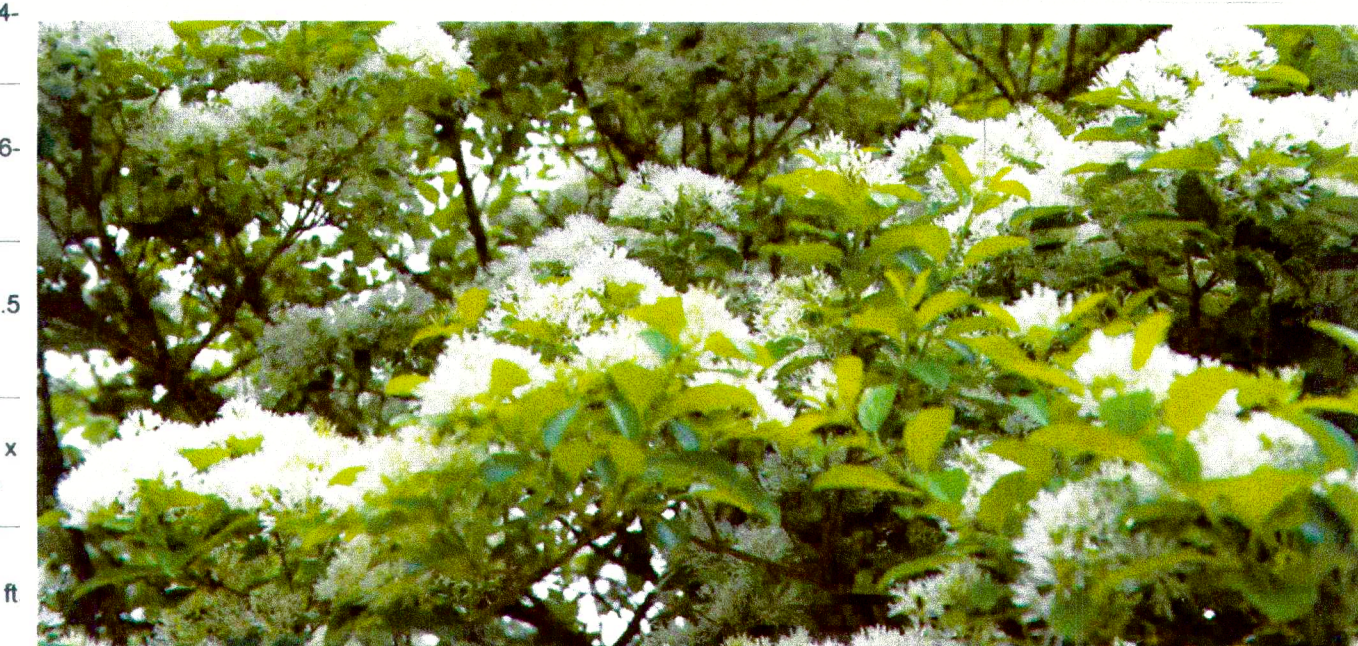
Photo	Name	Suitable Site Conditions				Number of Plants	Plant Size Height x Width
		Sun	Part Shade	Shade	Seacoast Fog/Wind		
	Acanthus mollis Bear's Breech		X	X		5	2-4 ft. x 3-4 ft.
	Agave attenuata 'Nova'	X	X	X	X	5	3-4 ft. x 3-4 ft.
	Arctostaphylos 'Emerald Carpet' Groundcover Manzanita	X			X	10	8-14" x 3-5 ft.
	Arctostaphylos uva ursi Radiant Bearberry	X	X		X	10	3-6" x 10 ft.
	Calamagrostis nutkanaensis Pacific Reed Grass		X	X	Fog only	Alternate only	2-3 ft. x 2-3 ft.
	Coprosma 'Verde Vista'	X	X		X	Alternate only	1-3 ft. x 4-6 ft.
	Correa 'Dusky Bells' Australian fuchsia	X	X	X	X	3	2-3 ft. x 6-8 ft.
	Delosperma cooperi Hardy iceplant	X	X		X	5	3 in. x 1.5 ft.
	Diets bicolor Fortnight Lily	X	X		X	3	2-3 ft. x 2-3 ft.
	Diets indiooides African Iris	X	X		X	3	3 ft. x 3 ft.



TREE OPTIONS



Citrus Trees

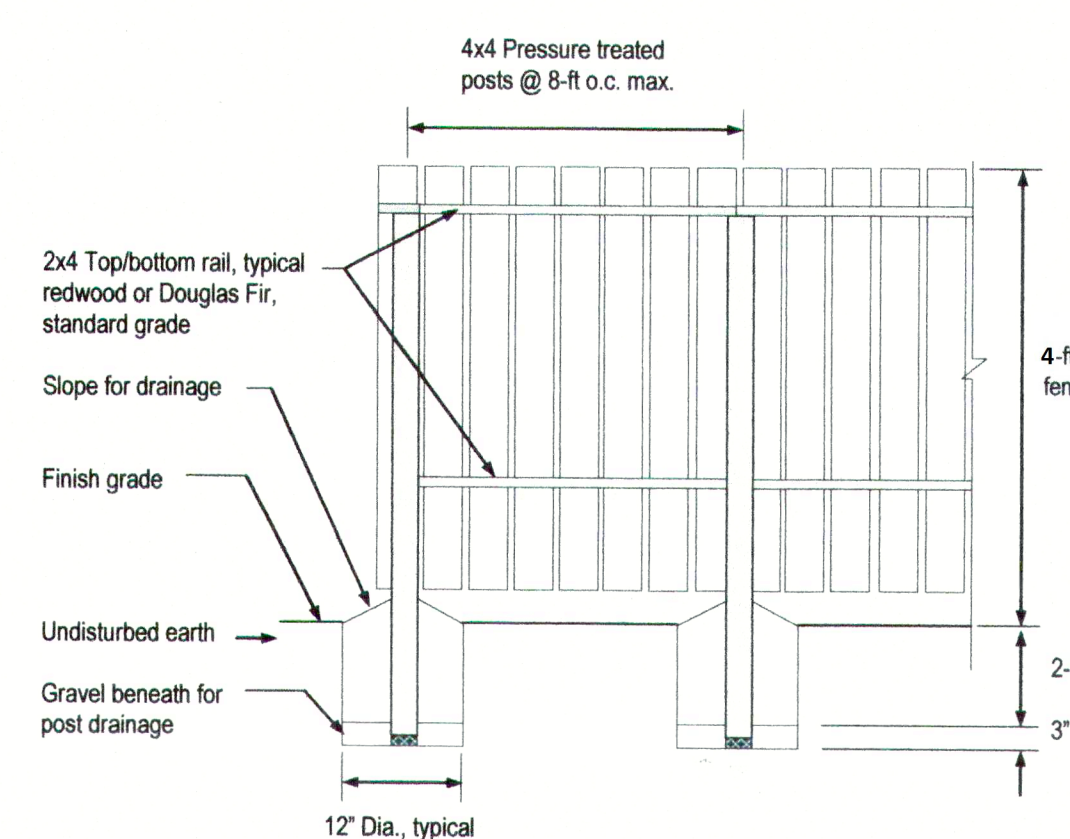


# PATTERSON SFD

Montara, California  
San Mateo County

NEW CONSTRUCTION  
SINGLE FAMILY RESIDENCE  
TIM PATTERSON  
CEDAR STREET  
MONTARA, CA  
036-132-210

## Recommended Wood Fence Detail



4-FT HIGH FENCE DETAIL  
(Not to Scale)

The construction of wood fences, six feet or less in height and not supporting any other superimposed loads such as those resulting from the self weight of chain link fences, gl... etc., does not require a building permit.

### Wood Fences

Details for typical board fences are shown on pages 1 and 2. Additional requirements are below:

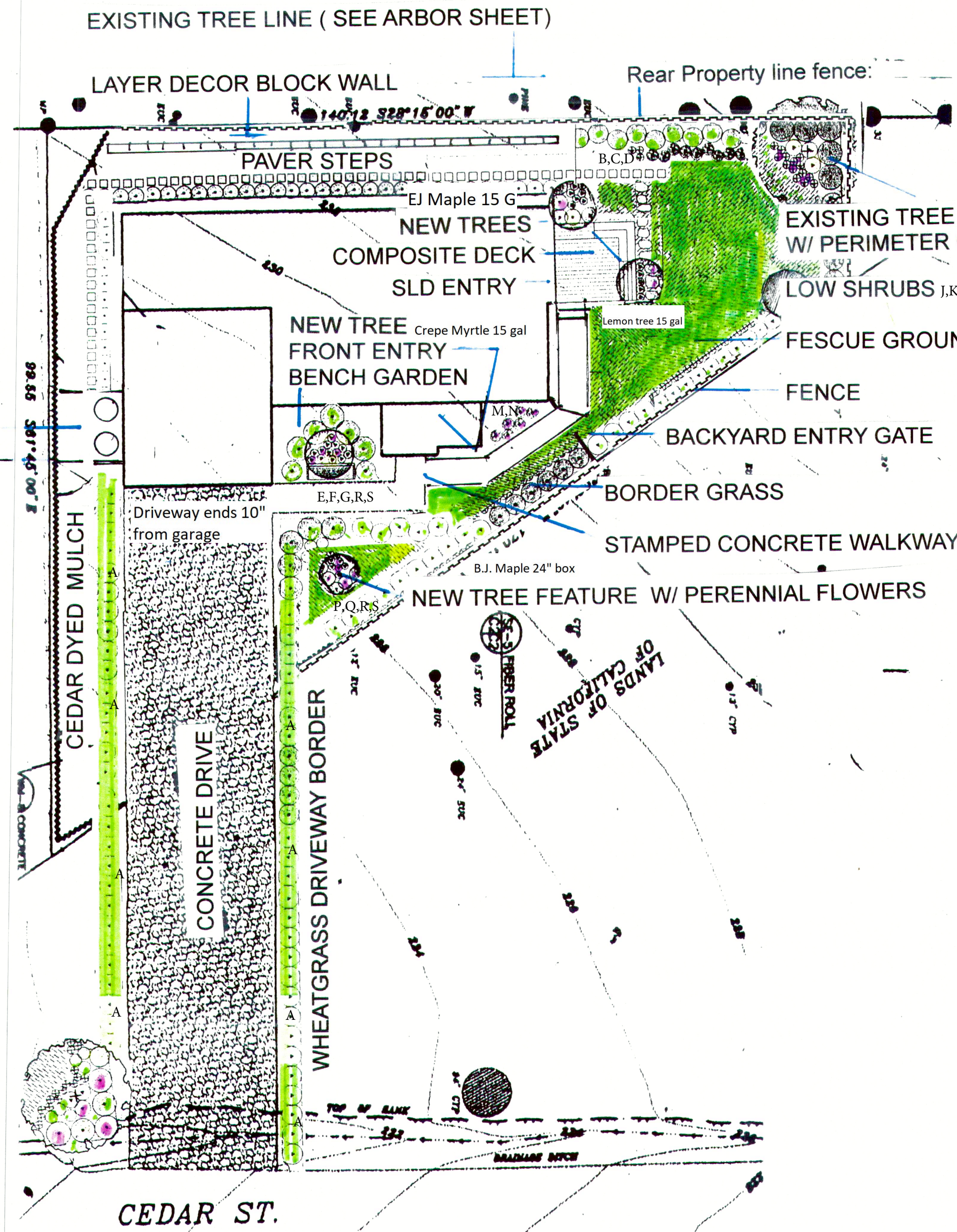
- Wood posts shall be of naturally durable or preservative-treated wood (CBC 230). Wood posts shall be No. 2 foundation-grade redwood, or pressure-treated Douglas Fir, No. 2 or better.
- Preservative treatment must be applied to the ends of wood posts buried in the ground. Posts shall be set in undisturbed natural ground or properly compacted fill. Footings should be placed in 6 inches of loose gravel. Wood posts should extend through concrete footings to be placed below.
- Use galvanized nails or screws at all wood-to-wood connections.

SECTION 6412. Fences, walls and hedges shall be subject to the following regulations, except as provided in Section 6412.1:

- Fences, walls, and hedges not exceeding four (4) feet in height may occupy any front yard area.
- Fences, walls, and hedges not exceeding six (6) feet in height may occupy any side or rear yard area, provided:
  - That they do not extend into any required front yard.
  - That, in the case of a corner lot, they do not extend into the side yard required along a side street or into that portion of the rear yard abutting such side street which is equal to the width of the side yard required on said side street.
- On any parcel of land having a street frontage of one hundred (100) feet or more, and located in any "S" District requiring a minimum building site of twenty thousand (20,000) square feet or more, fences, hedges, or walls not exceeding six (6) feet in height may be erected in any part of the yard area, except as limited by Paragraph (d).
- On any corner lot, the maximum height of fences, walls, hedges, and growth located within fifty (50) feet of the intersected street lines shall not exceed four (4) feet in height; provided that nothing in this section shall prevent any fence, wall, or hedge from occupying any portion of the lot area that a main residence may occupy under the terms of this Part.
- Where trees are located within fifty (50) feet on the intersected street lines, the main trunks of such trees shall be trimmed free of branches to a height of seven and a half (7.5) feet above the curb grade.

GARBAGE STORAGE SLAB FOR ENTRY TO GARAGE

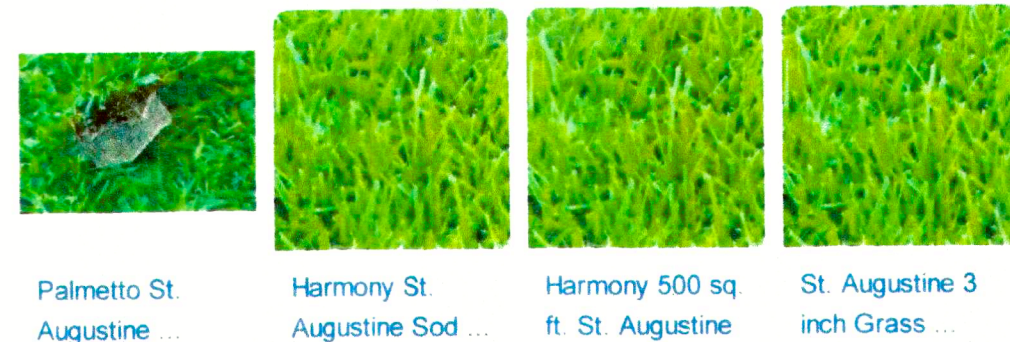
SIDEYARD ENTRY GATE



## Grass Sod for Shade

### Coastal Conditions

Coastal weather provides a relatively kind environment for grass: not too hot, not too cold and not too dry. St. Augustine and Manilagrass top the list for full shade sites and zoysiagrass is a good choice for shady beach properties because it is also salt-tolerant. The best St. Augustine varieties are "Seville," "Delmar" and "Captiva," and the least shade-tolerant is "Floritam." St. Augustine is a good solution for a lawn that includes both full sun and full shade. Palmetto does well in partial or dappled shade. In north coastal climates, try Colonial bentgrass or tall fescue in partial shade and creeping red fescue or velvet bentgrass in full shade.



## Retaining Wall Installation

non Ground Alliance, to have utilities marked before starting your project.

Steps prior to installation. Refer to last page for reference images of installation materials and tools.

1. Stake Out Wall and Create Trench. Begin by using stakes with a string line (or a garden hose for curved walls) to mark the location of the desired location of the back of blocks as the guide. Use the information below to determine the size of the trench needed, and then cut the trench.

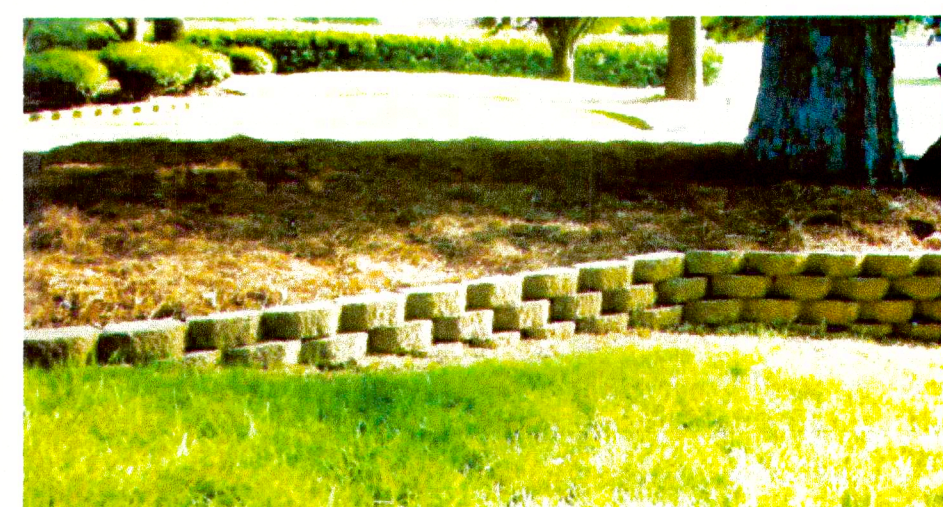
The width of the trench should be twice the depth (front to back) of the block.

Example: For block that is 6 inches deep make the trench 12 inches wide.

The depth of the trench should be equal to the height of the block plus compacted base depth (Table 1).

Example: For an exposed wall height of 1'6" and using a 6" high block, dig the trench a total of 9 inches in depth.

Block Height	Exposed Wall Height					
	≤ 1'6"	2'	2'6"	3'	3'6"	≥ 3'
6"	3"	9"	4"	10"	6"	12"
5"	3"	8"	4"	9"	N/A	N/A
4"	3"	7"	N/A	N/A	N/A	N/A
3"	3"	6"	N/A	N/A	N/A	N/A



This wall is stepped up to fit the contours of the slope.



MANUFACTURER:

SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(513) 444.0519



PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTERA, CA  
036-132-210

DRAWN BY: LCL

DATE: 5.19.17

SCALE: 1/4" = 1'-0"

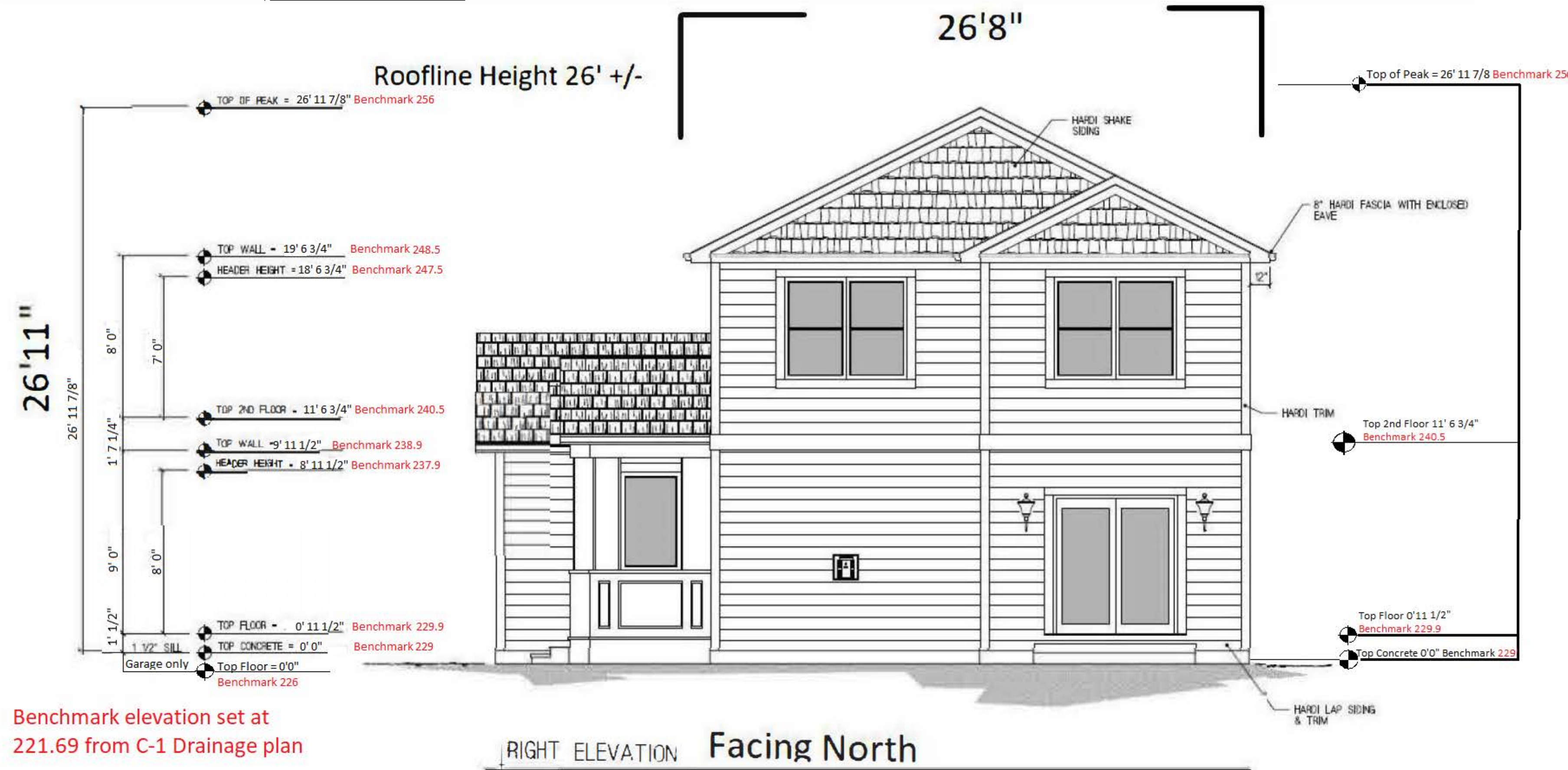
REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	3.7.18	WINDOWS

APPROVAL STAMPS:



Facing East



RIGHT ELEVATION Facing North

ELEVATION NOTES:

IF APPLICABLE, HANDICAP RAMPS, STAIRS, AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL CODES. THIS STRUCTURE IS A MODULAR (FACTORY BUILT) BUILDING WHICH IS TO BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH AN APPROVED THIRD PARTY QUALITY ASSURANCE PROGRAM TO INSURE COMPLIANCE WITH THE REFERENCED CODES. ALL ROOFING, VENTILATION, SOFFIT, EAVES AND DECKING THAT WILL BE SITE INSTALLED WILL MEET ALL FIRE RATING REQUIREMENTS. HCD GIVES AUTHORITY TO THE APPROVED THIRD PARTY INSPECTOR TO HAVE JURISDICTION OVER PLAN APPROVALS AND PLAN INSPECTORS. THIRD PARTY STAMPED PLANS ARE FINAL AND CANNOT BE SUBJECT TO CHANGE BY OTHER AGENCIES.

EXTERIOR MATERIAL

ROOF TILES:	COMPOSITION SHINGLE
EXTERIOR SIDING MATERIAL:	HARDI LAP, SHAKE IN EAVES

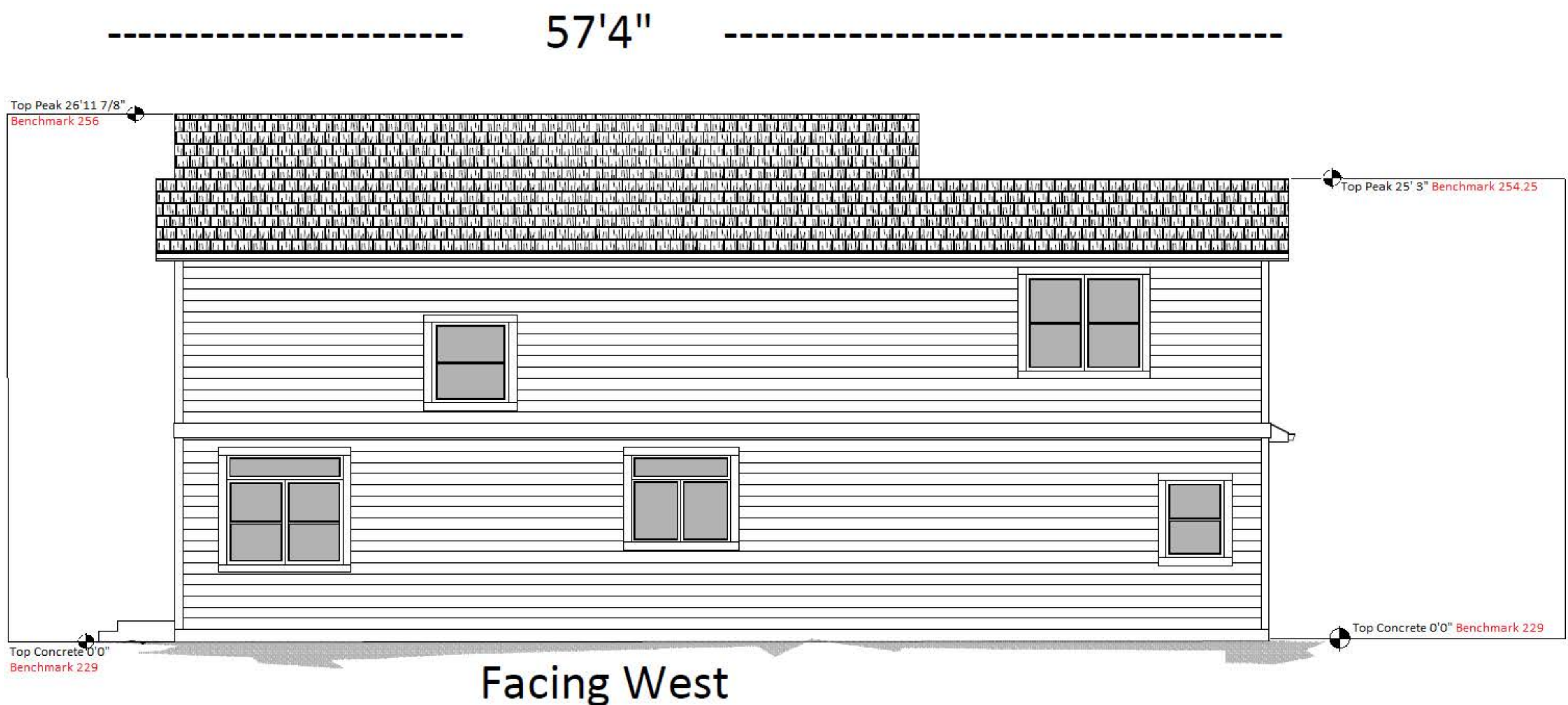
Benchmark elevation set at 221.69 from C-1 Drainage plan

SHEET TITLE  
ELEVATIONS

DRAWING NUMBER

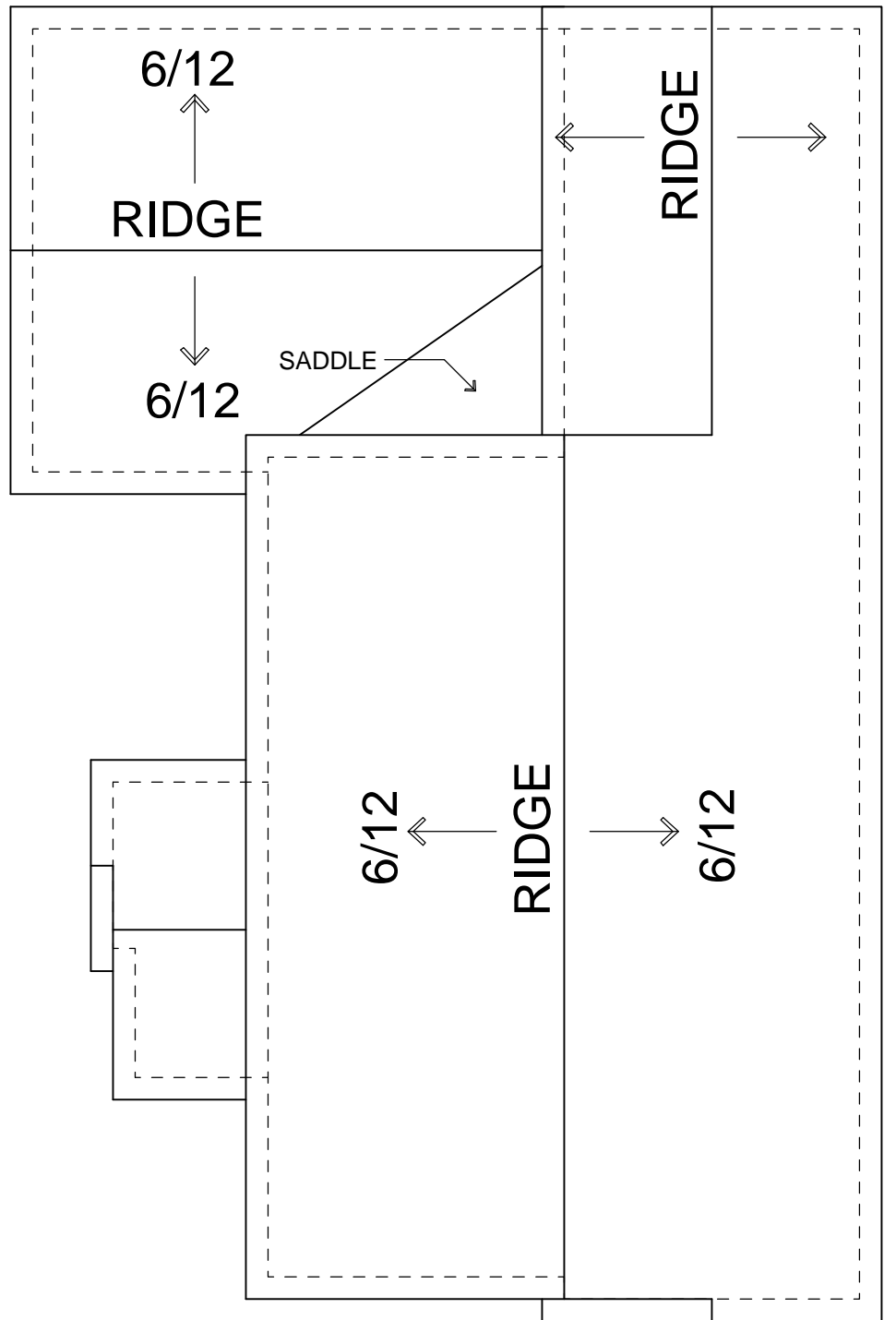
E1





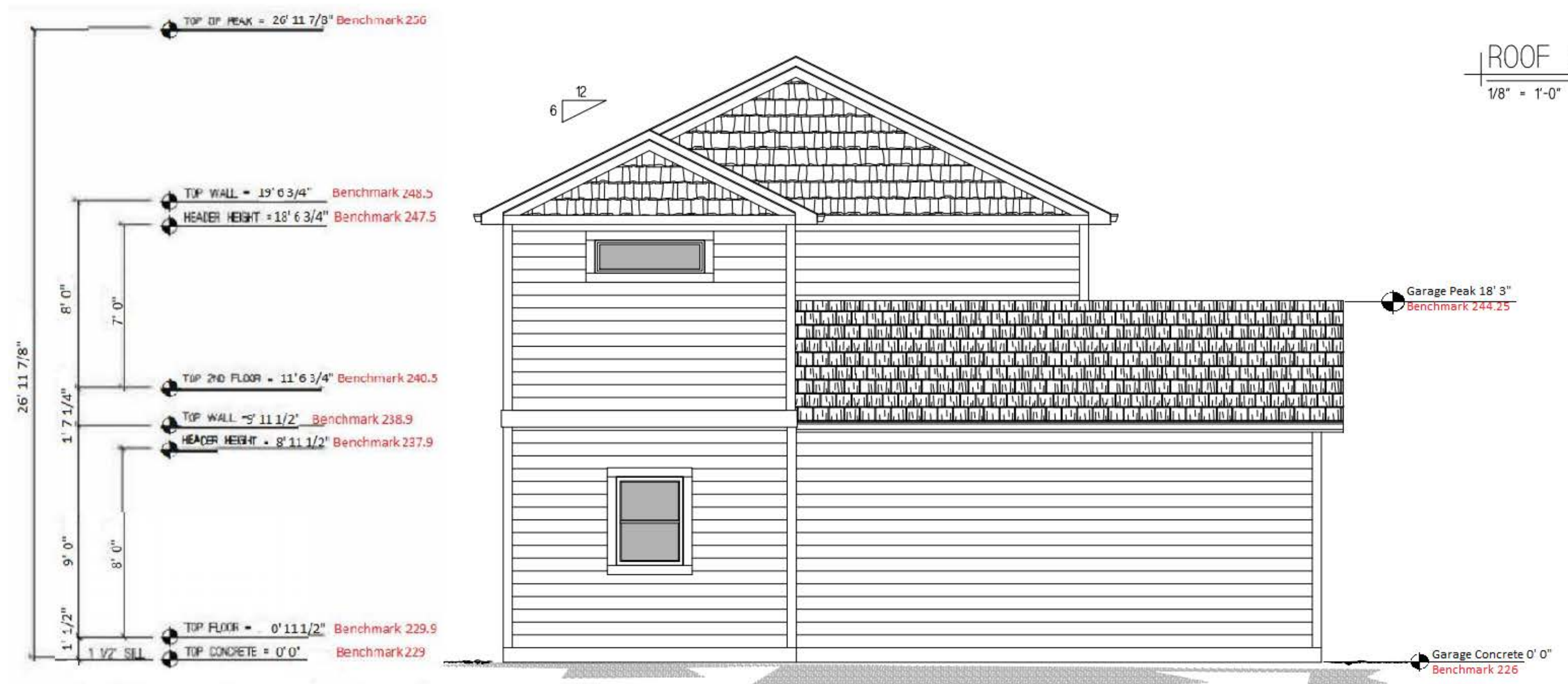
Facing West

REAR ELEVATION



ROOF OVERHEAD

1/8" = 1'-0"



Facing South

REAR ELEVATION

MANUFACTURER:  
  
SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
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TIM PATTERSON  
CEDAR STREET  
MONTERA, CA  
036-132-210

DRAWN BY: LQL  
DATE: 5.19.17  
SCALE: 1/4" = 1'-0"  
REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	3.7.18	WINDOWS

APPROVAL STAMPS:

SHEET TITLE  
ELEVATIONS  
  
DRAWING NUMBER  
E2



# SUBMITTAL INFORMATION

## GENERAL NOTES

STATE: CALIFORNIA  
 CODES: 2016 CALIFORNIA RESIDENTIAL BLDG. CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 CALIFORNIA ELECTRIC CODE  
 2016 CALIFORNIA ENERGY CODE (TITLE 24)  
 2016 CALIFORNIA GREEN BUILDING STDS. CODE

## DESIGN CRITERIA

BUILDING TYPE: R-3  
 OCCUPANCY CATEGORY: II  
 SEISMIC DESIGN CATEGORY: E  
 CONSTRUCTION TYPE: 5B SPRINKLER PROTECTED

## GRAVITY LOAD PARAMETERS

	LIVE	DEAD	SNOW	TOTAL
ROOF LOAD:	20 PSF	15 PSF		35 PSF
FLOOR LOAD:	40 PSF	15 PSF		55 PSF
WALL (INT):		10 PSF		10 PSF
WALL (EXT):		15 PSF		15 PSF

WIND DESIGN SPEED: 110 MPH (EXPOSURE C)

ROOF PITCH: 6/12



ELEVATION SHOWN FOR REFERENCE ONLY

## CALIFORNIA (WILDLAND-URBAN INTERFACE)

HOME WILL BE PLACED IN FIRE HAZARD SEVERITY ZONE  
 SEE CBC NOTES FROM CHAPTER 7A ON PAGE SE1

THIS HOME AND ALL ITS ENTIRETY SHALL BE BUILT TO THE  
 HCD REQUIREMENTS OF THE FACTORY-BUILT HOUSING PROGRAM IN THE  
 FACTORY AND ON-SITE

STATE AND THIRD PARTY LABELS ON PAGE A1 & A2

SUBMITTAL SPRINKLER INDEX  
 SUPPLIED BY PLANT

SUBMITTAL HVAC INDEX  
 SUPPLIED BY PLANT

SUBMITTAL TITLE 24 INDEX  
 SUPPLIED BY PLANT

## SUBMITTAL DWG. INDEX

- C1 - COVER PAGE
- E1 - ELEVATIONS
- E2 - ELEVATIONS
- A1 - MAIN FLOOR FLOORPLAN
- A2 - UPPER FLOOR FLOORPLAN
- EL1 - MAIN FLOOR ELECTRIC LAYOUT
- EL2 - UPPER FLOOR ELECTRIC LAYOUT
- P1 - DWV/PLUMB SUPPLY SCHEMATICS
- SE1 - SECTIONS AND DETAILS

## SUBMITTAL STRUCTURAL INDEX

- SCS - STRUCTURAL COVER SHEET
- SN1 - STRUCTURAL GENERAL NOTES
- SN2 - STRUCTURAL GENERAL NOTES
- S1 - FOUNDATION PLAN
- S2 - FIRST FLOOR FRAMING PLAN
- S3 - LOW ROOF/CEILING FRAMING PLAN
- S4 - SECOND FLOOR FRAMING PLAN
- S5 - ROOF FRAMING PLAN
- SD1 - STRUCTURAL FOUNDATION DETAILS
- SD1.1 - STRUCTURAL FOUNDATION DETAILS
- SD2 - STRUCTURAL GENERAL DETAILS
- SD3 - STRUCTURAL FLOOR DETAILS
- SD4 - STRUCTURAL ROOF DETAILS

STRUCTURAL DESIGN BY:  
 INNOVATIVE STRUCTURAL ENGINEERING  
 P.E. SEALED BY: - SHAWN LOTHROP

MANUFACTURER:

SUBMITTAL CONSULTANT:  
 GH DESIGN  
 POWER HOUSE DESIGN GROUP  
 6608 DEVON DRIVE  
 LIBERTY TOWNSHIP, OH 45044  
 (513) 444.0519



PROJECT NAME:  
 NEW MODULAR CONSTRUCTION  
 TIM PATTERSON  
 CEDAR STREET  
 MONTERA, CA  
 036-132-210

DRAWN BY: LCL

DATE: 4.27.17

SCALE: NONE

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	7.31.17	REDLINES

APPROVAL STAMPS:

SHEET TITLE  
 COVER PAGE

DRAWING NUMBER

C1





FRONT ELEVATION



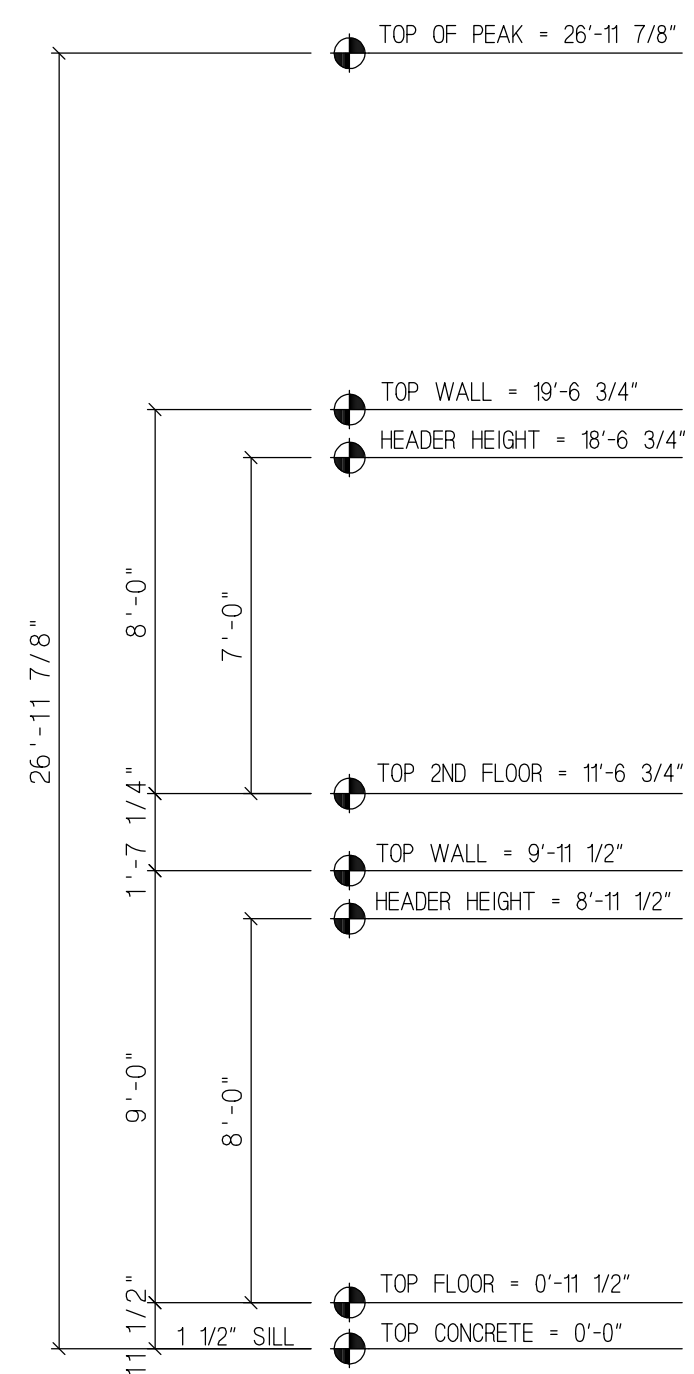
RIGHT ELEVATION

ELEVATION NOTES:

IF APPLICABLE, HANDICAP RAMPS, STAIRS, AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL CODES. THIS STRUCTURE IS A MODULAR (FACTORY BUILT) BUILDING WHICH IS TO BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH AN APPROVED THIRD PARTY QUALITY ASSURANCE PROGRAM TO INSURE COMPLIANCE WITH THE REFERENCED CODES. ALL ROOFING, VENTILATION, SOFFIT, EAVES AND DECKING THAT WILL BE SITE INSTALLED WILL MEET ALL FIRE RATING REQUIREMENTS. HDC GIVES AUTHORITY TO THE APPROVED THIRD PARTY INSPECTOR TO HAVE JURISDICTION OVER PLAN APPROVALS AND PLAN INSPECTORS. THIRD PARTY STAMPED PLANS ARE FINAL AND CANNOT BE SUBJECT TO CHANGE BY OTHER AGENCIES.

EXTERIOR MATERIAL

ROOF TILES:	COMPOSITION SHINGLE
EXTERIOR SIDING MATERIAL:	HARDI LAP, SHAKE IN EAVES



MANUFACTURER:

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GH DESIGN  
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PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTERA, CA  
036-132-210

DRAWN BY: LCL

DATE: 5.19.17

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	3.7.18	WINDOWS

APPROVAL STAMPS:

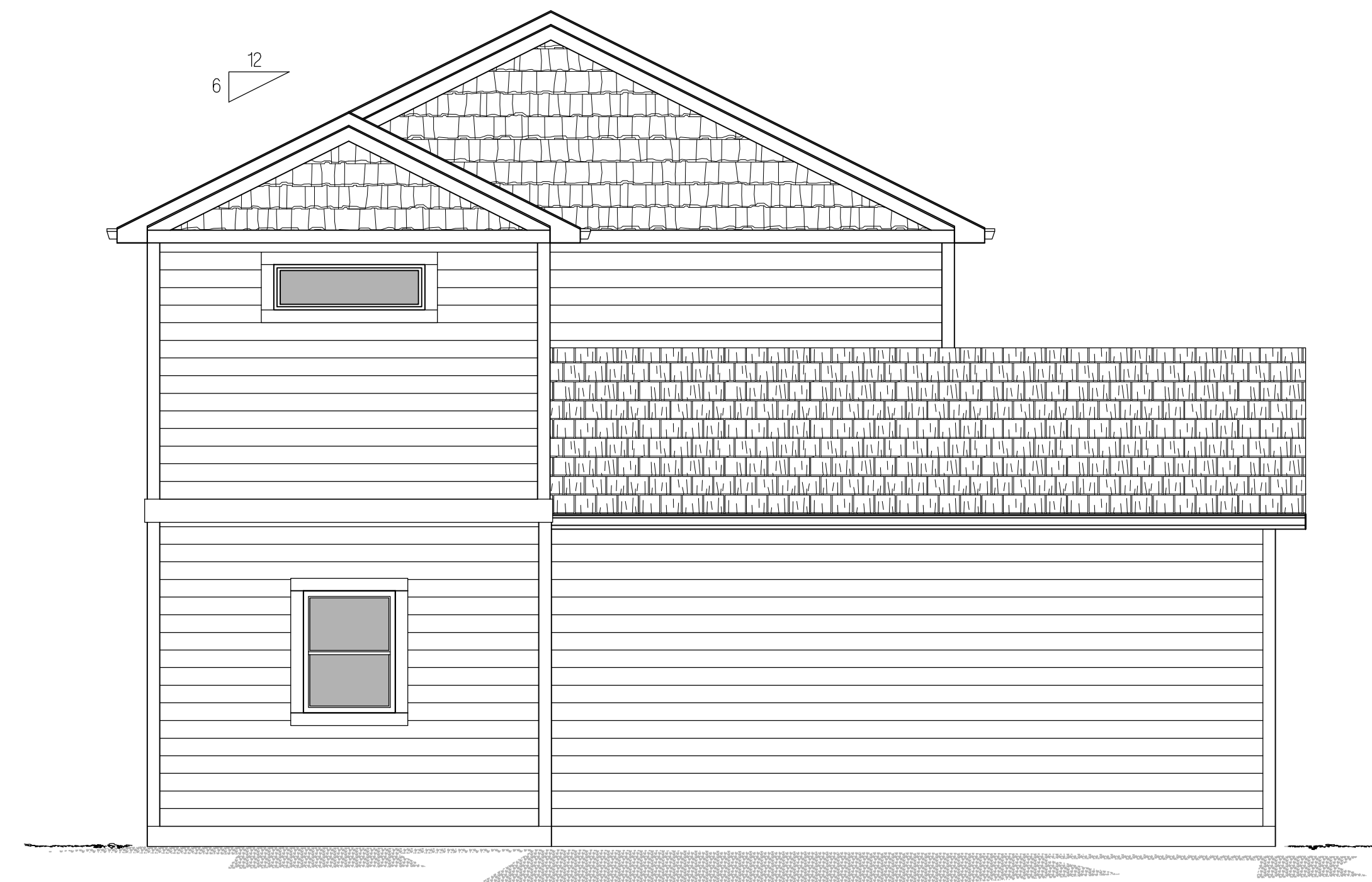
SHEET TITLE  
ELEVATIONS

DRAWING NUMBER

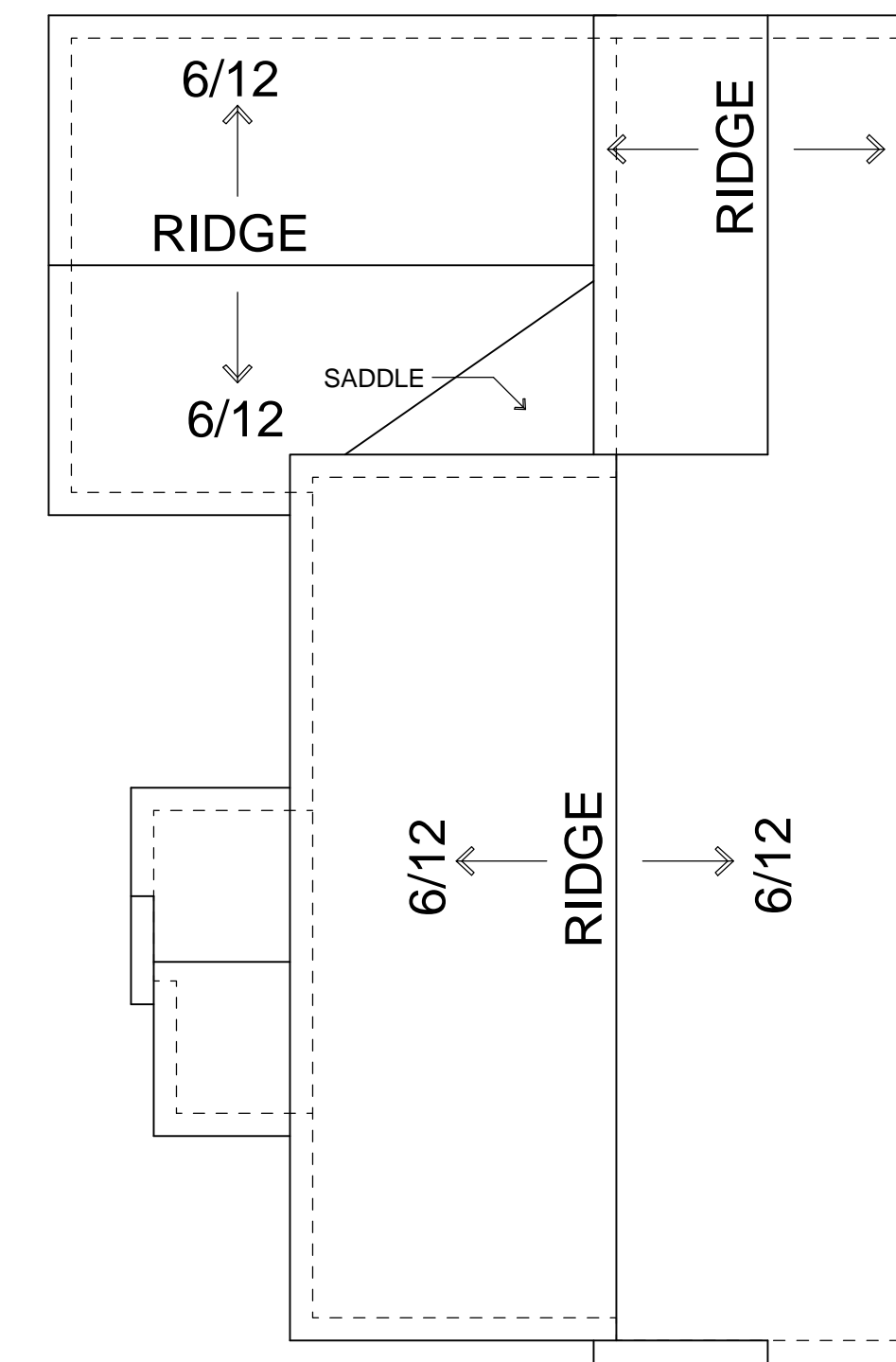
E1



REAR ELEVATION



REAR ELEVATION



ROOF OVERHEAD

1/8" = 1'-0"

MANUFACTURER:

SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(513) 444.0519



PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTERA, CA  
036-132-210

DRAWN BY: LQL

DATE: 5.19.17

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	3.7.18	WINDOWS

APPROVAL STAMPS:

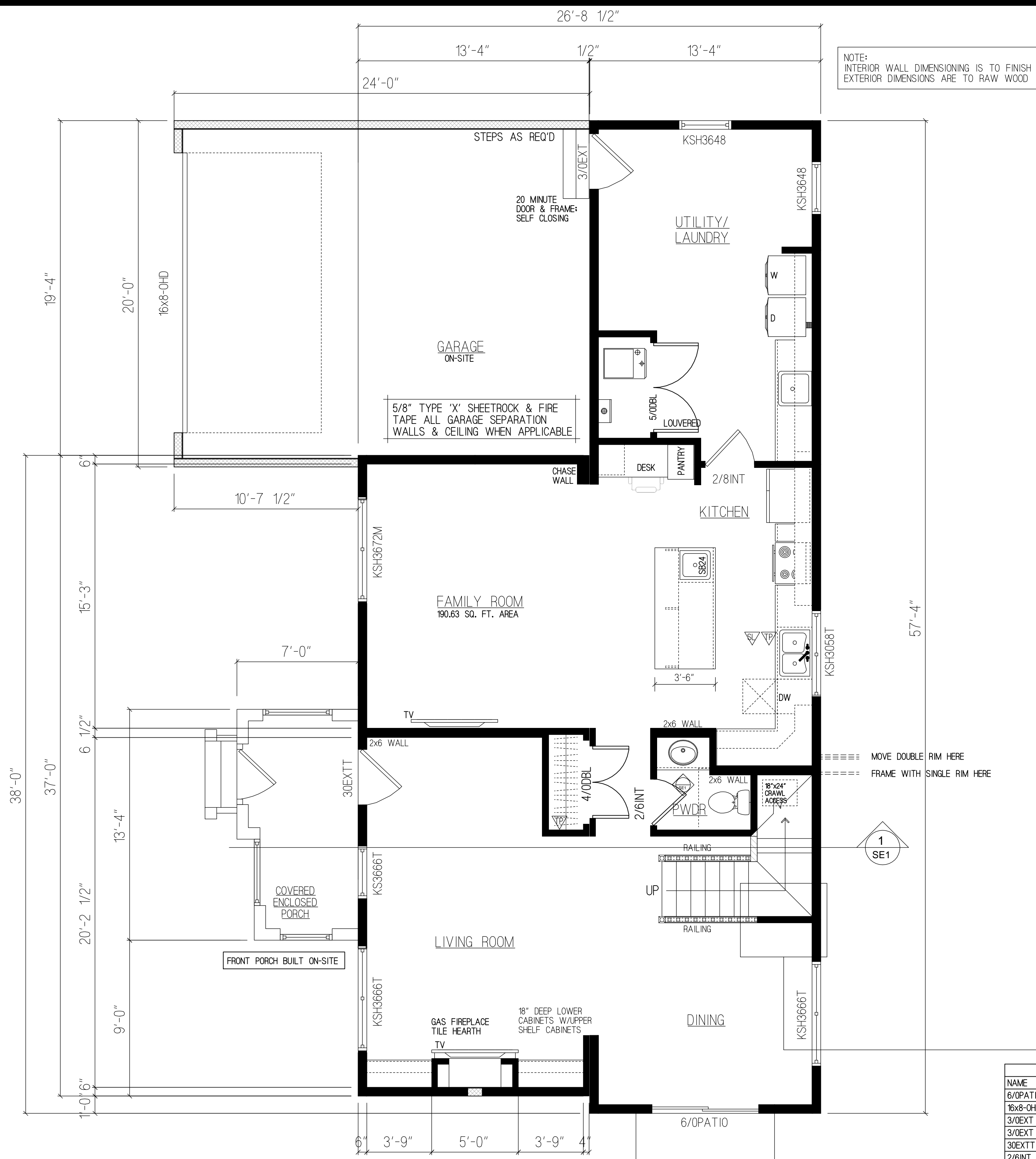
SHEET TITLE  
ELEVATIONS

DRAWING NUMBER

E2

**GENERAL NOTES:**

- LABELS PER PRINT.
- THE SUPPORT AND FIRE STOPPING FOR FLUES AND DUCTS FOR SITE INSTALLED HEATING SYSTEMS, WATER HEATERS, FIREPLACES, ETC. SHALL BE INSTALLED BY OTHERS.
- THIS HOME MAY BE BUILT PARTIALLY OR COMPLETELY REVERSED.
- ALL HALLWAYS ARE 36" MIN. IN WIDTH.
- FURNACE, WATER HEATER, AND VENTS MAY BE SITE INSTALLED. (COMBUSTION AIR & FRESH AIR TO BE SUPPLIED ON SITE BY OTHERS.
- ALL FIREPLACES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND BE PROVIDED WITH GLASS DOORS.
- ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE BACKFLOW PREVENTION DEVICES.
- ALL SHOWER AND BATHTUB SLIDING OR SWINGING DOORS SHALL BE TEMPERED.
- PROVIDE OUTSIDE COMBUSTION AIR AT EXTERIOR WALL AT ALL FIREPLACES.
- BATHTUB AND SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 6'-0" ABOVE THE FLOOR PER CRC 307.2.
- EXTERIOR LIGHTS MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
- SIDING FOR ENDS IS SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
- BOTTOM ROW OF SIDING MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
- SMOKE ALARMS/DETECTORS SHALL BE HARDWIRED INTERCONNECTED, AND HAVE BATTERY BACK-UP.



NOTE:  
INTERIOR WALL DIMENSIONING IS TO FINISH  
EXTERIOR DIMENSIONS ARE TO RAW WOOD

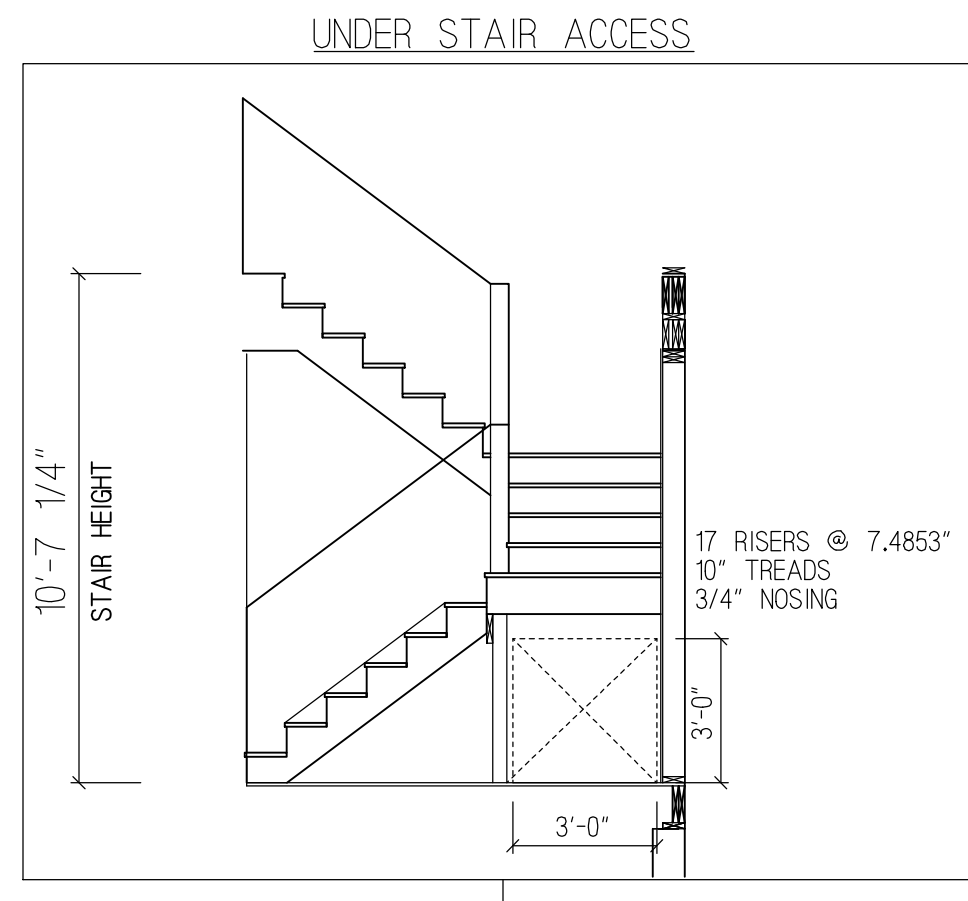
FLOOR: 13'-4" x 37'-0"  
13'-4" x 57'-4"

2X10 FLOOR SYS. STD.

9'-0" CLG. HGT. 1ST FLOOR  
8'-0" CLG. HGT. 2ND FLOOR

THIRD PARTY INSPECTOR INSIGNIA

STATE LABEL



ROUGH OPENING SCHEDULE						
NAME	TYPE	QTY.	WIDTH	HEIGHT	HEADER HEIGHT	DESCRIPTION
6/0PATIO	EXTERIOR DOOR	1	6'-2"	6'-10"	6'-10"	6'-0" STANDARD SLIDING PATIO
16x8-OHD	EXTERIOR DOOR	1	16'-2"	8'-2"	8'-2"	16" X 8" OVERHEAD DOOR (GARAGE)
3/0EXT	EXTERIOR DOOR	2	3'-2 1/2"	6'-11 1/4"	6'-11 1/4"	3'-0" EXTERIOR DOOR
3/0EXT	EXTERIOR DOOR	1	3'-2 1/2"	6'-11 1/4"	6'-11 1/4"	3'-0" EXTERIOR DOOR (GARAGE)
3/0EXT	EXTERIOR DOOR	1	3'-2 1/2"	6'-11 1/4"	6'-11 1/4"	3'-0" EXTERIOR DOOR W/TRANSOM
2/6INT	INTERIOR DOOR	1	2'-8"	6'-10 1/2"	6'-10 1/2"	2'-6" INTERIOR SWINGING DOOR
2/8INT	INTERIOR DOOR	1	2'-10"	6'-10 1/2"	6'-10 1/2"	2'-8" INTERIOR SWINGING DOOR
4/0DBL	INTERIOR DOOR	1	4'-2"	6'-11"	6'-11"	4'-0" INTERIOR DOUBLE DOOR
5/0DBL	INTERIOR DOOR	1	5'-2"	6'-10 1/2"	6'-10 1/2"	5'-0" INTERIOR DOUBLE DOOR
KSH3648	WINDOW	2	3'-1/2"	4'-1/4"	6'-8"	KINRO SINGLE HUNG
KSH3666T	WINDOW	1	3'-1/2"	5'-6 1/2"	8'-3 1/2"	KINRO SINGLE HUNG WINDOW W/TRANSOM
KSH3058T	WINDOW	1	5'-1/2"	4'-10 1/2"	8'-3 1/2"	KINRO SINGLE HUNG MULL WINDOW W/TRANSOM
KSH3666T	WINDOW	2	6'-1/2"	5'-6 1/2"	8'-3 1/2"	KINRO SINGLE HUNG MULL WINDOW W/TRANSOM
KSH3672M	WINDOW	1	6'-1/2"	6'-1/2"	8'-0"	KINRO SINGLE HUNG MULL WINDOW

ROUGH OPENING SIZES ARE LISTED ON SCHEDULE

ALL EXTERIOR DOORS TO GARAGE WILL BE FACTORY LABELED FOR A MIN. 20 MIN. FIRE RATING

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., 5'-0" SQ. FT. ALLOWABLE AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH SHALL BE 20 INCHES. FINISH SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR OR LESS THAN 18" ABOVE FINISHED FLOOR (UNLESS TEMPERED).

ADDITIONAL REQUIREMENTS MAY BE NEEDED IF WINDOWS ARE INSTALLED IN CERTAIN WUC AREAS.

**MAIN LEVEL PLAN**

1,259.32 MAIN FLOOR SQ. FT. LIVING AREA  
1,191.39 UPPER FLOOR SQ. FT. LIVING AREA  
2,450.71 TOTAL SQ. FT. LIVING AREA  
87.5 SQ. FT. FRONT PORCH  
471 SQ. FT. GARAGE

MANUFACTURER:

SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(513) 444.0519

PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTERA, CA  
036-132-210

DRAWN BY: LCL  
DATE: 7.27.17  
SCALE: 1/4" = 1'-0"

REVISIONS:

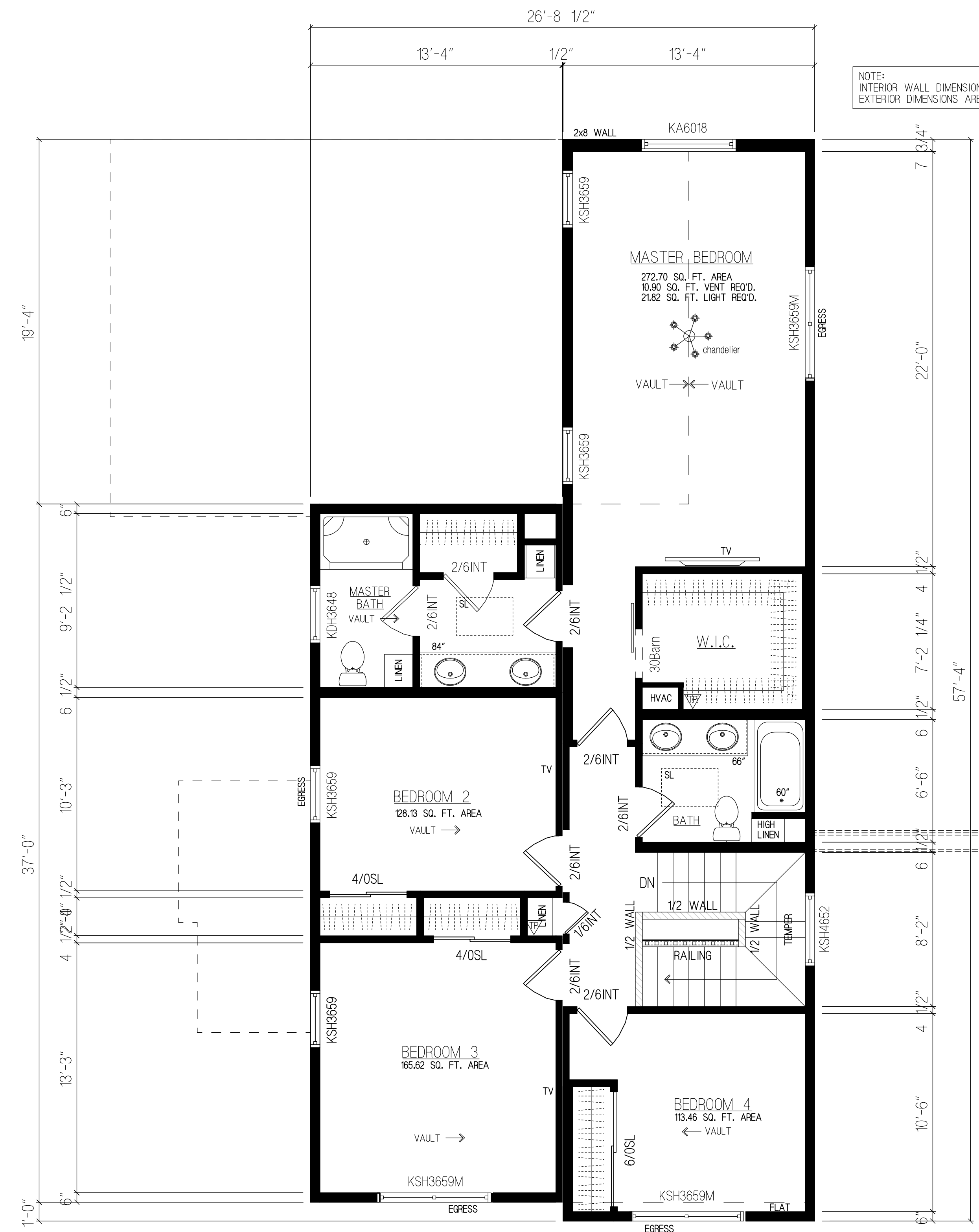
NO.	DATE:	DESCRIPTION:
1.	5.5.17	REDLINES
2.	5.16.17	REDLINES
3.	7.31.17	REDLINES
4.	3.7.18	REDLINES

APPROVAL STAMPS:

SHEET TITLE  
**MAIN FLOOR FLOORPLAN**

DRAWING NUMBER  
**A1**





- GENERAL NOTES:**
- LABELS PER PRINT.
  - THE SUPPORT AND FIRE STOPPING FOR FLUES AND DUCTS FOR SITE INSTALLED HEATING SYSTEMS, WATER HEATERS, FIREPLACES, ETC. SHALL BE INSTALLED BY OTHERS.
  - THIS HOME MAY BE BUILT PARTIALLY OR COMPLETELY REVERSED.
  - ALL HALLWAYS ARE 36" MIN. IN WIDTH.
  - FURNACE, WATER HEATER, AND VENTS MAY BE SITE INSTALLED. (COMBUSTION AIR & FRESH AIR TO BE SUPPLIED ON SITE BY OTHERS.
  - ALL FIREPLACES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND BE PROVIDED WITH GLASS DOORS.
  - ALL HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE BACKFLOW PREVENTION DEVICES.
  - ALL SHOWER AND BATHTUB SLIDING OR SWINGING DOORS SHALL BE TEMPERED.
  - PROVIDE OUTSIDE COMBUSTION AIR AT EXTERIOR WALL AT ALL FIREPLACES.
  - BATHTUB AND SHOWER FLOORS AND WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 6'-0" ABOVE THE FLOOR PER CRC 307.2.
  - EXTERIOR LIGHTS MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
  - SIDING FOR ENDS IS SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
  - BOTTOM ROW OF SIDING MAY BE SHIPPED LOOSE FOR ON-SITE INSTALLATION BY OTHERS.
  - SMOKE ALARMS/DETECTORS SHALL BE HARDWIRED INTERCONNECTED, AND HAVE BATTERY BACK-UP.

UPPER LEVEL PLAN  
1,191.39 SQ. FT. LIVING AREA

NOTE:  
INTERIOR WALL DIMENSIONING IS TO FINISH  
EXTERIOR DIMENSIONS ARE TO RAW WOOD

FLOOR: 13'-4" x 37'-0"  
13'-4" x 57'-4"

OPEN JOIST FLOOR SYS. STD.

9'-0" CLG. HGT. 1ST FLOOR  
8'-0" CLG. HGT. 2ND FLOOR

THIRD PARTY INSPECTOR INSIGNIA

STATE LABEL

ROUGH OPENING SCHEDULE						
NAME	TYPE	QTY.	WIDTH	HEIGHT	HEADER HEIGHT	DESCRIPTION
1/6INT	INTERIOR DOOR	1	1'-8"	6'-10 1/2"	6'-10 1/2"	1'-6" INTERIOR SWINGING
2/6INT	INTERIOR DOOR	7	2'-8"	6'-10 1/2"	6'-10 1/2"	2'-6" INTERIOR SWINGING DOOR
30Barn	INTERIOR DOOR	1	2'-7"	6'-9"	6'-9"	2'-6" BARN DOOR
4/OSL	INTERIOR DOOR	2	4'-1"	7'-1/4"	7'-1/4"	4'-0" SLIDE-BY DOORS
6/OSL	INTERIOR DOOR	1	6'-1"	7'-1/4"	7'-1/4"	6'-0" SLIDE-BY DOORS
KA6018	WINDOW	1	5'-1/2"	1'-6 1/2"	7'-0"	KIRO AWNING
KSH3648	WINDOW	1	3'-1/2"	4'-1/4"	7'-0"	KIRO DOUBLE HUNG
KSH3659	WINDOW	4	3'-1/2"	4'-10 7/8"	7'-0"	KIRO SINGLE HUNG
KSH3659M	WINDOW	3	6'-1/2"	4'-11"	7'-0"	KIRO SINGLE HUNG MULL WINDOW
KSH4652	WINDOW	1	3'-10 1/2"	4'-3 7/8"	4'-6"	KIRO SINGLE HUNG

ROUGH OPENING SIZES ARE LISTED ON SCHEDULE  
ALL EXTERIOR DOORS TO GARAGE WILL BE FACTORY LABELED FOR A MIN. 20 MIN. FIRE RATING  
ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT., 5'-0" SQ. FT. ALLOWABLE AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH SHALL BE 20 INCHES. FINISH SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR OR LESS THAN 18" ABOVE FINISHED FLOOR (UNLESS TEMPERED).  
ADDITIONAL REQUIREMENTS MAY BE NEEDED IF WINDOWS ARE INSTALLED IN CERTAIN WUC AREAS.

MANUFACTURER:

SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(613) 444.0519



PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTERA, CA  
036-132-210

DRAWN BY: LCL

DATE: 7.27.17

SCALE: 1/4" = 1'-0"

REVISIONS:

NO.	DATE:	DESCRIPTION:
1.	5.5.17	REDLINES
2.	5.16.17	REDLINES

APPROVAL STAMPS:

SHEET TITLE  
UPPER FLOOR  
FLOORPLAN

DRAWING NUMBER  
A2

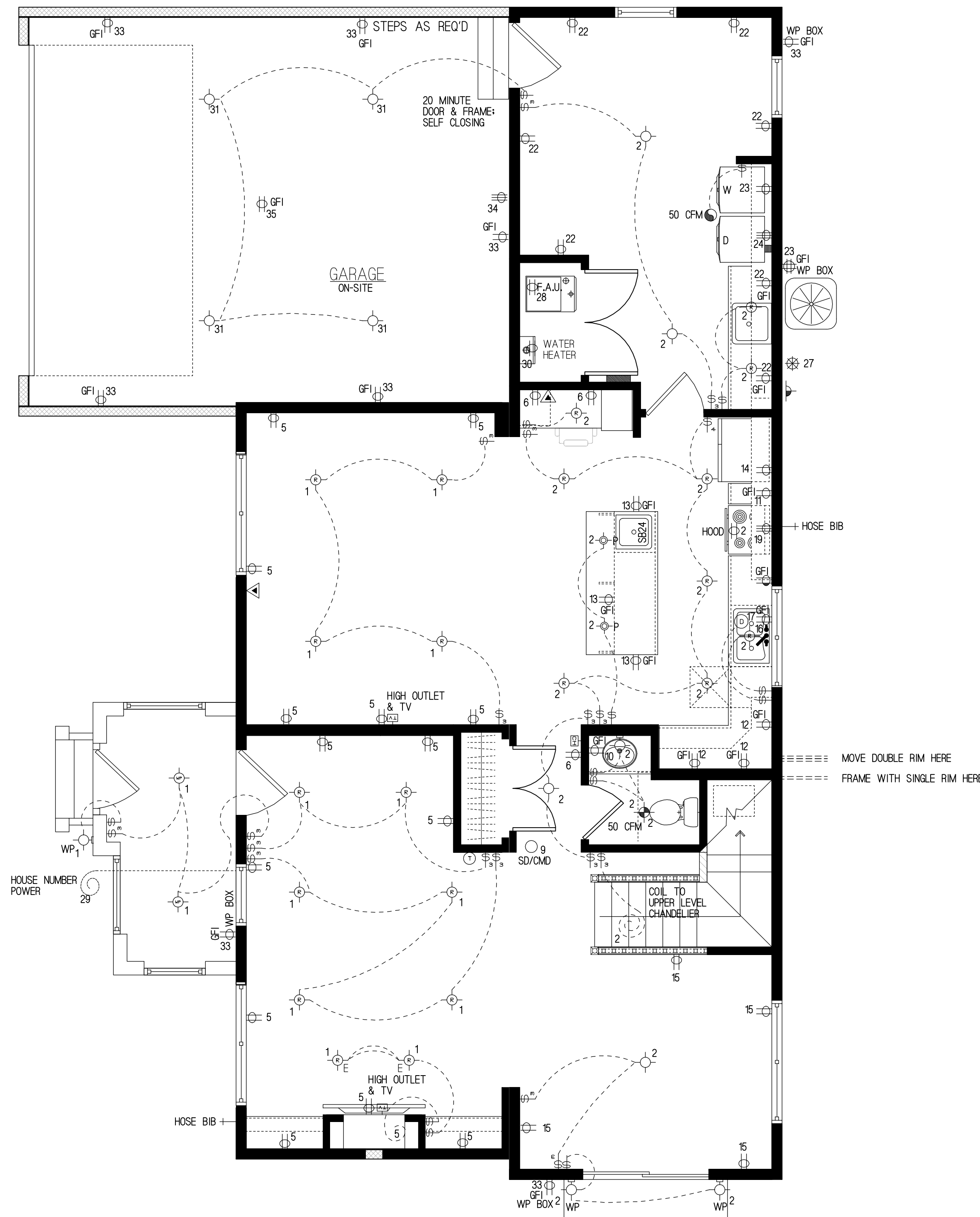
ELECTRICAL NOTES:

- ALL CONDUCTORS WILL BE COPPER.
- RECEPTACLE OUTLET SPACING CONFORMS TO 2016 CA. ELEC. CODE.
- USE LIGHTWEIGHT STEEL CABLE TRAY 600 V RATED.
- SMOKE DETECTORS SHALL BE WIRED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL SMOKE DETECTOR ALARMS IN THE HOME.
- UNDER THE FLOOR AND A SMOKE DETECTOR WILL BE SHIPPED LOOSE FOR SITE INSTALLATION.
- CEILING LIGHTS MAY BE REPLACED WITH CEILING FAN/LIGHT COMBINATIONS IF THEY ARE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND CODE REQUIREMENTS.
- LIGHTING FIXTURES INSTALLED IN CLOSETS WILL BE IN ACCORDANCE WITH THE 2016 CA. ELEC. CODE.
- LIGHTS AND ELECTRICAL CIRCUITS FOR BASEMENT, CRAWL SPACE, AND/OR GARAGE ARE TO BE PROVIDED ON SITE BY OTHERS.
- SPACES ARE PROVIDED IN THE PANEL BOX FOR EXPANSION.
- ELECTRICAL INTERCONNECTION BETWEEN MODULES SHALL BE MADE IN THE BASEMENT OR CRAWL SPACE USING JUNCTION BOXES BY A QUALIFIED ELECTRICIAN ON SITE. JUNCTION BOXES AT THE MATES-LINES SHALL BE IDENTIFIED BY CIRCUIT.
- ELECTRICAL BOXES SHALL BE LISTED FOR THE SPECIFIC PURPOSE. BOXES FOR FIXTURE ATTACHMENTS SHALL BE DESIGNED FOR THAT PURPOSE WITH PROPER FIXTURE ATTACHMENT MEANS. ALL FIXTURES SHALL BE ADEQUATELY SUPPORTED PER THE FIXTURE MANUFACTURERS INSTRUCTIONS AND THEIR LISTING REPORT.
- THE METHOD OF MOUNTING FIXTURES AND WIRING INSTALLATION SHALL BE FOR THE LISTING REPORT AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA AND MUST BE INSTALLED IN EACH BEDROOM. AT LEAST ONE (1) SMOKE DETECTOR MUST BE INSTALLED ON EACH LEVEL, INCLUDING BASEMENTS. ALL SMOKE DETECTORS WITHIN A DWELLING UNIT SHALL BE ACDC AND INTERCONNECTED TO PROVIDE SIMULTANEOUS ACTIVATION.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-V SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN DWELLING LIVING AREAS SHALL BE PROTECTED BY AN ARC-FULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- ALL 15 AND 20 AMP RECEPTACLES ARE TO BE TAMPER RESISTANT.
- BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY HUMIDISTAT.
- ALL RECEPTACLES PLACED IN CRAWL SPACE WILL BE GFCI.
- ALL CONCEALED LIGHT FIXTURES WILL BE I.C. RATED WHEREVER INSULATION IS REQUIRED. THE HOUSING OF THE LUMINAIRES SHALL BE AIR TIGHT.

ADDED CEC ELECTRICAL NOTES:

- 4.106.4.1 NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH ATTACHED PRIVATE GARAGES, FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- 4.106.4.1.1 IDENTIFICATION. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACES RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".
- ALL CONDUCTORS AND CABLES MUST BE PROPERLY TERMINATED IN APPROVED BOXES BEFORE CONNECTING THE CIRCUIT TO THE BREAKER AND BEFORE RECEIVING FINAL INSPECTION APPROVAL IN THE FACTORY. NEC2016
- ALL 15 & 20 AMP RECEPTACLES TO BE TAMPER RESISTANT. NEC 210.52
- ALL 15 AND 20 AMP BRANCH CIRCUITS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS SHALL BE AFCI PROTECTED. NEC 210.12(B)
- A MINIMUM OF SIX OF THE KITCHEN LIGHTING IS REQUIRED TO BE HIGH EFFICIENCY. (DINING ROOMS AND NOOKS ARE CONSIDERED PART OF THE KITCHEN AREA) 50.0 IK3
- A MINIMUM OF ONE HIGH EFFICIENCY LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM. AND ALL OTHER LIGHTING INSTALLED IN EACH BATHROOM SHALL BE HIGH EFFICIENCY OR CONTROLLED BY VACANCY SENSORS. 50.0 IK5
- LIGHTING INSTALLED IN ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICIENCY LUMINAIRES AND CONTROLLED BY VACANCY SENSORS. 50.0 IK3
- ALL OTHER ROOMS (OTHER THAN KITCHENS, BATHROOMS, GARAGES, AND UTILITY ROOMS) SHALL BE HIGH EFFICIENCY LIGHTING OR CONTROLLED BY DIMMERS OR VACANCY SENSORS. 50.0 IK7
- OUTDOOR LIGHTING SHALL BE HIGH EFFICIENCY.
- BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT WITH HUMIDISTATE CONTROLS.

NOTE:  
 -ALL BRANCH CIRCUITS SUPPLYING 15 AND 20 AMP OUTLETS IN LIVING AREAS MUST BE AFCI PROTECTED  
 -ALL SWITCHES IN LIVING AREAS TO HAVE DIMMER SWITCHES TYP PER TITLE 24.



MAIN LEVEL ELECTRIC PLAN

NOTE: ALL GAS LINES TO BE DESIGNED, APPROVED, AND INSTALLED ON-SITE BY OTHERS TO ALL LOCAL AND ADOPTED CODES.

ELECTRICAL LEGEND	
[Symbol]	SWITCH
[Symbol]	3-WAY SWITCH
[Symbol]	4-WAY SWITCH
[Symbol]	CEILING LIGHT
[Symbol]	RECESSED LIGHT
[Symbol]	REC. EYE LIGHT
[Symbol]	WALL LIGHT
[Symbol]	BATH FAN
[Symbol]	BATH FAN/LIGHT
[Symbol]	120V OUTLET
[Symbol]	220V OUTLET
[Symbol]	120V SWITCHED OUTLET
[Symbol]	TELEVISION
[Symbol]	TELEPHONE
[Symbol]	SMOKE DETECTOR
[Symbol]	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR COMBO
[Symbol]	THERMOSTAT
[Symbol]	GARBAGE DISPOSAL
[Symbol]	CEILING FAN/LIGHT
[Symbol]	ELECTRIC PANEL
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	CHIMES
[Symbol]	GFCI GROUND OUTLET
[Symbol]	WEATHER PROOF
[Symbol]	CAT 5 PORT/TV COMBO
[Symbol]	AC DISCONNECT
[Symbol]	PLUG LIGHT UNDER KITCHEN CABINET
[Symbol]	PENDULUM LIGHT
[Symbol]	JUNCTION BOX

MANUFACTURER:  
 SUBMITTAL CONSULTANT:  
 GAEA DESIGN  
 POWER HOUSE DESIGN GROUP  
 6608 DEVON DRIVE  
 LIBERTY TOWNSHIP, OH 45044  
 (513) 444.0519

PROJECT NAME:  
 NEW MODULAR CONSTRUCTION  
 TIM PATTERSON  
 CEDAR STREET  
 MONTERA, CA

DRAWN BY: LCL  
 DATE: 5.23.17  
 SCALE: NONE  
 REVISIONS:

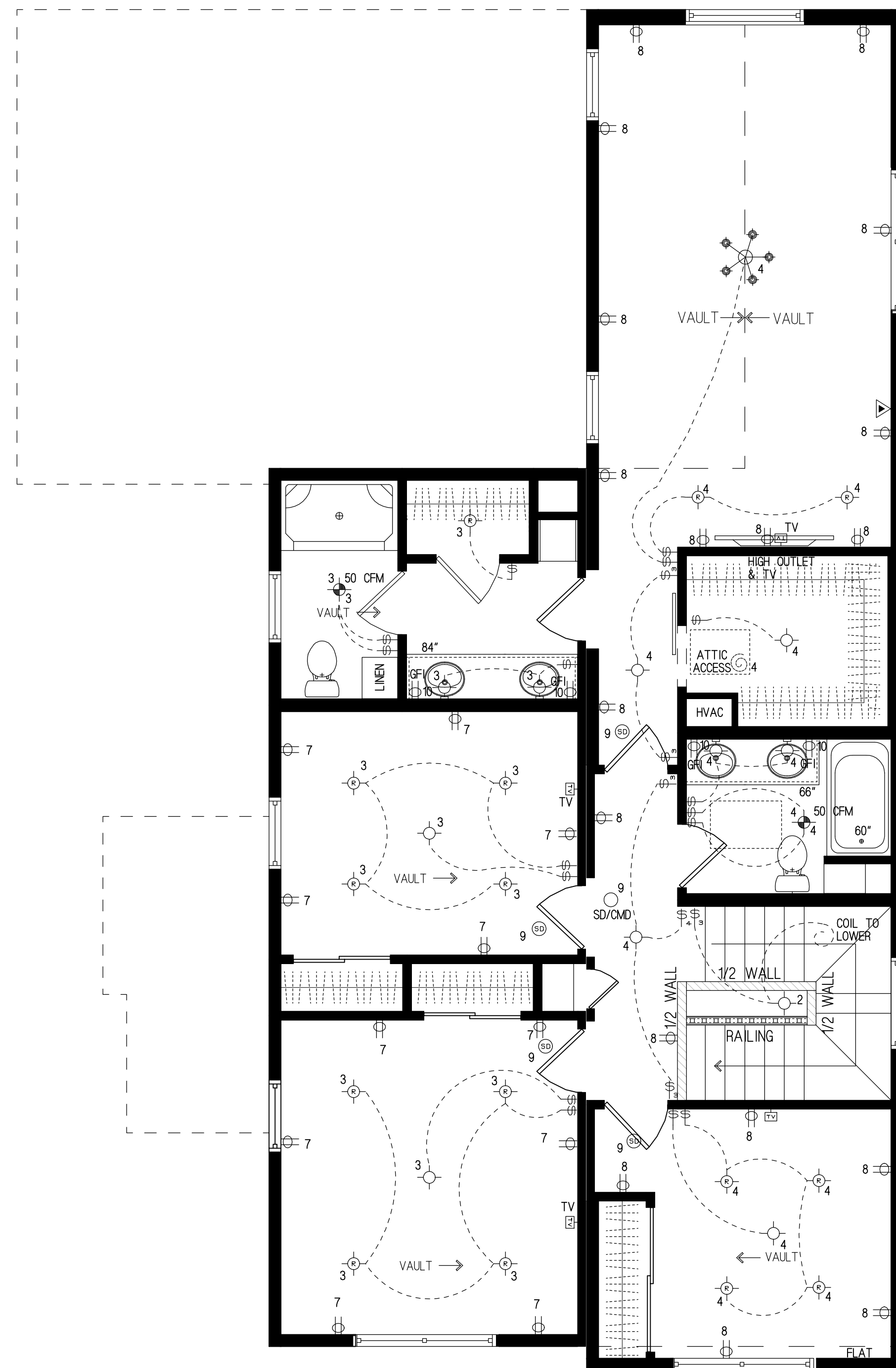
NO.	DATE:	DESCRIPTION:
1.	3.7.18	REDLINES

APPROVAL STAMPS:

ELECTRIC CIRCUIT SCHEDULE						
AMPS	WIRE-CU	DESCRIPTION	CIRCUIT	DESCRIPTION	WIRE-CU	AMPS
15	NM 14-2/WG	MAIN LIGHTING	1	2 MAIN LIGHTING	NM 14-2/WG	15
15	NM 14-2/WG	UPPER LIGHTING	3	4 UPPER LIGHTING	NM 14-2/WG	15
15	NM 14-2/WG	MAIN RECPTS.	5	6 MAIN RECPTS.	NM 14-2/WG	15
15	NM 14-2/WG	UPPER RECPTS.	7	8 UPPER RECPTS.	NM 14-2/WG	15
15	NM 14-2/WG	SMOKE DETECTORS/CMD	9	10 BATH GFI'S	NM 12-2/WG	20
20	NM 12-2/WG	KITCHEN APPLIANCE	11	12 KITCHEN APPLIANCE	NM 12-2/WG	20
20	NM 12-2/WG	KITCHEN APPLIANCE	13	14 REFRIGERATOR	NM 12-2/WG	20
20	NM 12-2/WG	DINING ROOM	15	16 DISHWASHER	NM 12-2/WG	20
20	NM 12-2/WG	DISPOSAL	17	18 EXTRA		
40	NM 8-3/WG	ELECTRIC RANGE	19	20 EXTRA		
40	NM 8-2/WG	AC DISCONNECT	23	24 ELECTRIC DRYER	NM 10-3/WG	30
"	"	"	25	"	"	"
15	NM 14-2/WG	SPRINKLER POWER	27	28 GAS FAU	NM 12-2/WG	20
20	NM 12-2/WG	OPT. EXT. POWER	29	30 GAS WATER HEATER	NM 12-2/WG	20
15	NM 14-2/WG	GARAGE LIGHTING	31	32 CRAWLSPACE	NM 14-2/WG	15
20	NM 12-2/WG	GARAGE RECPTS.	33	34 ELECTRIC CAR CHARGER	NM 8-3/WG	40
15	NM 14-2/WG	GARAGE DOOR OPENER	35	"	"	"
			37	"	"	"
			39	"	"	"

LOAD CALCULATIONS		
2450 SQ. FT. @ 3 WATTS/SQ. FT.		7.3 KW
3 - 20 AMP APPL. CIRCUITS		5.1 KW
LAUNDRY CIRCUIT		1.5 KW
ELECTRIC RANGE CIRCUIT		4.0 KW
ELECTRIC DRYER CIRCUIT		5.0 KW
STD. ELECTRIC WATER HEATER		5.5 KW
DISHWASHER		2.0 KW
DISPOSAL		.8 KW
TOTAL		31.2 KW
10 KW @ 100%		10.0
REMAINDER 40%		10.22
ASSUMED HVAC		20.00
TOTAL LOAD		38.70
38700 W/240 V.=161.25 AMPERES		
200 AMP SERVICE STANDARD		

SHEET TITLE  
 FIRST FLOOR  
 ELECTRIC PLAN  
 DRAWING NUMBER  
 EL1



ELECTRICAL LEGEND	
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	CEILING LIGHT
	RECESSED LIGHT
	REC. EYE LIGHT
	WALL LIGHT
	BATH FAN
	BATH FANLIGHT
	120V OUTLET
	220V OUTLET
	120V SWITCHED OUTLET
	TELEVISION
	TELEPHONE
	SMOKE DETECTOR
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR COMBO
	THERMOSTAT
	GARBAGE DISPOSAL
	CEILING FANLIGHT
	ELECTRIC PANEL
	CARBON MONOXIDE DETECTOR
	CHIMES
	GROUNDING OUTLET
	WEATHER PROOF
	CAT 5 PORT/TV COMBO
	AC DISCONNECT
	FLUX LIGHT (UNDER KITCHEN CABINET)
	PENDULUM LIGHT
	JUNCTION BOX

MANUFACTURER:

SUBMITTAL CONSULTANT:  
 GAEA DESIGN  
 POWER HOUSE DESIGN GROUP  
 6608 DEVON DRIVE  
 LIBERTY TOWNSHIP, OH 45044  
 (513) 444.0519



PROJECT NAME:  
 NEW MODULAR CONSTRUCTION  
 TIM PATTERSON  
 CEDAR STREET  
 MONTERA, CA

DRAWN BY: LCL

DATE: 7.16.15

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.		

APPROVAL STAMPS:

ELECTRICAL NOTES:

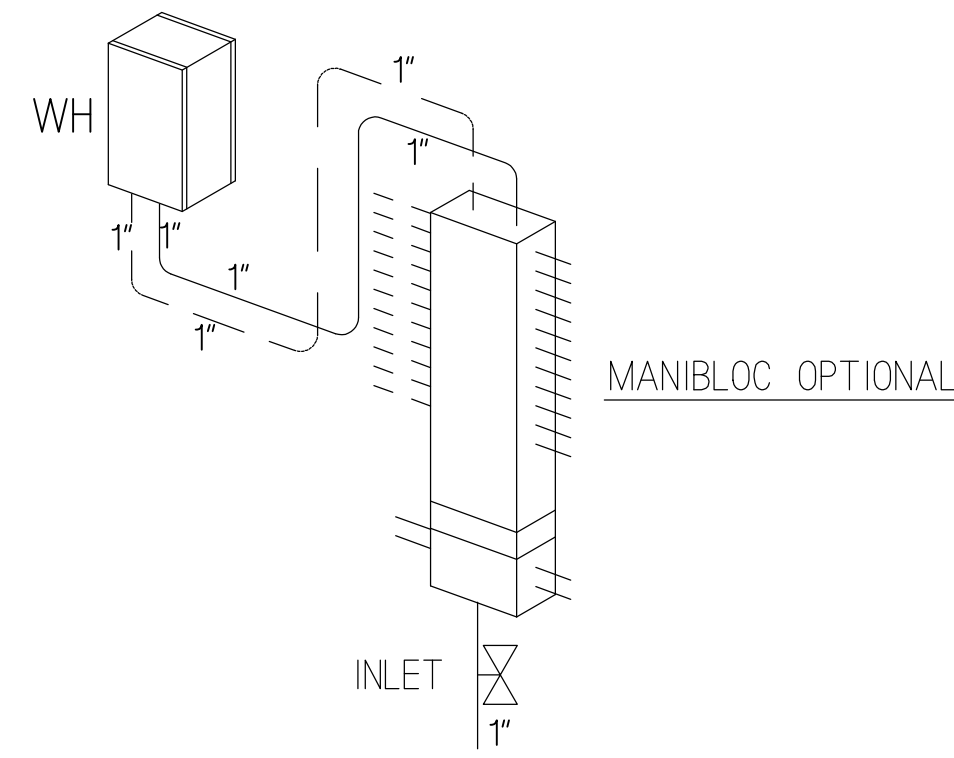
- ALL CONDUCTORS WILL BE COPPER.
- RECEPTACLE OUTLET SPACING CONFORMS TO 2016 CA. ELEC. CODE.
- ALL RECEPTACLES PLACED IN DRAWL SPACE WILL BE GFCI.
- SMOKE DETECTORS SHALL BE WIRED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL SMOKE DETECTOR ALARMS IN THE HOME. \*IN MODELS WITH A BASEMENT, A JUNCTION BOX WILL BE INSTALLED UNDER THE FLOOR AND A SMOKE DETECTOR WILL BE SHIPPED LOOSE FOR SITE INSTALLATION.
- CEILING LIGHTS MAY BE REPLACED WITH CEILING FANLIGHT COMBINATIONS IF THEY ARE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND CODE REQUIREMENTS.
- LIGHTING FIXTURES INSTALLED IN CLOSETS WILL BE IN ACCORDANCE WITH THE 2016 CA. ELEC. CODE.
- \*LIGHTS AND ELECTRICAL CIRCUITS FOR BASEMENT, CRAWL SPACE, AND/OR GARAGE ARE TO BE PROVIDED ON SITE BY OTHERS.
- SPACES ARE PROVIDED IN THE PANEL BOX FOR EXPANSION.
- \*ELECTRICAL INTERCONNECTION BETWEEN MODULES SHALL BE MADE IN THE BASEMENT OR CRAWL SPACE USING JUNCTION BOXES BY A QUALIFIED ELECTRICIAN ON SITE. JUNCTION BOXES AT THE MATE-LINES SHALL BE IDENTIFIED BY CIRCUIT.
- ELECTRICAL BOXES SHALL BE LISTED FOR THE SPECIFIC PURPOSE. BOXES FOR FIXTURE ATTACHMENTS SHALL BE DESIGNED FOR THAT PURPOSE WITH PROPER FIXTURE ATTACHMENT MEANS. ALL FIXTURES SHALL BE ADEQUATELY SUPPORTED PER THE FIXTURE MANUFACTURERS INSTRUCTIONS AND THEIR LISTING REPORT.
- THE METHOD OF MOUNTING FIXTURES AND WIRING INSTALLATION SHALL BE PER THE LISTING REPORT AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- SMOKE DETECTORS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA AND MUST BE INSTALLED IN EACH BEDROOM. AT LEAST ONE (1) SMOKE DETECTOR MUST BE INSTALLED ON EACH LEVEL, INCLUDING BASEMENTS. ALL SMOKE DETECTORS WITHIN A DWELLING UNIT SHALL BE AC/DC AND INTERCONNECTED TO PROVIDE SIMULTANEOUS ACTIVATION.
- ALL BRANCH CIRCUITS THAT SUPPLY 125-V SINGLE PHASE, 15 & 20 AMP OUTLETS INSTALLED IN DWELLING LIVING AREAS SHALL BE PROTECTED BY AN ARC-FULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- ALL 15 AND 20 AMP RECEPTACLES ARE TO BE TAMPER RESISTANT.
- BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY HUMIDISTAT.

UPPER LEVEL ELECTRIC PLAN

NOTE:  
 -ALL BRANCH CIRCUITS SUPPLYING 15 AND 20 AMP OUTLETS IN LIVING AREAS MUST BE AFCI PROTECTED  
 -ALL SWITCHES IN LIVING AREAS TO HAVE DIMMER SWITCHES TYP PER TITLE 24.

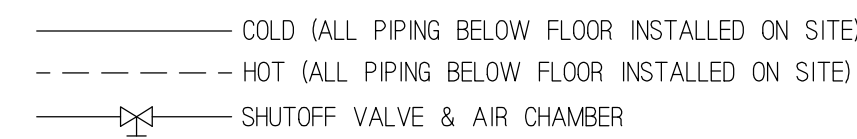
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 UPPER FLOOR  
 ELECTRIC PLAN

DRAWING NUMBER  
 EL2

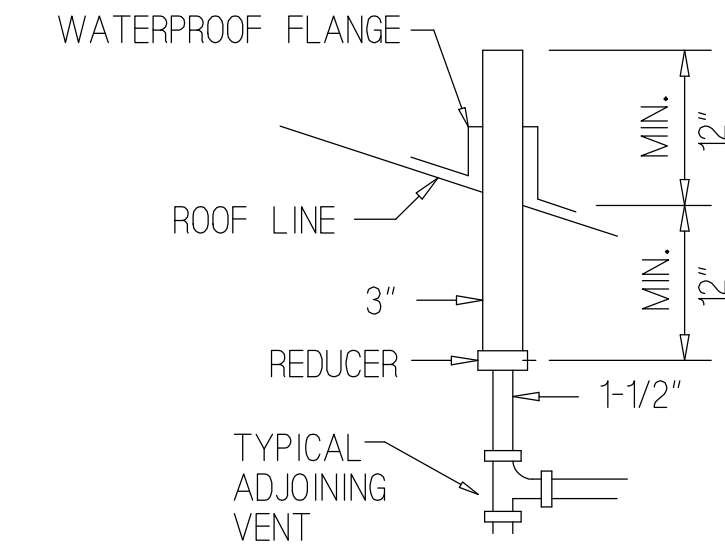
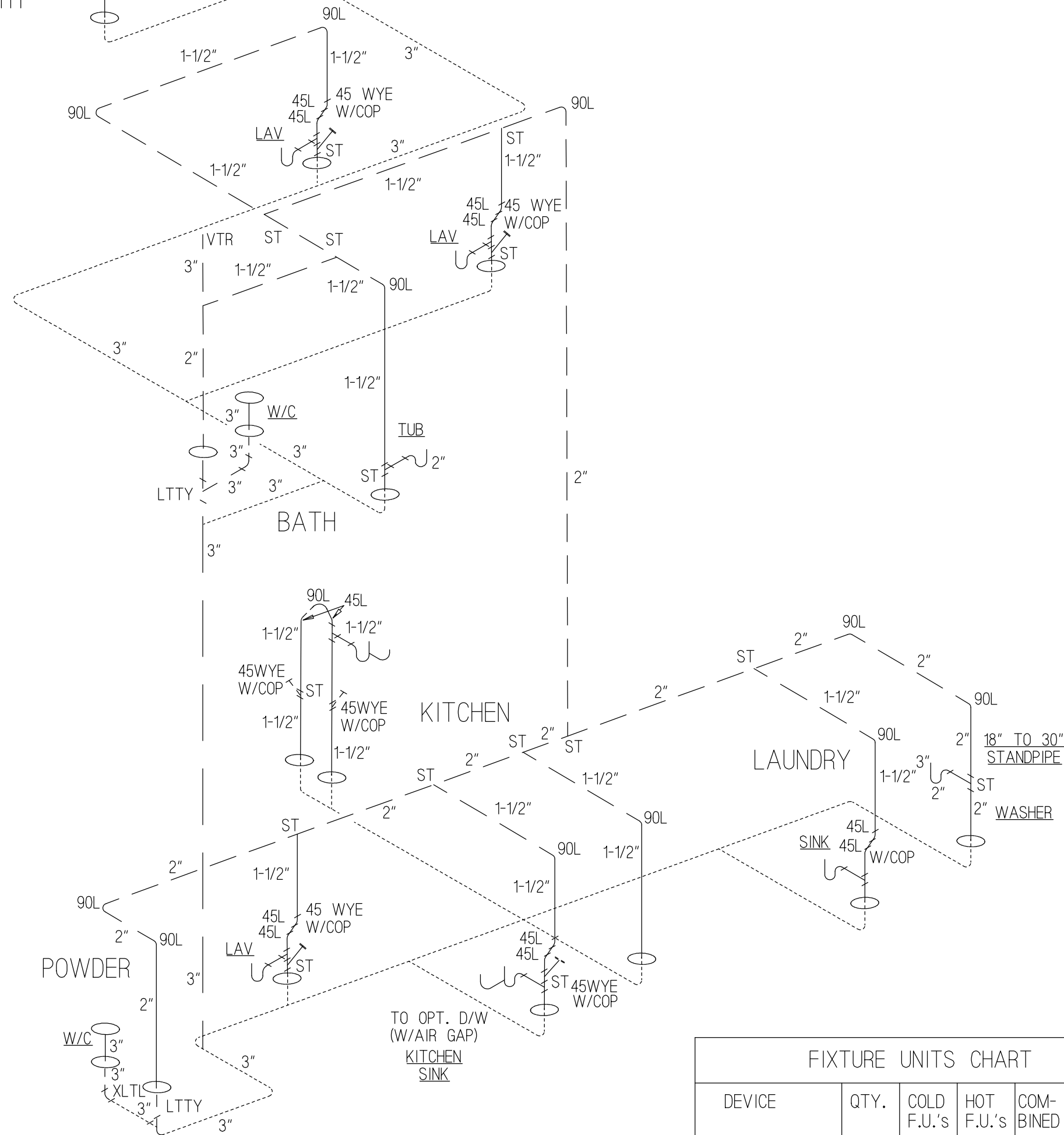
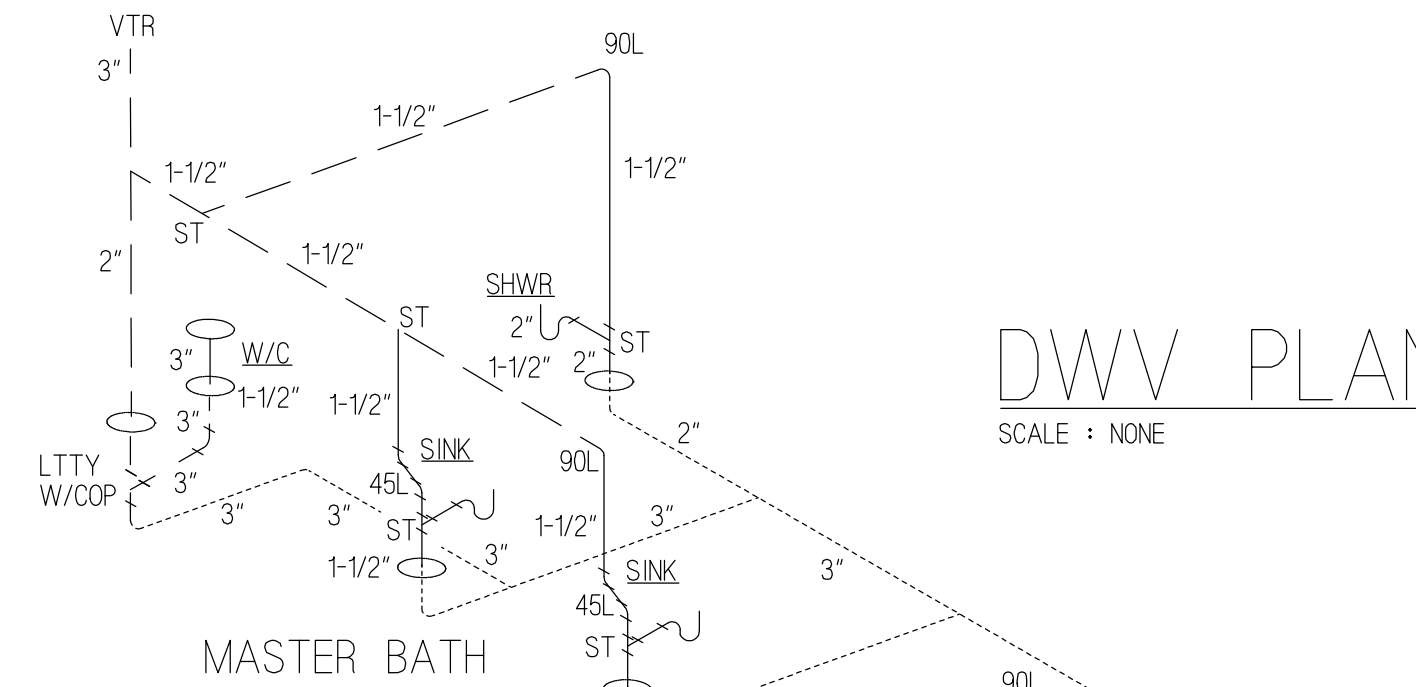
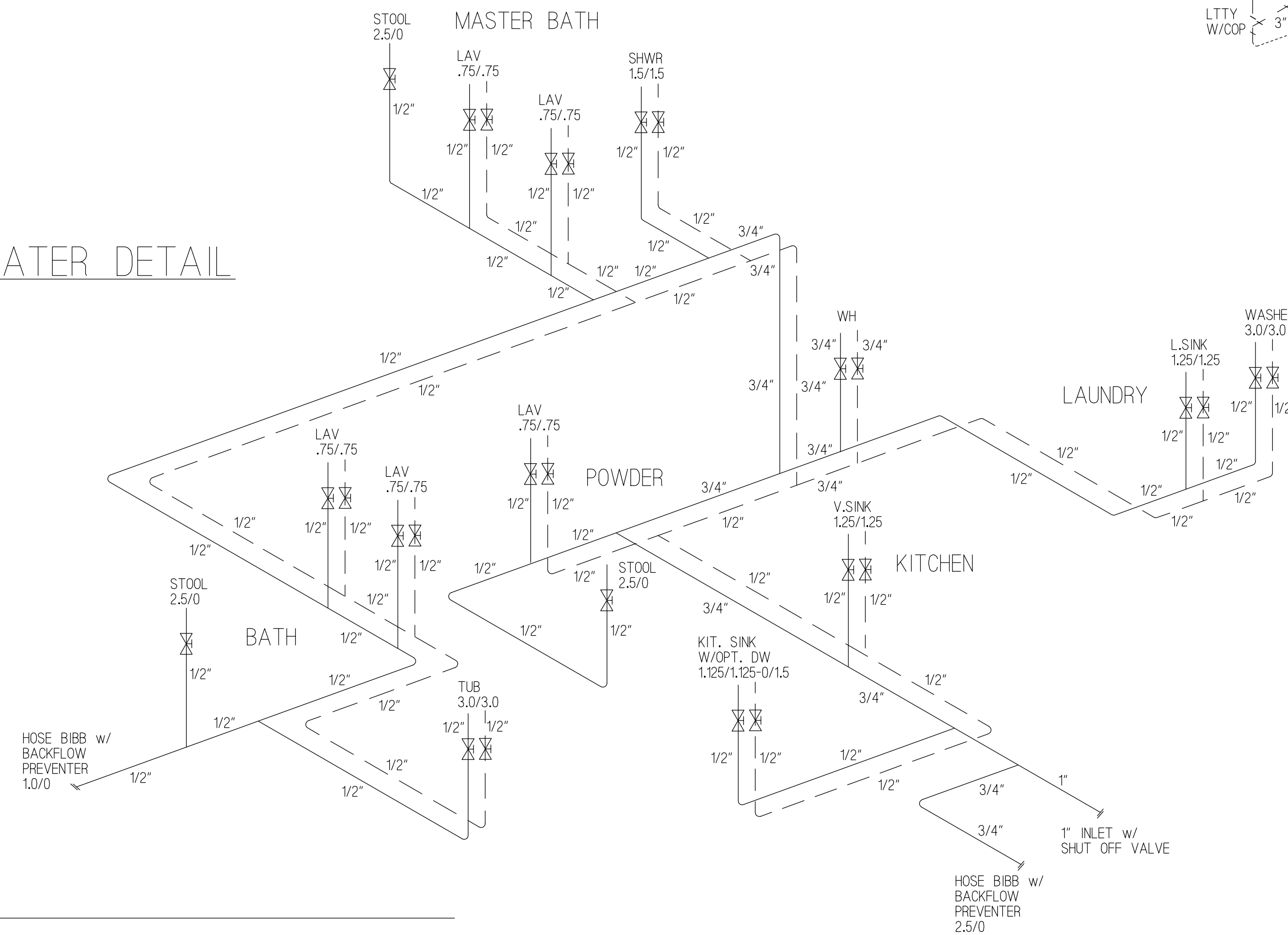
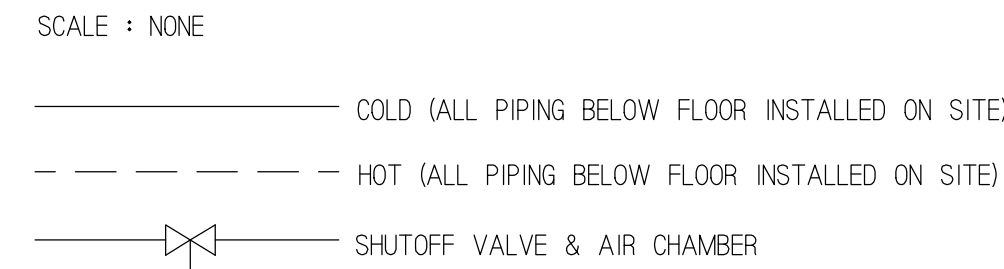


## TYPICAL TANKLESS WATER HEATER DETAIL

ALL SUPPLY LINES WILL CONSIST OF PEX AND BE COMPLIANT WITH ALL STATE CODES.



## SUPPLY PLAN



MANUFACTURER:

SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
6608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(513) 444.0519



PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTERA, CA

DRAWN BY: BHS

DATE: 5.22.17

SCALE: AS SHOWN

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.		

APPROVAL STAMPS:

### PLUMBING NOTES:

- WHEN WATER HEATERS OR HOT WATER STORAGE TANKS ARE INSTALLED IN LOCATIONS WHERE TANK OR CONNECTION LEAKAGE COULD CAUSE DAMAGE, THE TANK OR THE WATER HEATER SHALL BE INSTALLED IN A GALVANIZED STEEL OR OTHER METAL PAN OF EQUAL CORROSION RESISTANCE HAVING A MINIMUM THICKNESS OF 24 GAUGE, 0.0276 INCH. ELECTRICAL WATER HEATERS SHALL BE INSTALLED IN A METAL PAN AS REQUIRED OR IN A HIGH-IMPACT PLASTIC PAN OF AT LEAST 0.0625 INCH THICKNESS.
- THE PAN SHALL NOT BE LESS THAN 1/2 DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MINIMUM DIAMETER OF 1 INCH OR THE OUTLET DIAMETER OF THE REQUIRED RELIEF VALVE, WHICHEVER IS LARGER.
- THE PAN SHALL EXTEND FULL-SIZE AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR FLOOR DRAIN OR EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE NOT LESS THAN 6 INCHES AND NOT MORE THAN 24 INCHES ABOVE THE ADJACENT GROUND SURFACE.
- IN CONCEALED LOCATIONS WHERE PIPING IS INSTALLED THROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RAFTERS OR SIMILAR MEMBERS LESS THAN 1 1/2 INCHES FROM THE NEAREST EDGE OF THE MEMBER, THE PIPE SHALL BE PROTECTED BY SHIELD PLATES. PROTECTIVE SHIELD PLATES SHALL BE A MINIMUM OF 1/16 INCH THICK STEEL, SHALL COVER THE AREA OF THE PIPE WHERE THE MEMBER IS NOTCHED OR BORED, AND SHALL EXTEND A MINIMUM OF 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.
- FIXTURES, INCLUDING P TRAPS, WITH CONCEALED SLIP-JOINT CONNECTIONS SHALL BE PROVIDED WITH AN ACCESS PANEL OR UTILITY SPACE AT LEAST 12 INCHES IN ITS SMALLEST DIMENSION OR OTHER APPROVED ARRANGEMENT SO AS TO PROVIDE ACCESS TO THE SLIP CONNECTIONS FOR INSPECTION AND REPAIR.
- THE DISCHARGE FROM AN AUTOMATIC CLOTHES WASHER SHALL BE THROUGH AN AIR BREAK AND CONNECTED TO A STANDPIPE.
- STANDPIPES SHALL BE INDIVIDUALLY TRAPPED. STANDPIPES SHALL EXTEND A MINIMUM OF 18 INCHES AND A MAXIMUM OF 30 INCHES ABOVE THE TRAP. ACCESS SHALL BE PROVIDED TO ALL STANDPIPE TRAPS AND DRAINS FOR RODDING.
- THE PUMP SHALL BE ACCESSIBLE ON ALL WHIRLPOOL BATHTUBS.
- SHOWER AND TUB-SHOWER COMBINATION VALVES SHALL BE BALANCED PRESSURE, THERMOSTATIC OR COMBINATION MIXING VALVES. SUCH VALVES SHALL BE EQUIPPED WITH HANDLE POSITION STOPS THAT ARE FIELD ADJUSTED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS TO A MAXIMUM HOT WATER SETTING OF 120 DEGREES F.
- THE FLOW VELOCITY OF THE WATER DISTRIBUTION SYSTEM SHALL BE CONTROLLED TO REDUCE THE POSSIBILITY OF WATER HAMMER. A WATER HAMMER ARRESTER SHALL BE INSTALLED WHERE QUICK CLOSING VALVES ARE UTILIZED, UNLESS OTHERWISE APPROVED. THE ARRESTER SHALL BE LOCATED WITHIN AN EFFECTIVE RANGE OF A QUICK CLOSING VALVE. WATER HAMMER ARRESTERS SHALL CONFORM TO ASSE 1010. ACCESS SHALL BE PROVIDED TO WATER HAMMER ARRESTERS.
- HOSE BIBB VALVES INSTALLED IN PLANT AND SHALL BE IDENTIFIED WITH A HANG TAG. WASHER AND HOSE BIBBS SHALL HAVE A VACUUM BREAKER INSTALLED.
- DRAIN WASTE AND VENT LINES SHALL MEET ASTM D2662-89A REQUIREMENTS AND BE COMPLIANT WITH ALL APPLICABLE STATE CODES.
- ALL PLUMBING VENTS TO BE A MINIMUM OF 10 FEET AWAY FROM OR AT LEAST 3'-0" ABOVE ANY OPERABLE SKYLIGHTS.
- CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT.
- WATER DISTRIBUTION SYSTEM SUPPLY LINES WILL BE COMPLIANT WITH ALL STATE CODES.

\*\*ALL PLUMBING IS STUBBED THRU\*\*

### DWV GENERAL NOTES:

- CPC 101.3 - PIPES WILL CONSIST OF ABS AND BE COMPLIANT WITH ALL APPLICABLE STATE CODES.
- ALL PIPES AND FITTINGS TO BE 1 1/2 DIA. UNLESS SPECIED OTHERWISE
- A COPY OF THIS DRAWING SHALL BE INCLUDED IN THE INSTALLATION INSTRUCTIONS FOR SITE INSTALLATION OF PIPE AND FITTINGS.
- DRAIN DUMP MAY BE D/LTL OR 90 DEGREES DBL. L OR WYE.
- DENOTES SHIP LOOSE FOR ON SITE INSTALLATION.
- STOOL TRAP ARM MAX. 6.
- DENOTES PLBG. THRU FLOOR.
- MIN. HORIZONTAL SLOPE FOR DRAIN LINES IS 1/4" PER 1'-0".
- ALL 1 1/2" P-TRAPS TO HAVE A MAXIMUM LENGTH OF 42" FOR TRAP ARM PER CPC CHAPTER 10
- ALL 2" P-TRAPS TO HAVE A MAXIMUM LENGTH OF 60" FOR TRAP ARM PER CPC CHAPTER 10

ALL PLUMBING BELOW SHIPPED FLOOR IS INSTALLED ON SITE BY OTHERS.

### SUPPLY GENERAL NOTES:

- ALL SUPPLY LINES WILL CONSIST OF PEX PIPE / FLAIR-IT FITTINGS (PEX SHALL NOT BE USED WITHIN THE FIRST 18" OF PIPING CONNECTED TO THE WATER HEATER PER CPC 604.13)
- EXTERIOR FAUCETS TO BE PROVIDED WITH ANTI-SIPHON DEVICES AND FROST PROOF.
- PROVIDE A WATERTIGHT PAN OF CORROSION RESISTANT MATERIALS SHALL BE INSTALLED BENEATH THE WATER HEATER WITH A MINIMUM THREE-QUARTER INCH (20 mm) DIAMETER DRAIN TO AN APPROVED LOCATION CPC 507.4
- SHOWERS AND TUBS: SHOWERS IN ALL BUILDINGS SHALL BE PROVIDED INDIVIDUAL CONTROL VALVES THAT LIMIT TEMPERATURE TO A MAXIMUM OF 120° (49°c). THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL CPC 408.3
- WATER CONSERVING PLUMBING FIXTURES ARE REQUIRED BY CAL GREEN 4.303.  
TOILETS: 1.28 GPF  
SHOWER HEADS: 2.0 GPM @ 80 PSI  
LAVY FAUCETS: 1.5 GPM @ 60 PSI  
KITCHEN FAUCETS: 1.8 GPM @ 60 PSI
- ALL COLD WATER PIPING SHALL BE LOCATED WITHIN CONDITIONED SPACE OR OTHERWISE PROTECTED FROM FREEZING IN ACCORDANCE WITH LOCAL ADOPTED CODES. - CPC 312.6
- ALL DOMESTIC HOT WATER PIPING CONDITIONS LISTED BELOW MUST BE INSULATED AND THE INSULATION THICKNESS SHALL BE BASED ON THE CONDUCTIVITY RANGE IN TABLE 120.3-A AND THE INSULATION LEVEL SHALL BE SELECTED FROM THE FLUID TEMPERATURE RANGE. 150.0 (L)  
THE FIRST 5 FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK  
ALL PIPING WITH A NOMINAL DIAMETER OF 3/4" OR LARGER  
ALL HOT WATER PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES  
FLUID TEMPERATURE RANGE = 105° - 140° F  
CONDUCTIVITY RANGE = 0.22 - 0.28  
REQUIRED THICKNESS -  
1" INSULATION FOR PIPES LESS THAN 1" NOMINAL DIAMETER  
1-1/2" INSULATION FOR PIPES 1" TO 1-1/2"  
NOMINAL DIAMETER -  
SEE WATER HEATER CUT SHEETS FOR REQUIRED ENERGY EFFICIENT WATER HEATER
- STRAP WATER HEATER FOR SEISMIC RESTRAINT-CPC 507.2
- STORAGE GAS WATER HEATERS WITH AN ENERGY FACTOR EQUAL TO OR LESS THAN THE FEDERAL MINIMUM STANDARDS SHALL BE EXTERNALLY WRAPPED WITH INSULATION HAVING AN INSTALLED THERMAL RESISTANCE OF R-12 OR GREATER. 150.0 J

### FIXTURE UNITS CHART

DEVICE	QTY.	COLD F.U.'s	HOT F.U.'s	COM-BINED	INLET TOTAL
WATER CLOSET	3	2.5	0	2.5	7.5
LAV *	5	0.75	0.75	1.0	5.0
TUB/SHOWER *	1	3.0	3.0	4.0	4.0
SHOWER *	1	1.5	1.5	2.0	2.0
TUB *	0	3.0	3.0	4.0	0.0
SINK *	1	1.25	1.25	1.5	1.5
OPT. DISHWASHER	1	0	1.5	1.5	1.5
WASHER *	1	3.0	3.0	4.0	4.0
MISC.	0	0	0	0	0
OPT. H.B. (ONE)	1	2.5	0	2.5	2.5
OPT. H.B. (ADDT'L)	1	1.0	0	1.0	1.0
OPT. L SINK *	1	1.25	1.25	1.5	1.5
OPT. SINK *	1	1.25	1.25	1.5	1.5
OPT. LAV *	0	0.75	0.75	1.0	0
OPT. BAR SINK *	0	0.75	0.75	1.0	0
TOTAL FIXTURE UNITS					32.0

TABLE 610.3 UPC  
\* = VALUE SHOWN FOR FIXTURES W/BOTH HOT & COLD WATER IS 75% OF THE VALUE LISTED IN UPC TABLE 610.3 (FOOTNOTE 3)

PIPE SIZE (ID)	MAX. F.U.'s
1/2"	6
3/4"	19
1"	36
1 1/4"	39

TABLE 610.4 UPC  
46-60 PSI PRESSURE - 80' MAX. LENGTH  
3/4" METER SERVICE  
1" BUILDING SERVICE

RESIDENCE WILL HAVE A MINIMUM DESIGN PRESSURE OF 40 PSI FOR A MAXIMUM DEVELOPED LENGTH OF 55 FEET

SHEET TITLE

PLUMBING & WATER LINES

DRAWING NUMBER

P1



CHAPTER 7A WUIC GUIDELINES NOTES:

**EXTERIOR COVERINGS**  
THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES AND ROOF EAVE SOFFITS SHALL BE PROTECTED BY ONE OF THE 1 THROUGH 4 ITEMS AS FOR EXTERIOR WALLS OR HAVE BOXED IN SOFFITS MEETING SFM 7A-3 (R327.7.5)  
EX: FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS.

EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY ONE OF THE 1 THROUGH 4 ITEMS AS FOR EXTERIOR WALLS OR HAVE PORCH CEILING ASSEMBLIES MEETING SFM 7A-3 (R327.7.6).  
EX: ARCHITECTURAL TRIM BOARDS.

EXPOSED UNDERSIDE OF FLOOR PROJECTIONS SHALL BE PROTECTED BY ONE OF THE 1 THROUGH 4 ITEMS AS FOR EXTERIOR WALLS OR HAVE AN UNDERSIDE ASSEMBLY MEETING SFM 7A-3 (R327.7.7).  
EX: ARCHITECTURAL TRIM BOARDS.

THE UNDERFLOOR AREA OF OVERHANGS, OR ELEVATED BUILDINGS AND UNDERSIDE OF APPENDAGES SHALL BE ENCLOSED TO GRADE OR THE UNDERSIDE SHALL BE PROTECTED BY ONE OF THE 1 THROUGH 4 ITEMS AS FOR EXTERIOR WALLS OR HAVE AN ASSEMBLY MEETING SFM 7A-3 (R327.7.8 & R327.7.9).  
EX: HEAVY-TIMBER STRUCTURAL COLUMNS AND BEAMS DO NOT REQUIRE PROTECTION.

**EXTERIOR GLAZING**  
EXTERIOR WINDOWS, GLAZED DOORS, GLAZED OPENINGS WITH EXTERIOR DOORS AND STRUCTURAL GLASS VENEER SHALL BE CONSTRUCTED OF ONE OF THE FOLLOWING:  
NOTE - PROVIDE ON WINDOW SCHEDULE AND CALL OUT ON FLOOR PLAN (R327.8.2)

- MULTIPANE GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE MEETING SECTION 2406 SAFETY GLAZING.
- GLASS BLOCK UNITS.
- 20 MINUTE MINIMUM FIRE RATED WINDOW.
- MEET SMF 12-7A-2.

**ROOFING**  
CLASS B MINIMUM (SM CO DIV VII, SEC 9113; 2013 CRC R902.12)  
CLASS A IN VHHFSZ (2013 CRC R902.1.1)

WHERE ROOF PROFILE ALLOWS FOR A SPACE BETWEEN THE ROOF COVERING AND THE DECK, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. FIRE STOPPED OR HAVE ONE LAYER OF NO. 72 ASTM D 3909 CAP SHEET OVER THE COMBUSTIBLE DECKING. (R327.5.2)  
VALLEY FLASHINGS MIN. 0.09-INCH (NO. 26 GALV.) CORROSION RESISTANT METAL OVER 3/8 INCH WIDE UNDERLAYMENT OF NO. 72 LB MINERAL-SURFACED NONPERFORATED ASTM D 3909 CAP SHEET. (R327.5.3)  
ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF DEBRIS. (R327.5.4)

**VENTS**  
VENTILATION OPENINGS FOR ATTICS, ENCLOSED EAVE SOFFITS, ENCLOSED RAFTER SPACES AND UNDERFLOOR AREAS SHALL BE NON-COMBUSTIBLE, CORROSION RESISTANT, AND HAVE WIRE MESH WITH 1/8TH TO 1/8TH INCH (1.6-3.2 MM) OPENINGS OR ITS EQUIVALENT. (R327.6.2)

**EAVE VENTS**  
VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES.  
EXCEPTIONS: 1. APPROVED FLASHING AND EMBER RESISTANT VENTS. 2.1 ATTIC IS FULLY PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM, AND 2.2 EXTERIOR WALL AND UNDERSIDE OF EAVE IS NON-COMBUSTIBLE AND MORE THAN 12 FT FROM GROUND, PATIO, PORCH, DECK OR SIMILAR SURFACE (R327.6.3)

**EXTERIOR COVERINGS**  
EXTERIOR WALLS SHALL COMPLY WITH ONE OF THE FOLLOWING. (R327.7.3)

- NON-COMBUSTIBLE MATERIAL
- IGNITION-RESISTANT MATERIAL
- ONE LAYER OF 5/8TH TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING
- 1-HOUR FIRE RESISTANT EXTERIOR WALL ASSEMBLY
- LOG WALL CONSTRUCTION
- WALL ASSEMBLIES MEETING SFM 12-7A-1

**OPEN ROOF EAVES:** THE EXPOSED ROOF DECK ON THE UNDERSIDE OF THE ROOF EAVE SHALL COMPLY WITH ONE OF 1 THROUGH 4 AS FOR EXTERIOR WALLS ABOVE (R327.7.4).  
EX: 12" NOMINAL SOLID WOOD RAFTER TAILS, 2x2" NOMINAL SOLID ROOF BLOCKING BETWEEN RAFTER TAILS, 3. FASCIA AND OTHER ARCHITECTURAL TRIM BOARDS.

**DOORS**  
EXTERIOR DOOR ASSEMBLIES, INCLUDING GARAGE DOORS, SHALL COMPLY WITH ONE OF THE FOLLOWING (R327.8.3)

- SURFACE OR CLADDING BE OF NON-COMBUSTIBLE, OR IGNITION-RESISTANT MATERIAL.
- CONSTRUCTED OF SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" WITH INTERIOR FELD PANEL THICKNESS NO LESS THAN 1-1/4" THICK.
- HAVE A FIRE RESISTANT RATING OF NOT LESS THAN 20 MINUTES.
- MEET SFM 22-7A-1

**DECKING**  
THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE CONSTRUCTED OF ONE OF THE FOLLOWING WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FT. OF THE STRUCTURE (R327.9.3).

- IGNITION-RESISTANT MATERIALS THAT COMPLY WITH SFM 12-7A-4 AND 12-7A-5.
- EXTERIOR FIRE-RETARDANT-TREATED WOOD.
- NON-COMBUSTIBLE MATERIAL.
- MATERIAL COMPLYING WITH SFM 12-7A-4A WHEN ATTACHED TO A NON-COMBUSTIBLE OR IGNITION RESISTANT WALL COVERING. EX: WHEN DECKING SURFACE MATERIAL MEETS ASTM E 84, CLASS B FLAME SPREAD, ANY OTHER MATERIAL THAT OTHERWISE COMPLIES WITH R327.7.3.

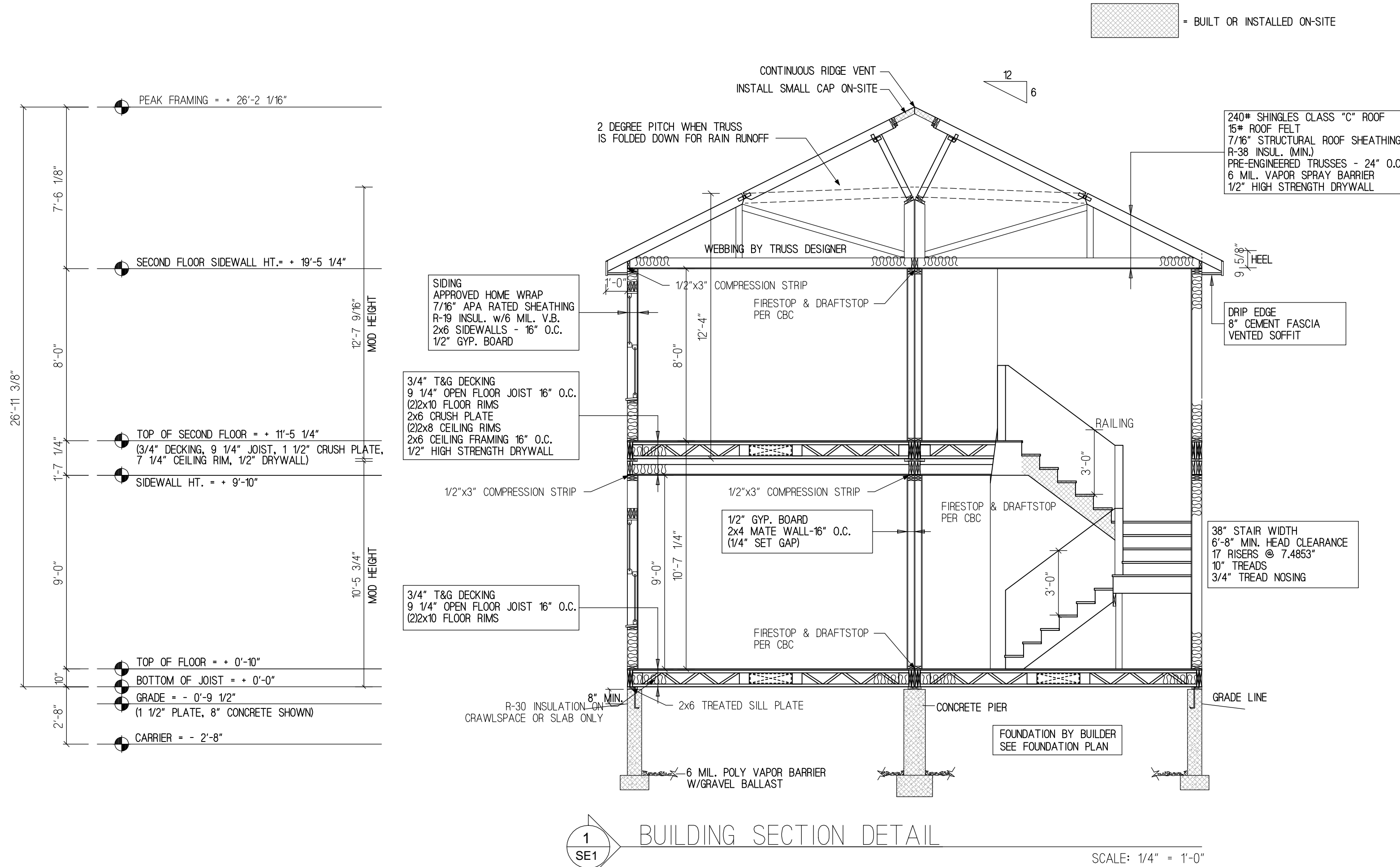
**ACCESSORY STRUCTURE**  
TRELLISES, ARBORS, PATIO COVERS, CARPORTS, GAZEBOS AND SIMILAR STRUCTURES ATTACHED TO APPLICABLE BUILDINGS AND DETACHED BUILDINGS WITHIN 50 FT SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE OR IGNITION RESISTANT MATERIAL. (R327.10)

GENERAL NOTES

EXTERIOR JOINTS IN THE BUILDING ENVELOPE THAT ARE SOURCES OF AIR LEAKAGE SUCH AS ROUND WINDOWS AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF/CEILING AND BETWEEN WALL PANELS, OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS, AND ROOFS AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED IN AN APPROVED MANNER

SOFFIT VENTS AND RIDGE VENTS EQUAL TO 1/50 OF TOTAL ROOF AREA (THIS FACTOR MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER OF 1 PERM OR LESS IS INSTALLED IN ATTIC)

CONSTRUCTION WILL BE COMPLIANT WITH ALL STATE CODES



**CRAWLSPACE VENTING**  
1/60 PER SQ. FT. CRAWLSPACE VENTING LOCATION OUT THROUGH RIM AFTER BUILDING SET IF CRAWLSPACE IS NOT CONDITIONED. IF CRAWLSPACE IS CONDITIONED AND A 6 MIL POLYETHYLENE VAPOR BARRIER IS USED ON THE CRAWLSPACE FLOOR, 1/500 PER SQ. FT. OF VENTING IS REQUIRED.  
LOCATE CLOSE TO CORNERS & EVENLY DISTRIBUTED TO PROVIDE CROSS VENTILATION

**ATTIC VENTING**  
EAVE VENTS AND RIDGE VENTS EQUAL TO 1/50 OF TOTAL ROOF AREA (THIS FACTOR MAY BE REDUCED TO 1/300 WHEN A 6 MIL VAPOR BARRIER OF 1 PERM OR LESS IS INSTALLED IN ATTIC)  
EAVE VENTING SUBJECT TO WUIC GUIDELINES IF APPLICABLE.

**PRESCRIPTIVE INSULATION REQUIREMENTS**  
R-38 INSULATION TO BE PROVIDED IN ATTIC  
R-19 INSULATION TO BE PROVIDED IN EXTERIOR FRAMED WALLS  
R-30 INSULATION TO BE PROVIDED BETWEEN FLOOR JOISTS OVER UNCONDITIONED SPACE AND AREAS OVER OUTDOOR AIR (OPT. IN-PLANT INSTALLATION)

**FRAMING NOTES:**

- STUD TO PLATE 2x6 3-10d, 2x4 2-10d.
- DOUBLE 2x6 OR 2x4 TWO ROWS 2d @16" STAGGERED.
- FLOOR RIM AND BEAM PLYS TO BE FASTENED WITH 3 ROWS 10d NAILS @ 12".
- HEADER PLYS TO BE FASTENED WITH 3 ROWS 10d @8".
- HEADERS TO BE (3) 2x W/1/2" OSB FILLERS.
- MINIMUM TOP PLATE LAP TO BE 48".
- STUD GRADE TO BE SPF#2 OR BETTER.
- PLATE GRADE TO BE SPF#2 OR BETTER.
- RIM GRADE TO BE SPF#2 OR BETTER.
- HEADER GRADE TO BE SPF#2 OR BETTER.
- ROOF TRUSSES PLACED @ 24" O.C.
- 9 1/4" FLOOR TRUSSES PLACED @ 16" O.C.

CRC R302.9.1- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.  
CRC R302.9.2- WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.  
CRC R312.12- REQUIRED GUARDS SHALL BE NOT LESS THAN 42 INCHES HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE, ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS, REVISED ITEM 38 ON SE1  
CRC R906.2 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO VENTILATED AT LEAST 3" ABOVE THE EAVE OR CORNICE OR 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. PROVIDE ATTIC VENTILATION CALCULATIONS WITH THE SIZE AND NUMBER OF VENTS.

RESUME OF SITE WORK

- All work provided by others
- Complete foundation and structural tie-downs. Design and construction of foundation system and tie downs done by others and is subject to local jurisdiction having authority.
  - Attach modules to foundation per approved foundation design package.
  - Bridge sheathing at mate lines as required per structural drawing.
  - Complete flue pipes for furnace and water heater.
  - Complete moisture protection connections between modules at roof, walls, and floor.
  - Interconnect fresh water plumbing at mateline in the crawl space
  - Install waste and water manifolds in crawl space as required.
  - Connect HVAC flex duct under floor per HVAC design provided with this package.
  - Install air conditioning equipment including compressor, coolant lines and electrical connections as required by the local authority.
  - Supply and install all gas line piping materials, manifolds and risers as required by the local authority.
  - Complete electrical connections between the modules.
  - Connect electrical service to the panel on home as required by local authority.
  - Interconnect fire sprinkler system through access panels.
  - Connect water, sewer, gas, and fire sprinkler service to home as required by local authority.
  - Perform required test for electrical, plumbing, mechanical, and fire sprinklers as required by the local authority.
  - Complete interior trim, finishing gypsum board, repairing cracks, adjusting doors, and installing carpets and other flooring as needed.
  - Complete mod line structural connections per structural drawings.

MANUFACTURER:

SUBMITTAL CONSULTANT:  
GH DESIGN  
POWER HOUSE DESIGN GROUP  
8608 DEVON DRIVE  
LIBERTY TOWNSHIP, OH 45044  
(513) 444.0519

PROJECT NAME:  
NEW MODULAR CONSTRUCTION  
TIM PATTERSON  
CEDAR STREET  
MONTERA, CA

DRAWN BY: LCL

DATE: 5.22.17

SCALE: NONE

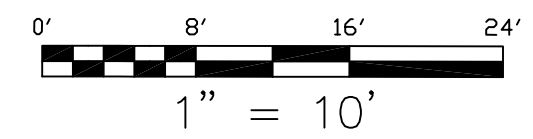
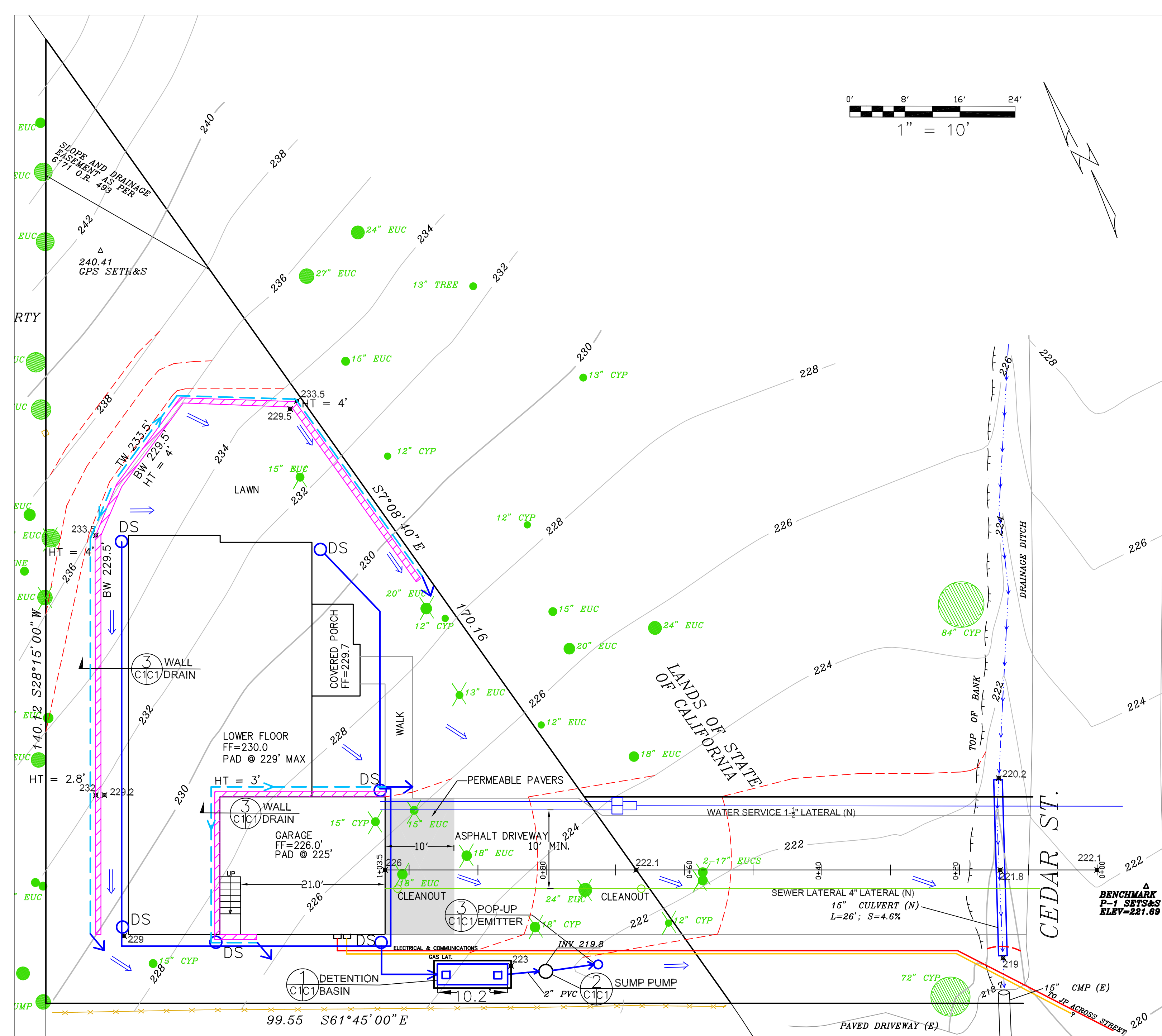
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APPROVAL STAMPS:

SHEET TITLE  
SECTION VIEW

DRAWING NUMBER  
SE1





**LEGEND**

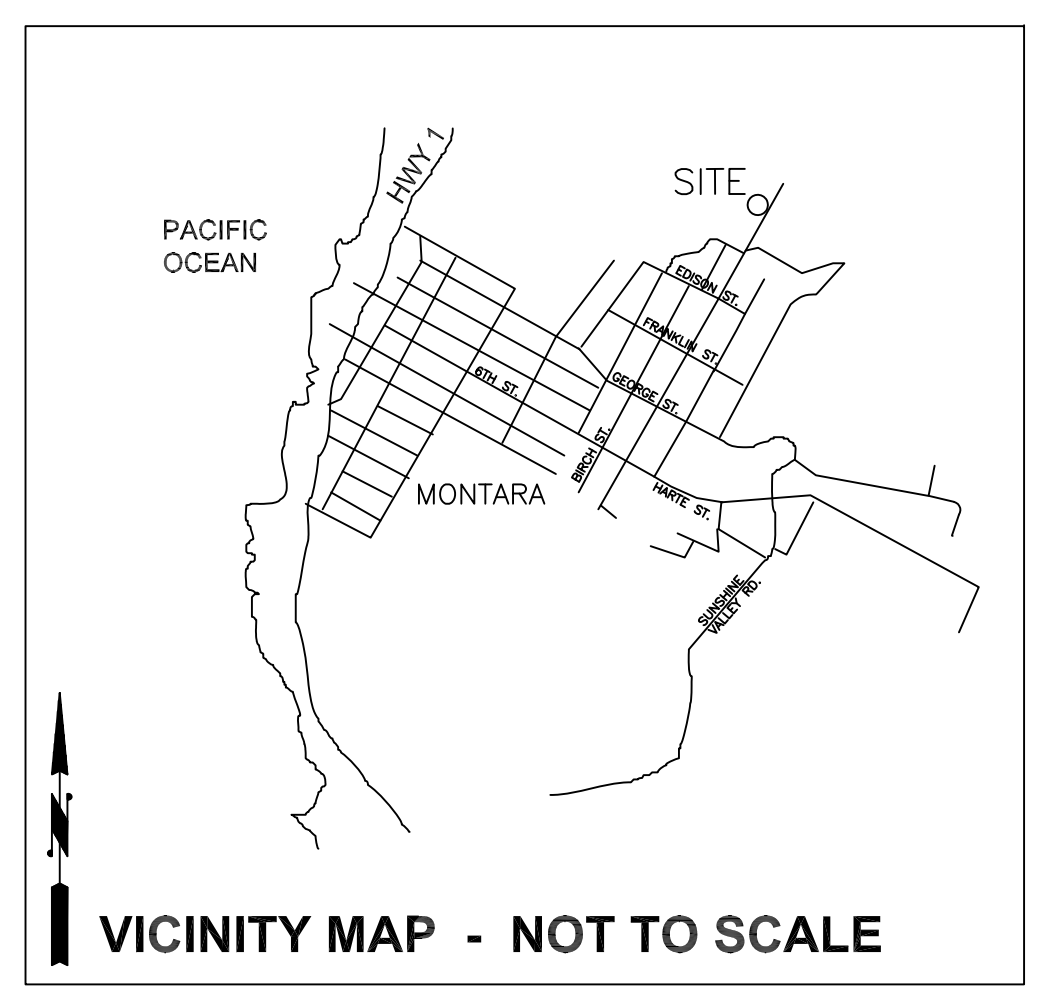
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- RETAINING WALL (MAX HEIGHT = 4')
- DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE FLOW
- SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE. ALL SDR 35 DRAIN PIPES TO BE 4" DIA. UNLESS OTHERWISE NOTED.
- 18" EUC TREE TO BE REMOVED

**GENERAL NOTES**

1. PLANS PREPARED AT THE REQUEST OF: TIM PATTERSON, OWNER
2. SURVEY AND TOPOGRAPHY BY TURNROSE SURVEYING, APRIL 2007.
3. ELEVATION DATUM ASSUMED. THIS IS NOT A BOUNDARY SURVEY.

**DRAINAGE NOTES**

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DETENTION BASIN SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 4" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.



**GRADING NOTES**

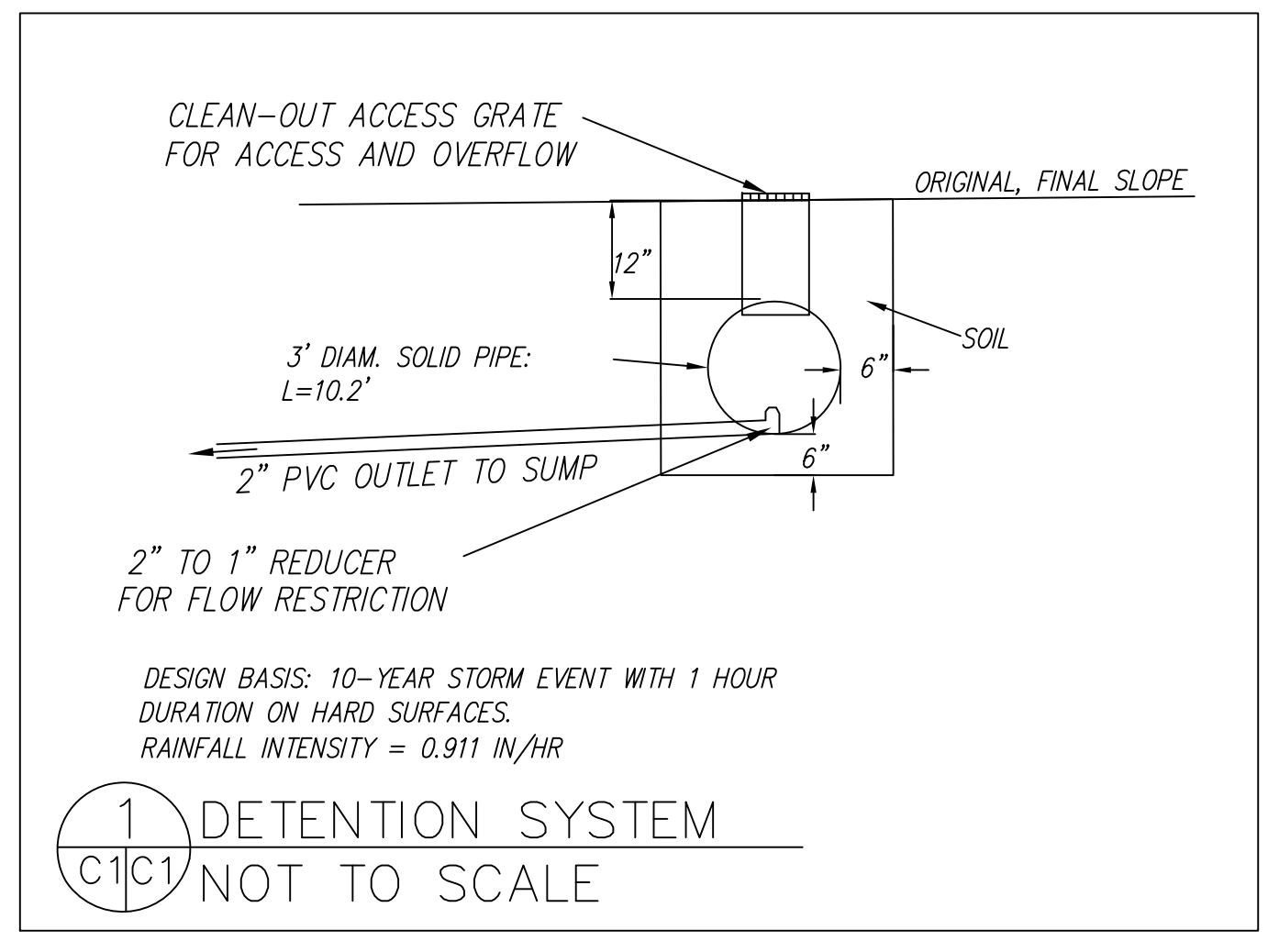
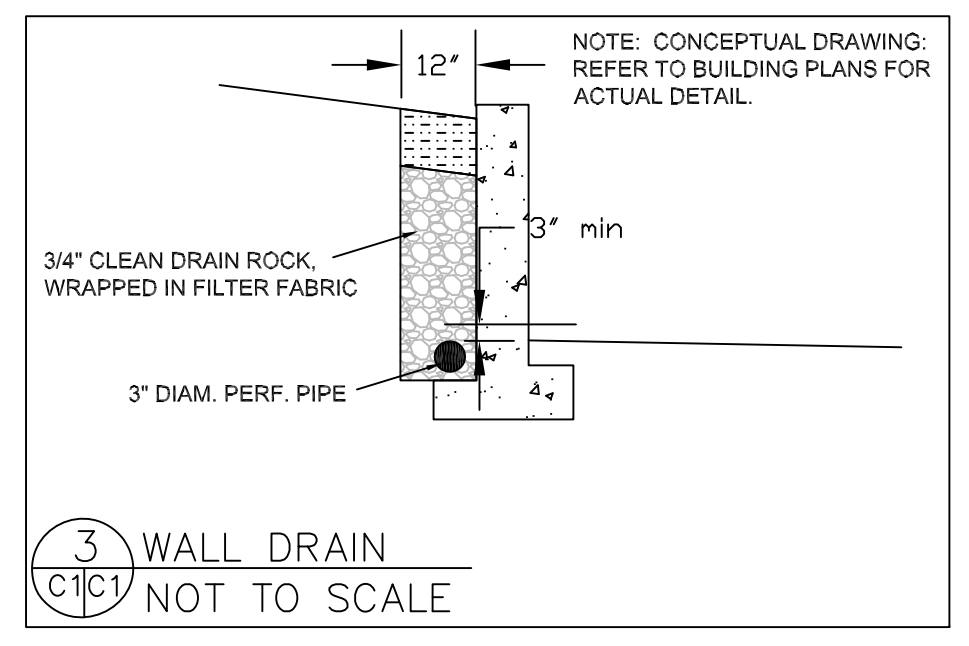
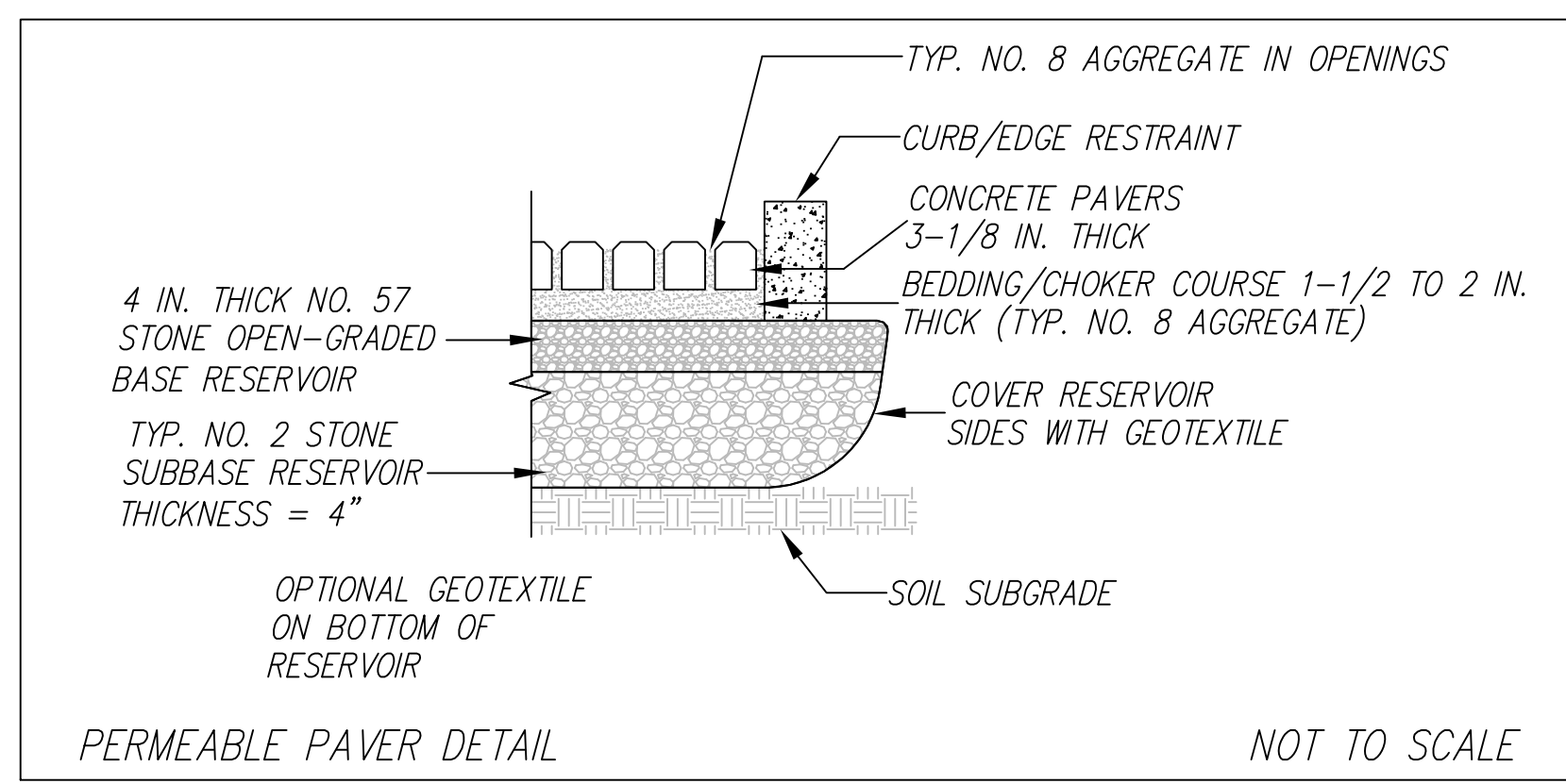
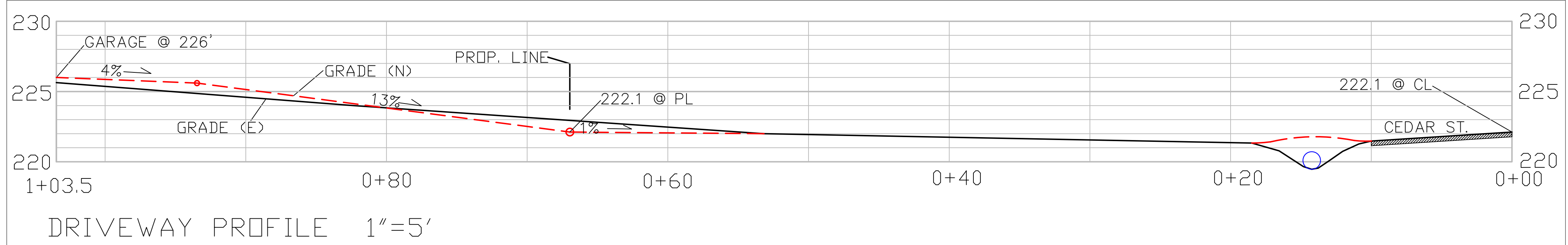
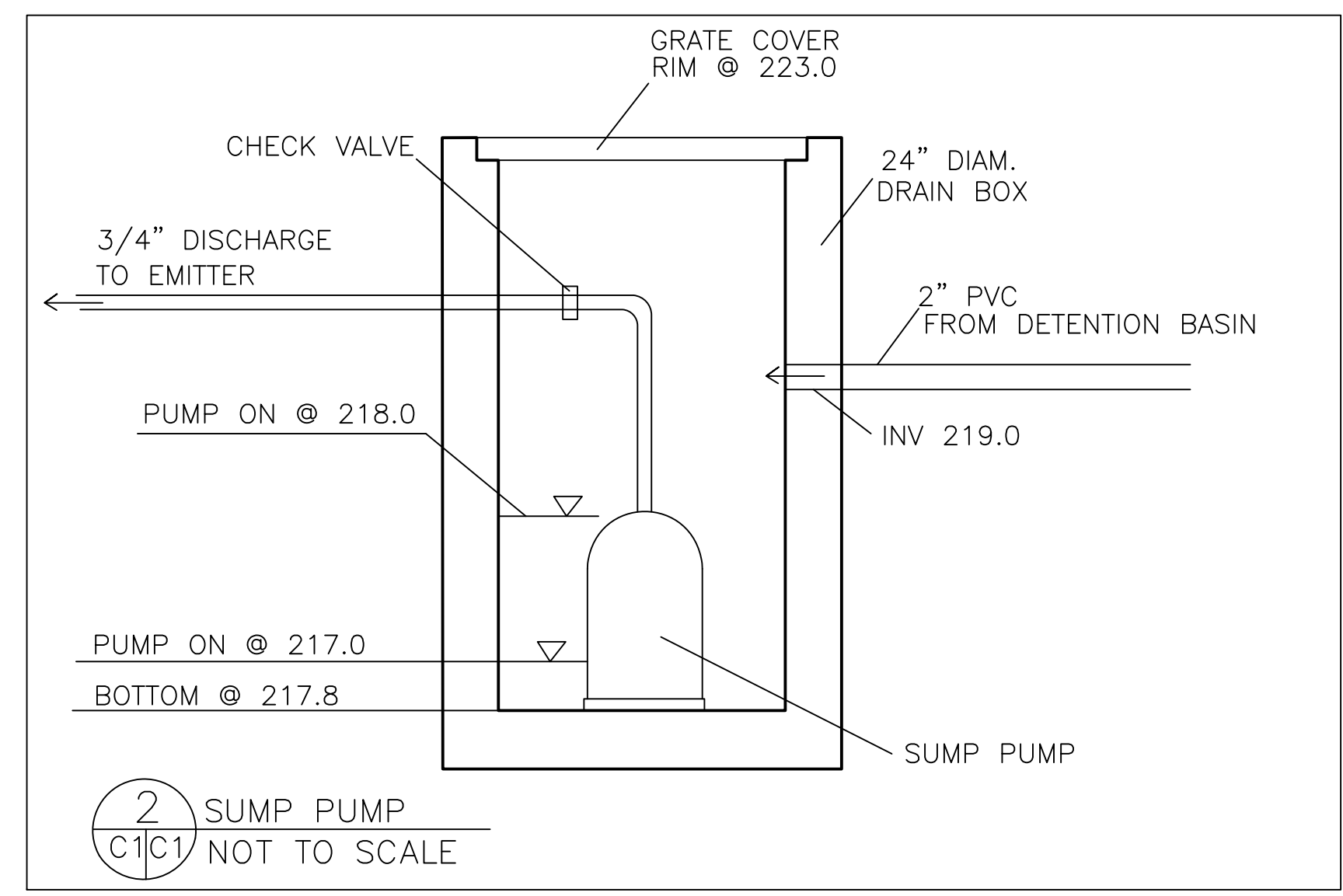
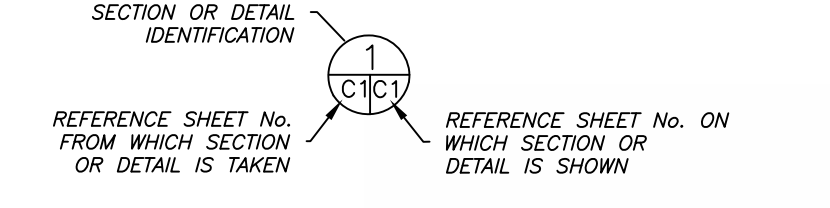
CUT VOLUME : 240 CY  
 FILL VOLUME : 0 CY

ABOVE VOLUMES ARE APPROXIMATE.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**SECTION AND DETAIL CONVENTION**



DATE: 6-20-19	DRAWN BY: CMK	CHECKED BY: AZG	JOB NO. 17-181	REV. DATE: 2-3-20	REV. DATE: 9-1-20
Sigma Prime Geosciences, Inc.		SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593			

**GRADING AND DRAINAGE PLAN**

PATTERSON PROPERTY  
 CEDAR STREET  
 MONTARA, CALIFORNIA  
 APN 036-122-370

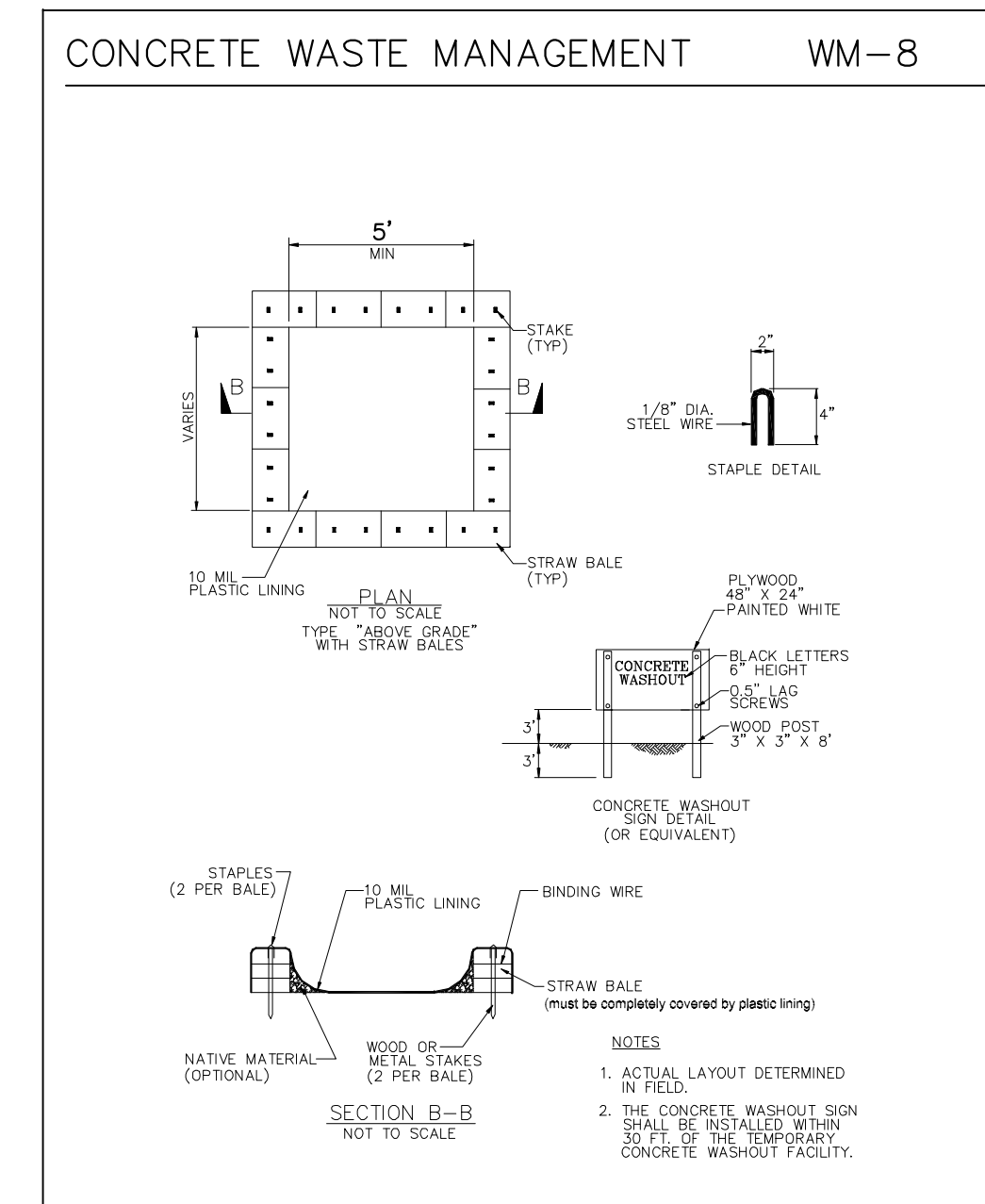
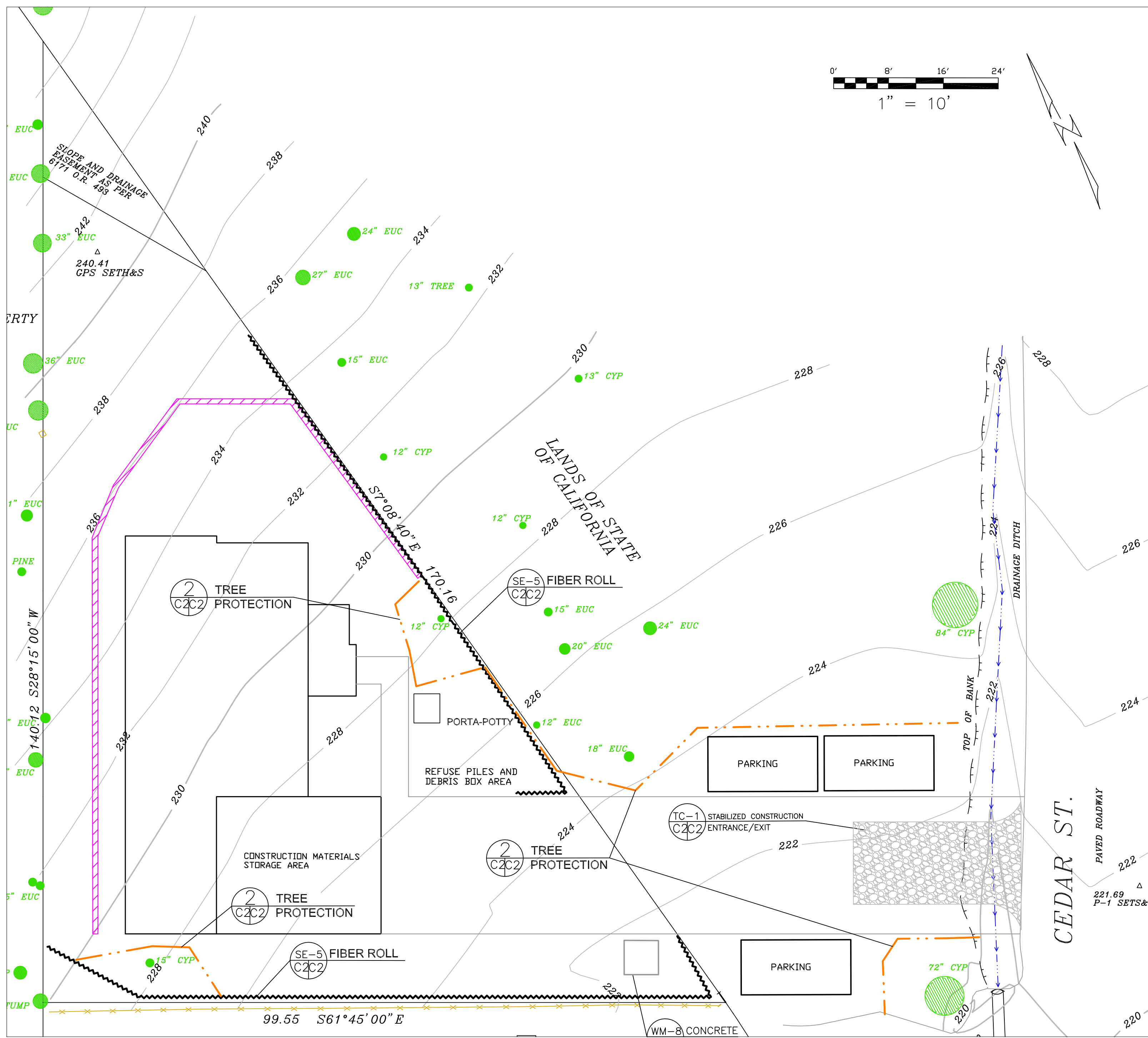
SHEET  
 C-1



GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

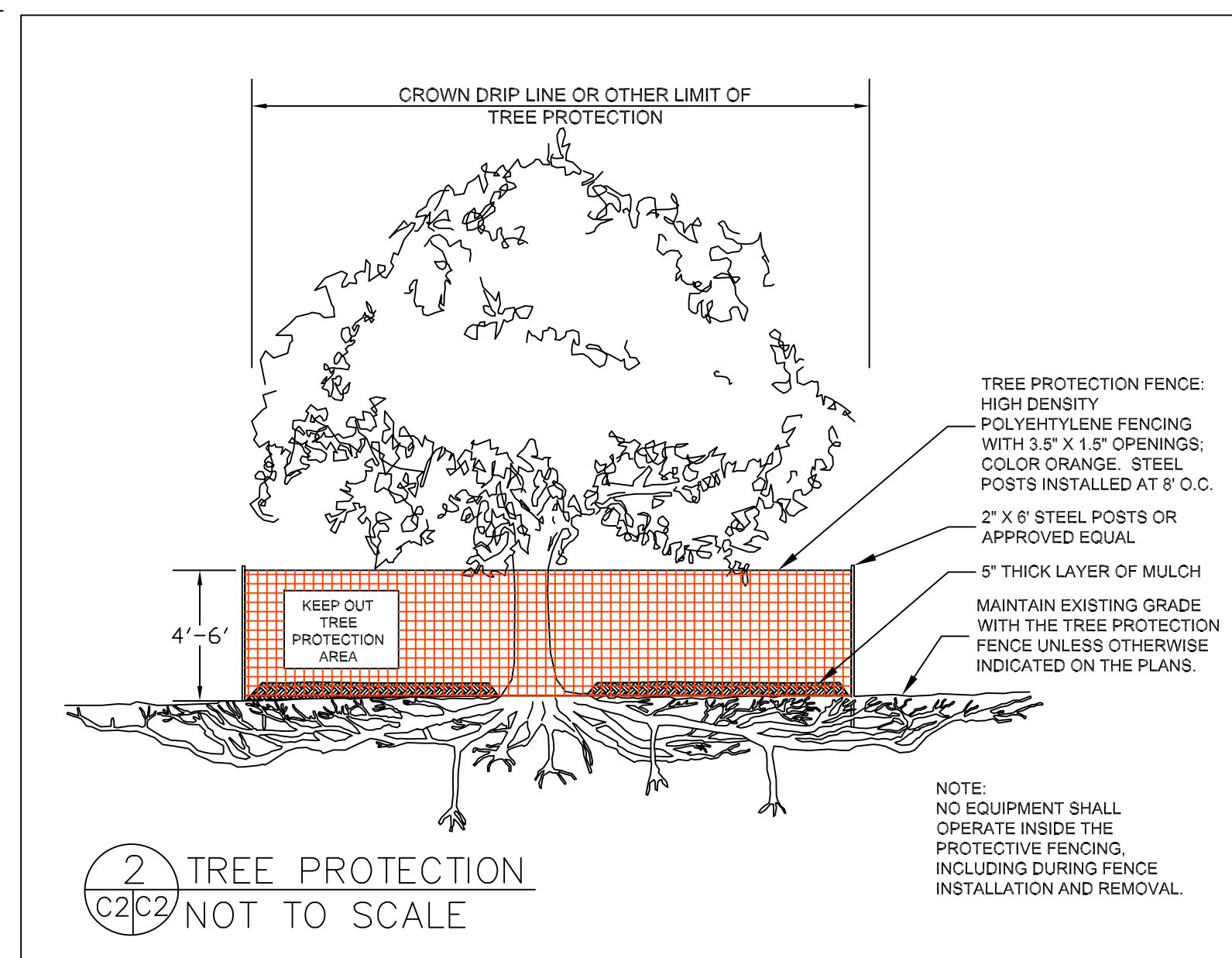
NAME: TIM PATTERSON  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 956-337-2919  
 PHONE:  
 E-MAIL: TEP1993@OUTLOOK.COM



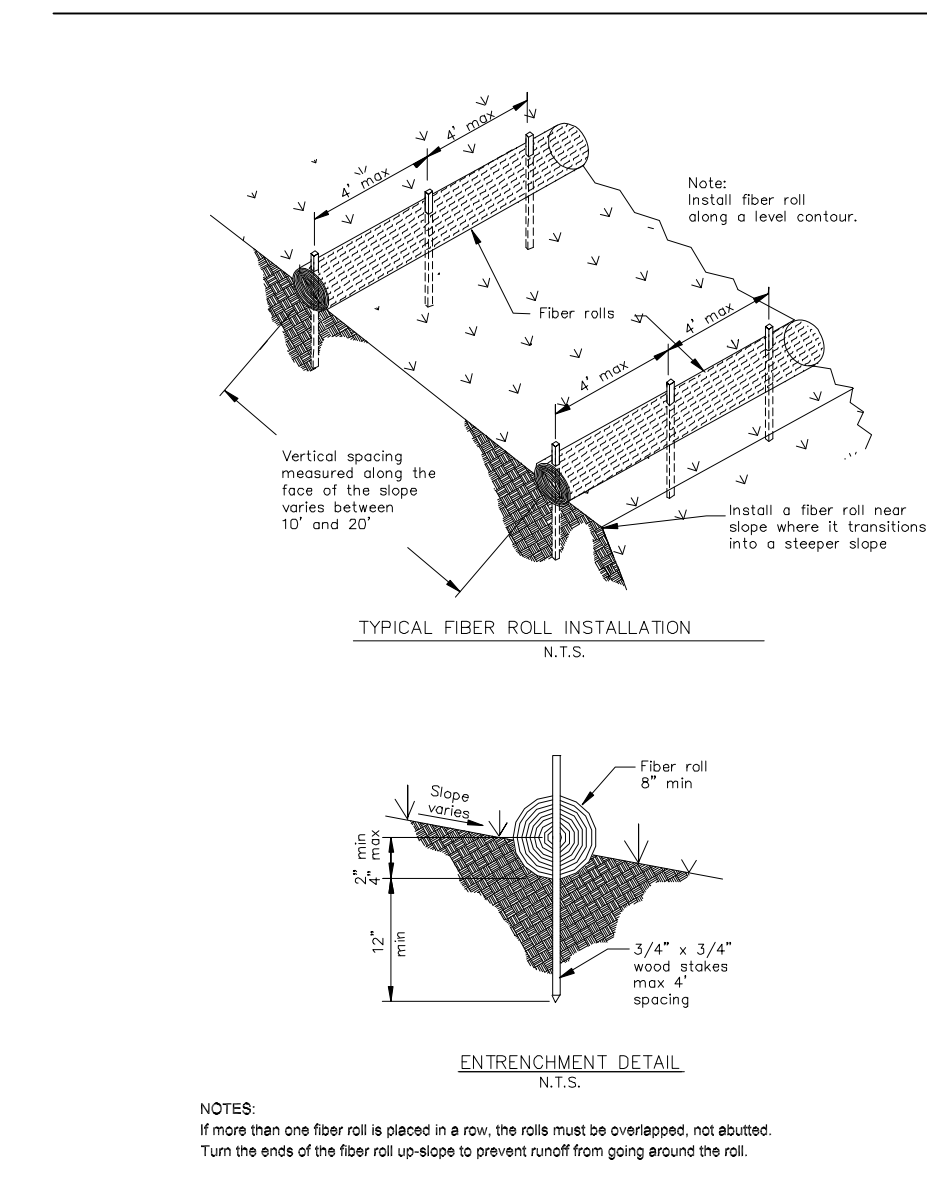
Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

TREE PROTECTION NOTES

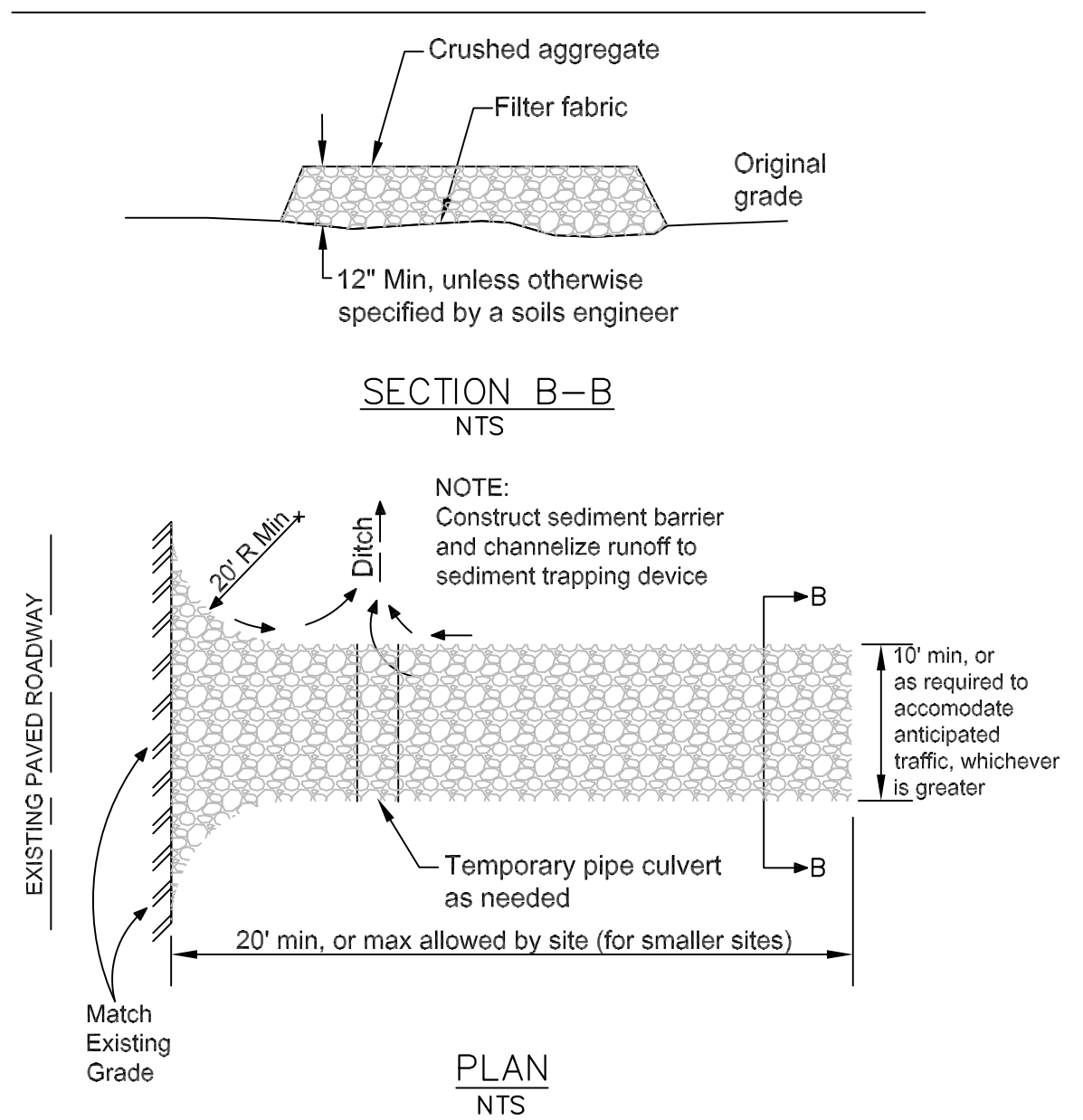
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



DATE: 6-20-19  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 JOB NO. 17-181  
 REV. DATE: 7-21-20  
 REV. DATE: 10-22-20

EROSION AND SEDIMENT CONTROL AND TREE PROTECTION PLAN  
 PATTERSON PROPERTY  
 CEDAR STREET  
 MONTARA, CALIFORNIA  
 APN 036-132-210

SHEET  
 C-2



LAP SIDING TYPE

<https://www.jameshardie.com/products/hardieplank-lap-siding>



SHINGLE TYPE/ COLOR

<https://www.homedepot.com/p/GAF-Timberline-Natural-Shadow-Charcoal-Algae-Resistant-Architectural-Shingles-33-33-sq-ft-per-Bundle-21-pieces-0601180/100658149>



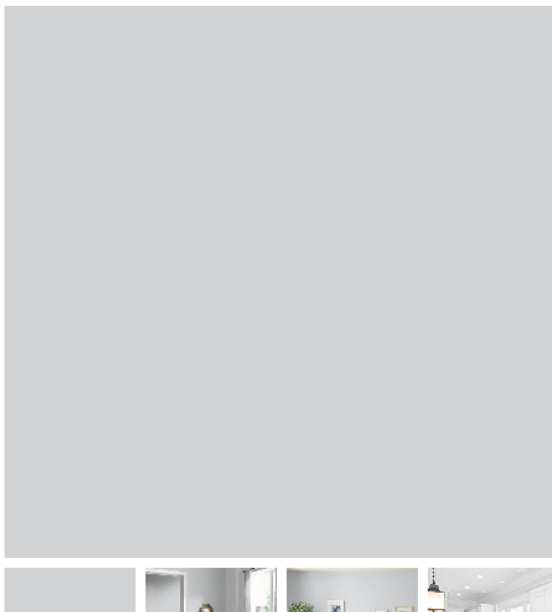
GARAGE DOOR STYLE/ WIND/ FIRE RATED/STEEL  
<https://www.clopaydoor.com/classic>

## STEEL INSULATED GARAGE DOORS



PAINT COLOR BODY

<https://www.ppgpaints.com/color/color-families/neutrals/elemental>



[chevron\\_leftBack](#)

### Elemental

PPG1011-2



Elemental is a light, cool, heather gray with a tinsel undertone. It is a perfect paint color for all interior walls or trim. Pair it with deeper toned grays.

R: 208 G: 211 B: 211 LRV: 66

[BUY ONLINE](#)

[FIND IN STORE](#)



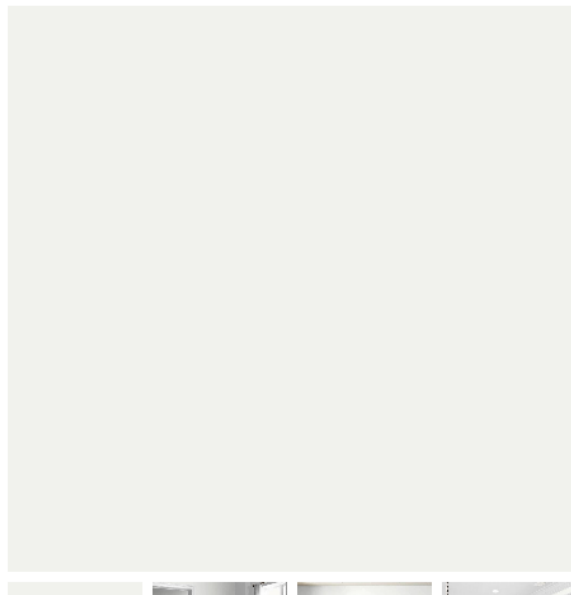
Hire a quality local painter for your paint project needs.

#### SHADES



## PAINT COLOR TRIM

<https://www.ppgpaints.com/color/color-families/neutrals/delicate-white>



[chevron\\_left](#) Back

### Delicate White

PPG1001-1



Delicate White is a pale, true, winter white with a non-existent undertone. It is a perfect paint color for a main wall, trim or accent for your project. Pair it with almost any color. Looking to [hire a painter](#) to help with your project? Please click on the link below.

R: 241 G: 242 B: 238 LRV: 88

BUY ONLINE

FIND IN STORE



Hire a quality local painter for your paint project needs.

#### SHADES



## STEEL DOORS ( TYPICAL STEEL CLAD)

<https://www.homedepot.com/p/36-in-x-80-in-6-Panel-Primed-Premium-Steel-Front-Door-Slab-THDJW166100317/202036386>

Internet #202036386 Model #THDJW166100317 Store SKU #776781



Hover Image to Zoom

## KINRO WINDOWS (TYPICAL)

Kinro 30" x 60" White Vinyl Vertical Sliding Window, Item # KVS3060V |

### Standard Features

- Vinyl construction provides high thermal performance
- Frame and sash corners are welded for added strength and water tight corners
- Deep pocket sill for added window strength and weather resistance
- Spiral balance system provides near effortless sash operation
- Frame designed with multiple hollow areas for maximum strength and energy efficiency
- Bottom window sash can be removed for easy cleaning on any level of the home
- Reinforcement bars in the meeting rails provide added strength
- Positive integral lock at the meeting rail for increased home security and weather resistance
- Dual weather seal to reduce drafts and enhance energy efficiency
- Nominal 3/4" insulating glass provides superior thermal performance
- Integral "J" trim eliminates the need for additional exterior frame accessories and covers the raw edge of the siding for a clean appearance
- Flush mount pre-punched flange for easy installation.
- Made in the USA

Specifications: Note: will meet WUI standards, Window Type Single Hung

Manufacturer Color/Finish White,

Rough Opening Width (Inches) 30.25, Rough Opening Height (Inches) 60.25

Mounting Flange Width (Inches) 1.25

Manufacturer's Warranty (Parts) 5 Year Limited, Manufacturer's Warranty (Labor) N/A

Removable Screen Yes

U-Factor 0.49

Solar Heat Gain Coefficient 0.63

Visible Transmittance 0.68

Tilting Top Sash No

Tilting Bottom Sash Yes

Internal Grids No

HUD Compliant Yes

AAMA Compliant to West Coast Guidelines

Yes



For the garage:

<https://www.lowes.com/pd/Southwire-Southwire-150-Watt-Steel-Outdoor-Dusk-to-Dawn-Area-Light/5000200595>



\$ 88<sup>99</sup>

0 stars [View Q&A](#)

**Southwire** 15000-Lumen 150-Watt EQ Gray Metal Halide Dusk-to-Dawn Area Light  
Item #2995600 Model #L1743

- 12 in. acrylic reflector to filter light
- Durable die-cast aluminum construction
- Bulb included

1 +

Qty

Add to Cart



**Free Store Pickup**

Pickup Estimated: Mon, Jan 25, 2021



**Delivery**

Delivery Estimate: Mon, Jan 25, 2021

For North side:

<https://www.lowes.com/pd/Southwire-70W-HP-Sodium-Barn-Security-Farm-Light/5000324525>



\$ 62<sup>94</sup>

0 stars [View Q&A](#)

**Southwire** 70W -HP Sodium Barn Security Farm Light  
Item #2966059 Model #L1730

- Comes complete with 70-watt high pressure sodium lamp included
- Featuring dusk to dawn photocell, turns off during the day and activates when dark
- Produces 6,400 lumens of light output, providing exceptional light to your immediate environment

1 +

Qty

Add to Cart



**Free Store Pickup**

Pickup Estimated: Mon, Jan 25, 2021



**Delivery**

Delivery Estimate: Mon, Jan 25, 2021