

Planning and Building Department

455 County Center, 2nd Floor ▪ Redwood City CA 94063  
Mail Drop: PLN 122 ▪ TEL (650) 363-4161 ▪ FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

# Planning Permit Application Form

PLN: \_\_\_\_\_

BLD: \_\_\_\_\_

## Applicant/Owner Information

Applicant: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_ FAX: \_\_\_\_\_

Name of Owner (1): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_

H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Name of Owner (2): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_

H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

## Project Information

**Project Location** (address): \_\_\_\_\_

\_\_\_\_\_

**Zoning:** \_\_\_\_\_

**Assessor's Parcel Numbers:** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Parcel/lot size:** \_\_\_\_\_

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Describe Existing Structures and/or Development:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

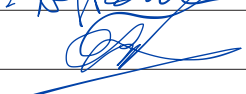
\_\_\_\_\_

## Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:  / G. Agranov / 09-02-2020

Owner's signature:  / N. Agranova / 09-02-2020

Applicant's signature:  / G. Agranov / 09-02-2020

# Application for a Coastal Development Permit

455 County Center , 2nd Floor • Redwood City, CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

## Companion Page

Applicant's Name: \_\_\_\_\_  
Primary Permit #: \_\_\_\_\_

### 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

### 2. Basic Information

Does the owner or applicant own any adjacent property not listed?  
 Yes     No

If yes, list Assessor's Parcel Number(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?  
 Yes     No

If yes, explain (include date and application file numbers).  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### 3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	_____	_____	<input type="checkbox"/>
b. Trim	_____	_____	<input type="checkbox"/>
c. Roof	_____	_____	<input type="checkbox"/>
d. Chimneys	_____	_____	<input type="checkbox"/>
e. Accessory Buildings	_____	_____	<input type="checkbox"/>
f. Decks/Stairs	_____	_____	<input type="checkbox"/>
g. Retaining Walls	_____	_____	<input type="checkbox"/>
h. Fences	_____	_____	<input type="checkbox"/>
i. Storage Tanks	_____	_____	<input type="checkbox"/>

## 4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |  | <b>Yes</b>               | <b>No</b>                |
|--|--------------------------|--------------------------|
| a. Demolition of existing housing units?<br>(If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?  | <input type="checkbox"/> | <input type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?   | <input type="checkbox"/> | <input type="checkbox"/> |
| d. Beaches?  | <input type="checkbox"/> | <input type="checkbox"/> |
| e. Sand Dunes?   | <input type="checkbox"/> | <input type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?   | <input type="checkbox"/> | <input type="checkbox"/> |
| g. Ridgetops?  | <input type="checkbox"/> | <input type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?   | <input type="checkbox"/> | <input type="checkbox"/> |
| i. Removal of trees or vegetation?   | <input type="checkbox"/> | <input type="checkbox"/> |
| j. Grading or alteration of landforms?   | <input type="checkbox"/> | <input type="checkbox"/> |
| k. Landscaping?  | <input type="checkbox"/> | <input type="checkbox"/> |
| l. Signs?  | <input type="checkbox"/> | <input type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?  | <input type="checkbox"/> | <input type="checkbox"/> |
| n. Areas subject to flooding?  | <input type="checkbox"/> | <input type="checkbox"/> |
| o. Development on slopes 30% or steeper?   | <input type="checkbox"/> | <input type="checkbox"/> |

- |  |                          |                          |
|--|--------------------------|--------------------------|
| p. Between the sea and the nearest public road?                        | <input type="checkbox"/> | <input type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input type="checkbox"/> |
| r. Public or commercial recreation facilities?                         | <input type="checkbox"/> | <input type="checkbox"/> |
| s. Visitor-serving facilities?   | <input type="checkbox"/> | <input type="checkbox"/> |
| t. Existing or proposed public trail easements?                        | <input type="checkbox"/> | <input type="checkbox"/> |

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

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## 5. Staff Use Only

### California Coastal Commission Jurisdiction

**A.** Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?  
 Yes                       No
- Construction or grading within 100 feet of a stream or wetland?  
 Yes                       No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?  
 Yes                       No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

**B.** Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

- Yes                       No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: \_\_\_\_\_

## Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650 ■ 363 ■ 4161 ■ FAX 650 ■ 363 ■ 4849

Permit #: PLN \_\_\_\_\_

Other Permit #: \_\_\_\_\_

# Application for Design Review by the County Coastside Design Review Committee

## 1. Basic Information

### Applicant:

Name: Gennadiy Agranov  
Address: 1464 Padres Dr, San Jose, CA  
Zip: 95125  
Phone,W: 408-674-0871 H: 408-674-0871  
Email: gagranov@gmail.com

### Owner (if different from Applicant):

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Zip: \_\_\_\_\_  
Phone,W: \_\_\_\_\_ H: \_\_\_\_\_  
Email: \_\_\_\_\_

### Architect or Designer (if different from Applicant):

Name: Paul Minor, Principal, Blackstone Architecture, Inc.  
Address: 9331 Nile Court, Arvada, CO Zip: 80007  
Phone,W: 720-222-5009 H: 720-987-6584 Email: paul@blackstone-arch.com

## 2. Project Site Information

### Project location:

APN: 048-054-220  
Address: Miramar Dr, Half Moon Bay, CA  
Zip: 94019  
Zoning: R-1/S-17/DR/CD  
Parcel/lot size: 8,787.3 sq. ft.

### Site Description:

- Vacant Parcel  
 Existing Development (Please describe):  
\_\_\_\_\_  
\_\_\_\_\_

## 3. Project Description

### Project:

- New Single Family Residence: 2,170 sq. ft  
 Addition to Residence: \_\_\_\_\_ sq. ft  
 Other: \_\_\_\_\_

### Describe Project:

Construction of 2-story single family residence, incl:  
- 4 bedrooms, 3 bathrooms, kitchen, dining, living area  
- 1st floor patio, 2nd floor balconies, porch,  
- 2 car attached tandem garage, concrete driveway

### Additional Permits Required:

- Certificate of Compliance Type A or Type B  
 Coastal Development Permit  
 Fence Height Exception (not permitted on coast)  
 Grading Permit or Exemption  
 Home Improvement Exception  
 Non-Conforming Use Permit  
 Off-Street Parking Exception  
 Variance

## 4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	<u>Stucco/composite horizontal siding</u>	<u>Medium gray/Light gray</u>	<input type="checkbox"/>
b. Trim	<u>Wood</u>	<u>Charcoal Gray</u>	<input type="checkbox"/>
c. Windows	<u>Vinyl</u>	<u>Bronze</u>	<input type="checkbox"/>
d. Doors	<u>Wood clad</u>	<u>Natural Wood</u>	<input type="checkbox"/>
e. Roof	<u>Dimensional composition</u>	<u>Charcoal Gray</u>	<input type="checkbox"/>
f. Chimneys	<u>N/A</u>	<u>N/A</u>	<input type="checkbox"/>
g. Decks & railings	<u>Metal Frame/Glass</u>	<u>Bronze</u>	<input type="checkbox"/>
h. Stairs	<u>Composite</u>	<u>Charcoal Grey/Light Gray</u>	<input type="checkbox"/>
i. Retaining walls	<u>N/A</u>	<u>N/A</u>	<input type="checkbox"/>
j. Fences	<u>Wood, Cedar</u>	<u>Natural</u>	<input type="checkbox"/>
k. Accessory buildings	<u>N/A</u>	<u>N/A</u>	<input type="checkbox"/>
l. Garage/Carport	<u>Metal/Glass</u>	<u>Charcoal Grey</u>	<input type="checkbox"/>

## 5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

## 6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:

Applicant:

Date:

*09-02-2020*

Date:

*09-02-2020*

# AGRANOV RESIDENCE

## NEW CUSTOM HOME

MIRAMAR DRIVE  
HALF MOON BAY, CA 94019

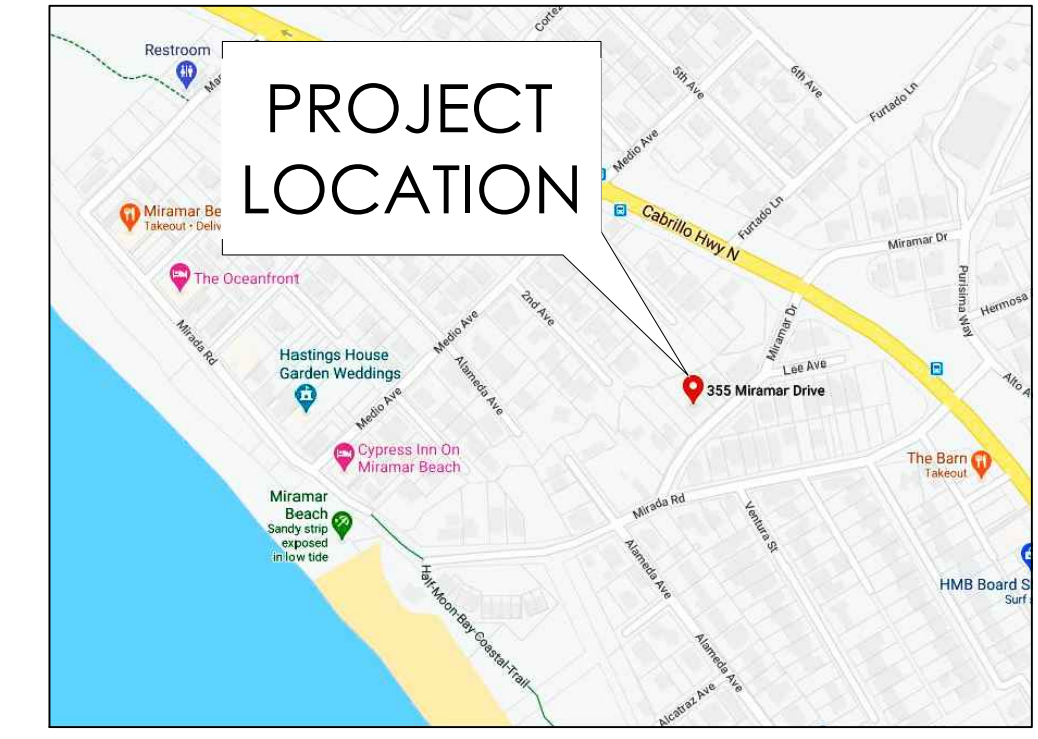
**ASSESSOR'S PARCEL NUMBER**  
048054220

**ZONING INFORMATION**

- ZONING DESIGNATION: R-1/S-17/DR/CD
- BUILDING SITE WIDTH: 50.0'
- MINIMUM LOT SIZE: 5,000 SQ. FT.
- SETBACKS:  
FRONT: 20.0'  
REAR: 20.0'  
SIDES: MIN. 5' ONE SIDE, 15' TOTAL
- MAXIMUM BUILDING HEIGHT: 28.0'
- MAXIMUM LOT COVERAGE: 35%

**DRAWING INDEX**

A.001	SITE PLAN & PROJECT DATA
L.001	LANDSCAPE PLAN
L.002	TREE PLAN
A.101	FIRST & SECOND FLOOR PLANS
A.201	EXTERIOR ELEVATIONS
A.202	EXTERIOR ELEVATIONS
A.301	BUILDING CROSS-SECTIONS
A.901	3-DIMENSIONAL VIEWS



**2 VICINITY MAP**  
NO SCALE

**GENERAL SITE NOTES**

1. (E) = EXISTING, (N) = NEW.
2. ALL EXTERIOR FLATWORK AND STEPS TO GRADE SHALL BE VERIFIED IN FIELD. SLOPE ALL CONCRETE PATIOS AWAY FROM HOUSE AT 1/4" PER FOOT.
3. DIMENSIONS SHOWN ARE TO EDGE OF FOUNDATION/FRAME, U.O.N.
4. AN OFF-STREET PARKING EXEMPTION SHALL APPLY TO THIS SITE.
5. GENERAL CONTRACTOR SHALL MANAGE SUB-CONTRACTOR PARKING, EQUIPMENT, STAFF PARKING, HAULING, AND EXCAVATION OF WORK TO MINIMIZE TRAFFIC IMPACTS DURING CONSTRUCTION.

**AREA CALCULATIONS (SQ. FT.)**

FIRST FLOOR LIVING AREA: 1,453  
 FIRST FLOOR PORCH: 42  
 FIRST FLOOR DECK: 135  
 ATTACHED TWO-CAR GARAGE: 834  
 SECOND FLOOR LIVING AREA: 717  
 SECOND FLOOR FRONT BALCONY AREA: 270  
 SECOND FLOOR REAR BALCONY AREA: 194

**LOT COVERAGE CALCULATIONS (SQ. FT.)**

EXISTING LOT: 8,787.3  
 FIRST FLOOR LIVING AREA: 1,453  
 FIRST FLOOR PORCH: 42  
 FIRST FLOOR DECK: 135  
 ATTACHED GARAGE: 834  
 LOT COVERAGE FOOTPRINT: 2,464  
 NEW LOT COVERAGE: 2,464 ÷ 8787.3 = 28%

**FLOOR AREA RATIO (SQ. FT.)**

FIRST FLOOR LIVING AREA: 1,453  
 FIRST FLOOR PORCH: 42  
 FIRST FLOOR DECK: 135  
 ATTACHED TWO-CAR GARAGE: 834  
 SECOND FLOOR LIVING AREA: 717  
 SECOND FLOOR FRONT BALCONY AREA: 270  
 SECOND FLOOR REAR BALCONY AREA: 194  
 PARCEL SIZE = 8787.3  
 F.A.R. CALCULATION: 8787.3 x 0.53 = 4657.3 MAX. FAR  
 TOTAL F.A.R.: 3.645

AGRANOV RESIDENCE  
NEW CUSTOM HOME  
MIRAMAR DRIVE  
HALF MOON BAY, CA 94019

**DUTY OF COOPERATION**  
 Release of these plans contemplates further cooperation among the owner, his contractor, and Blackstone Architecture ("BSA"). Design and construction are complex, and although BSA has performed its services with the care and diligence, perfection is not guaranteed. Communication is imperfect, and every contingency cannot be anticipated. It is the responsibility of the builder, contractor, and owner of this project to review these plans in full prior to construction in order to avoid discrepancies after construction has begun. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to BSA. Failure to notify BSA compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to BSA shall relieve BSA from responsibility for all consequences. Changes made from the plans without the consent of BSA are unauthorized, and shall relieve the architect of responsibility for all consequences arising out of such changes.

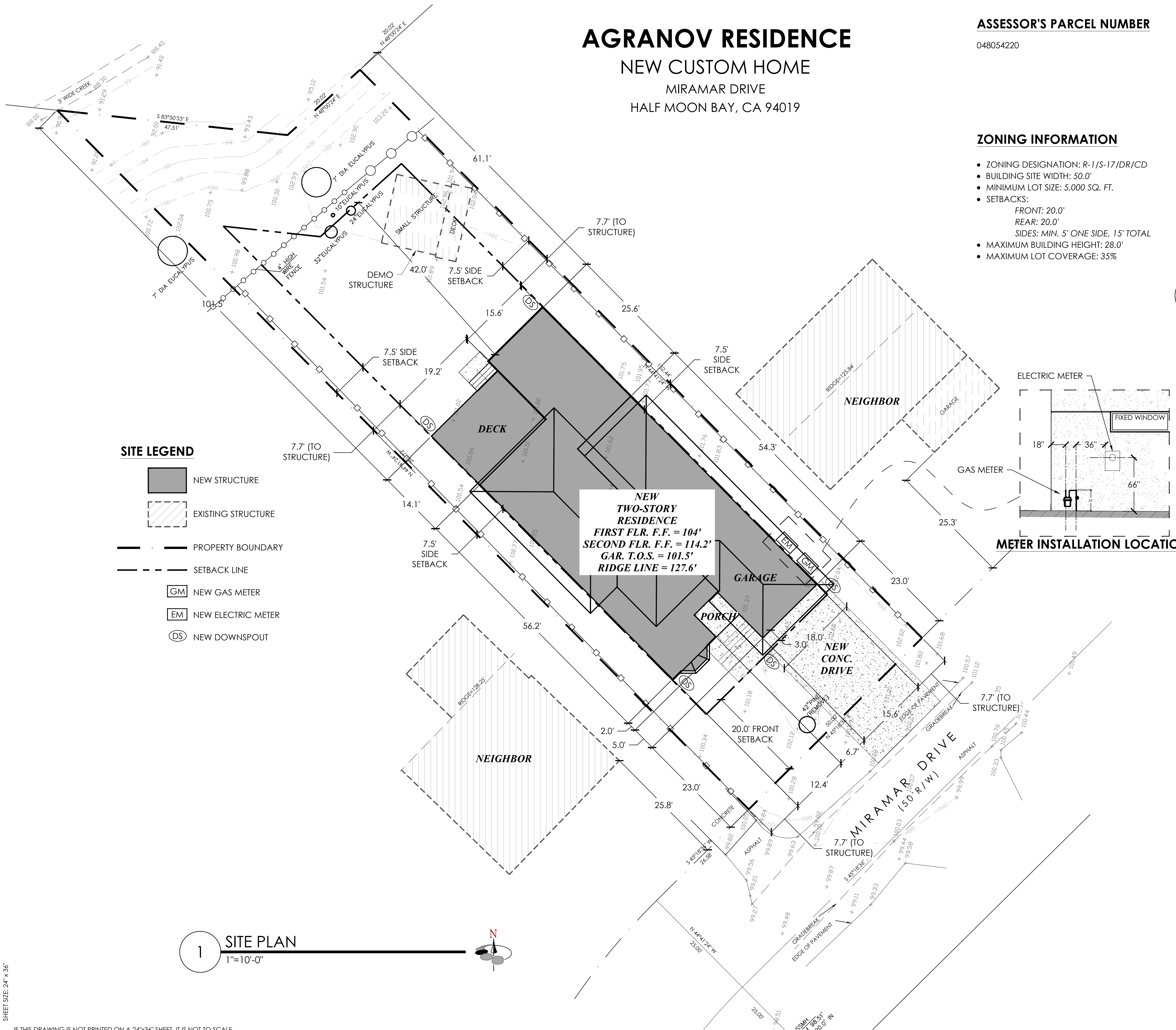
**PROJECT #200527**

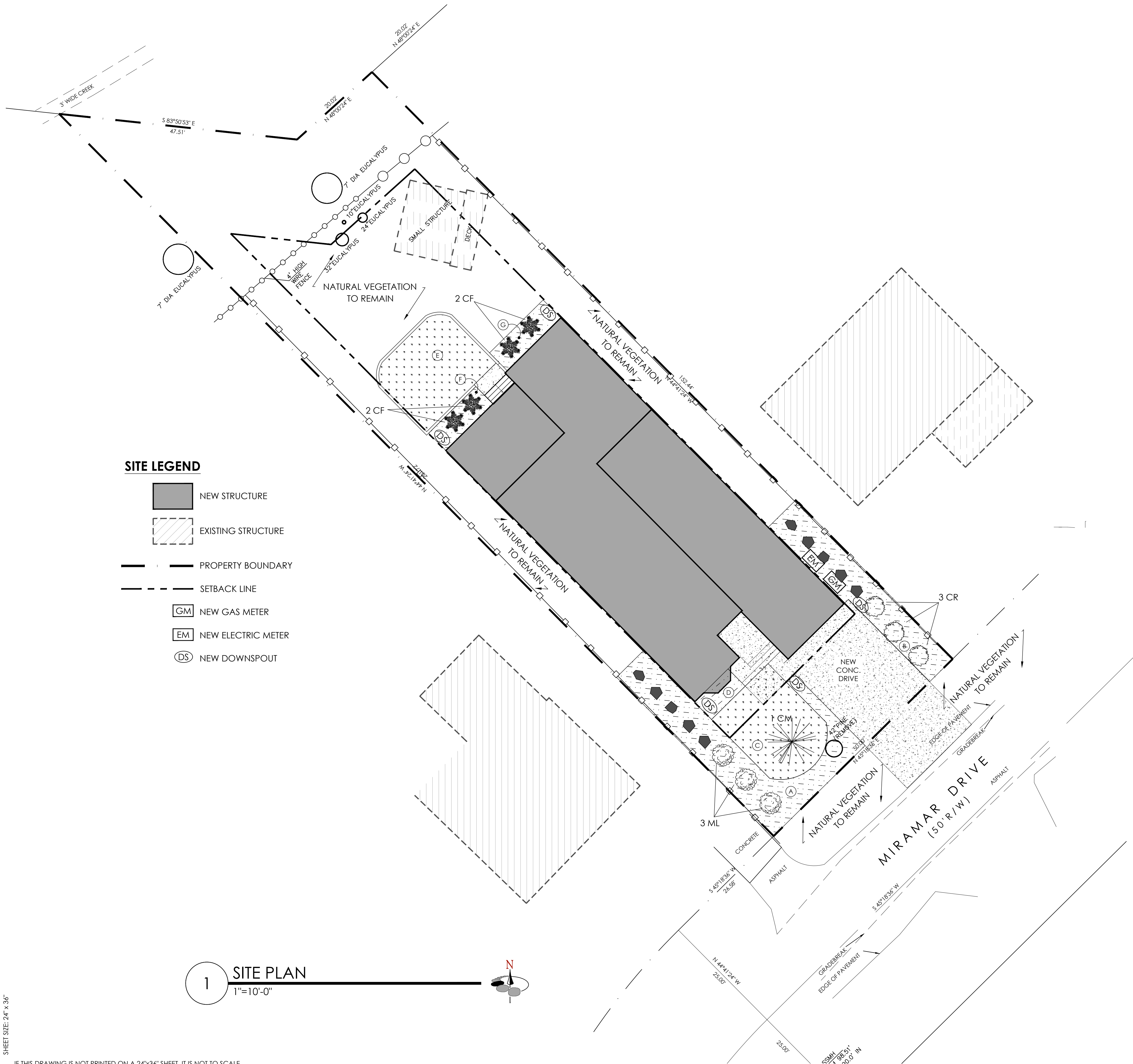
REV.	DATE	ISSUE	BY
	11.06.20	DESIGN REVIEW	PM
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SITE PLAN & PROJECT DATA

SHEET NUMBER

**A.001**

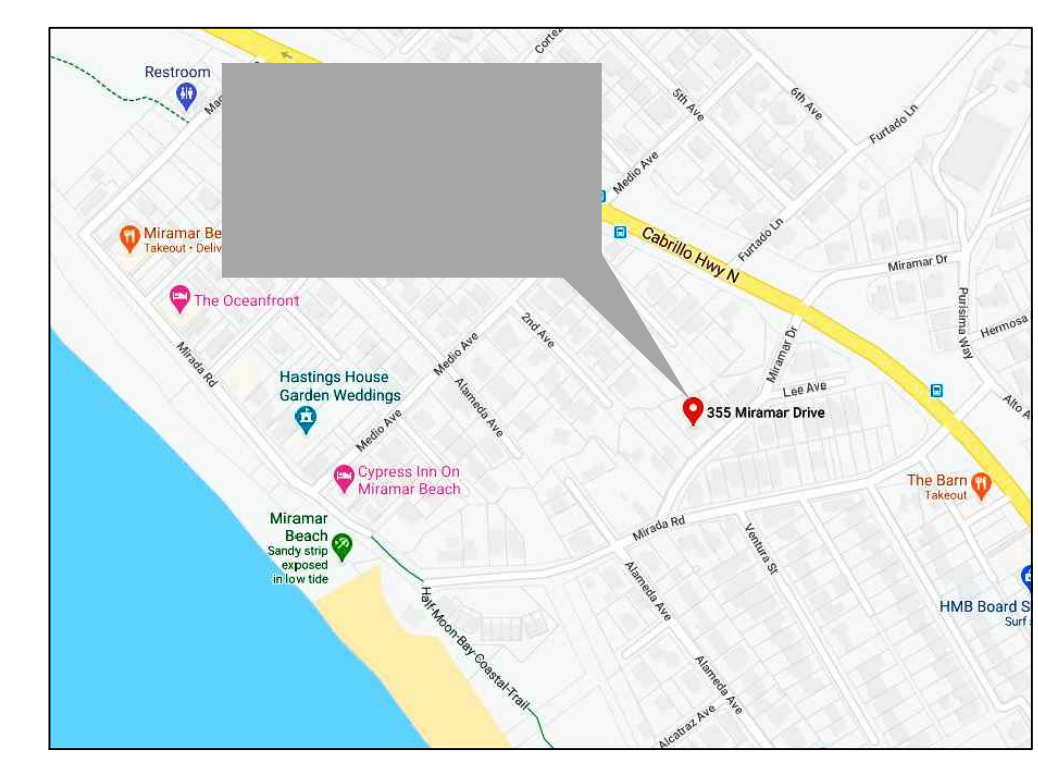




**SITE LEGEND**

- NEW STRUCTURE
- EXISTING STRUCTURE
- PROPERTY BOUNDARY
- SETBACK LINE
- NEW GAS METER
- NEW ELECTRIC METER
- NEW DOWNSPOUT

**1 SITE PLAN**  
1"=10'-0"



**2 VICINITY MAP**  
NO SCALE

**LANDSCAPE NOTES**

1. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
2. TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE.
3. TURF NOT PERMITTED ON SLOPES GREATER THAN 25%.
4. TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS.
5. AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
6. PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
7. MANUAL SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
8. AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
9. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
10. UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
11. LANDSCAPING WITH DEEP ROOT SYSTEMS SHALL NOT BE PLACED ON STORMWATER IMPROVEMENTS.

**PLANT MATERIAL SCHEDULE**

KEY	BOTANIC NAME	COMMON NAME	SIZE	QTY.
ML	CITRUS X MYERI	DWARF MEYER LEMON	5 GALLON	3
CR	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	5 GALLON	3
CF	DRYOPTERIS ARGUTA	COASTAL WOOD FERN	5 GALLON	4
CM	LAGERSTROEMIA INDICA	CRAPE MYRTLE	24" BOX	1

**LANDSCAPE AREA SCHEDULE**

KEY	AREA (SQ. FT.)	MATERIAL
A	503	CEDAR MULCH
B	372	CEDAR MULCH
C	305	KENTUCKY BLUEGRASS SOD
D	41	CEDAR MULCH
E	303	KENTUCKY BLUEGRASS SOD
F	64	CEDAR MULCH
G	75	CEDAR MULCH
TOTAL	1,663	

**LANDSCAPE LEGEND**

- EXISTING TREE (REMOVE)
- NEW FLAGSTONE PAVER

**DUTY OF COOPERATION**  
Release of these plans contemplates further cooperation among the owner, his contractor, and Blackstone Architecture ("BSA"). Design and construction are complex, and although BSA has performed its services with the care and diligence, perfection is not guaranteed. Communication is imperfect, and every contingency cannot be anticipated. It is the responsibility of the builder, contractor, and owner of this project to review these plans in full prior to construction in order to avoid discrepancies after construction has begun. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to BSA. Failure to notify BSA compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to BSA shall relieve BSA from responsibility for all consequences. Changes made from the plans without the consent of BSA are unauthorized and shall relieve the architect of responsibility for all consequences arising out of such changes.

PROJECT #200527

REV.	DATE	ISSUE	BY
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LANDSCAPE PLAN

SHEET NUMBER

**L.001**

AGRANOV RESIDENCE  
NEW CUSTOM HOME  
MIRAMAR DRIVE  
HALF MOON BAY, CA 94019

DUTY OF COOPERATION

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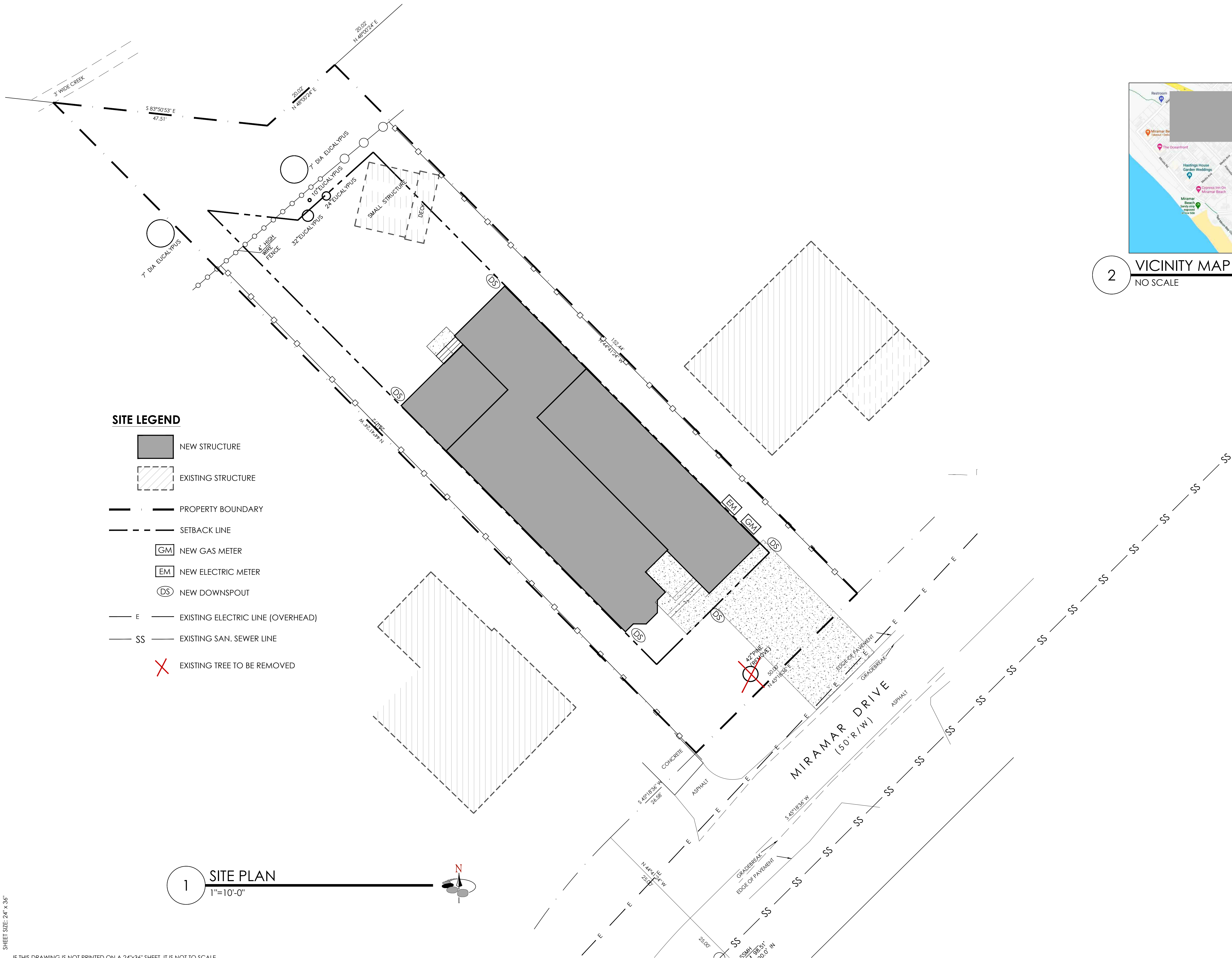
PROJECT #200527

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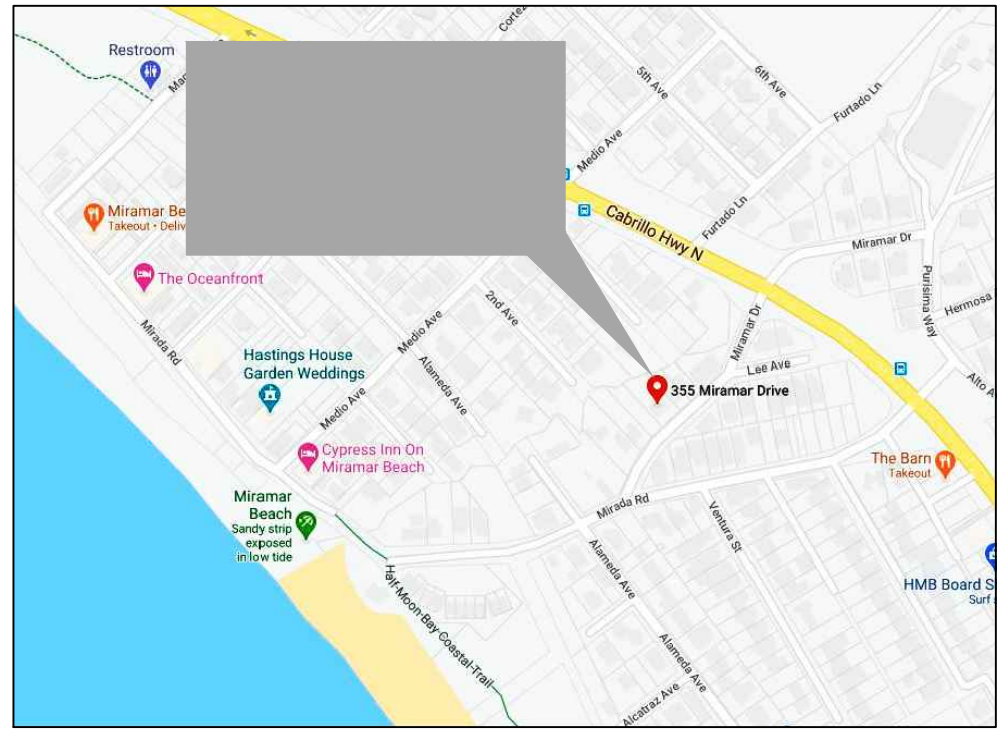
TREE PLAN

SHEET NUMBER

L.002



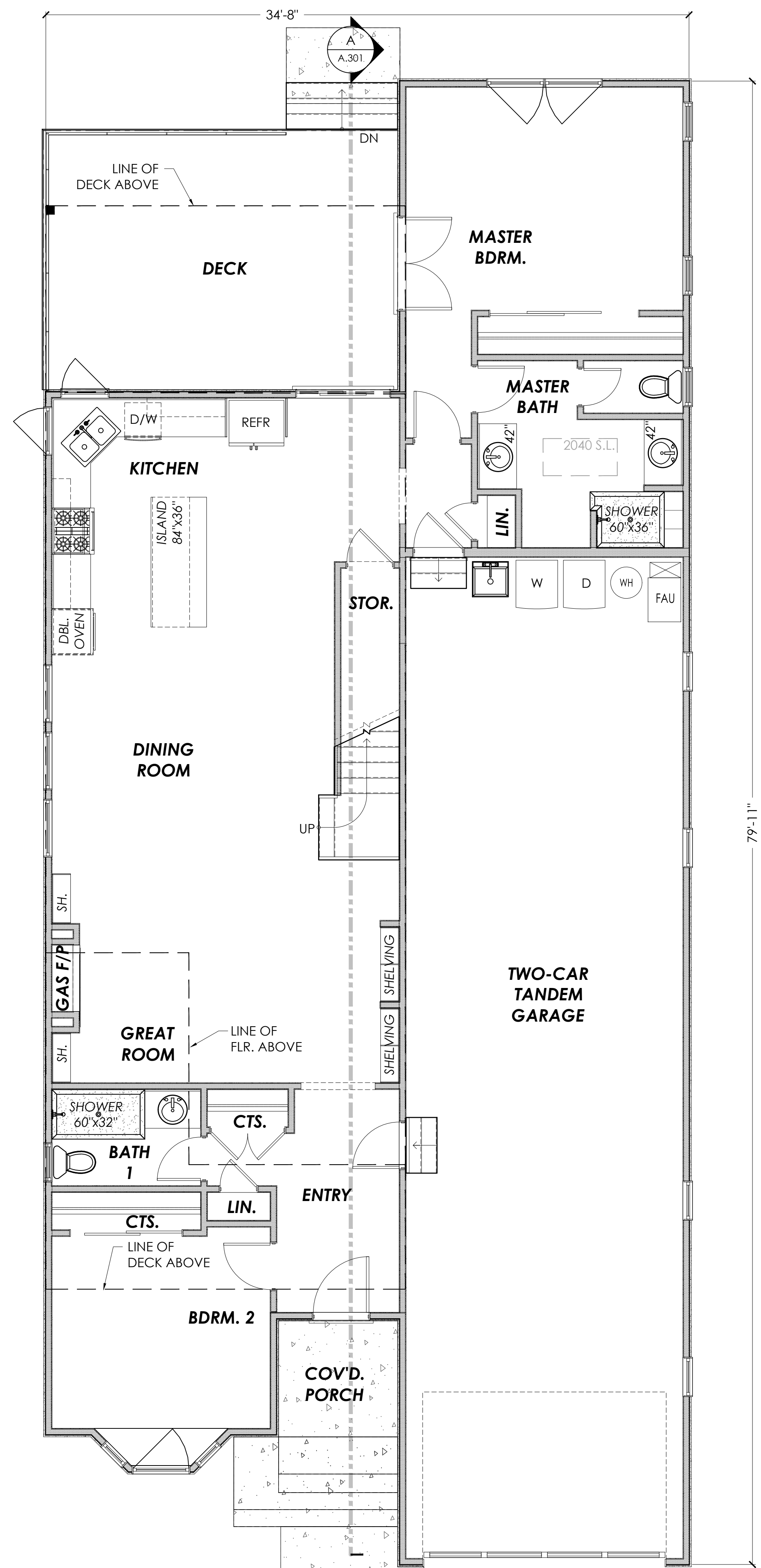
1 SITE PLAN  
1"=10'-0"



2 VICINITY MAP  
NO SCALE



ALL RIGHTS RESERVED

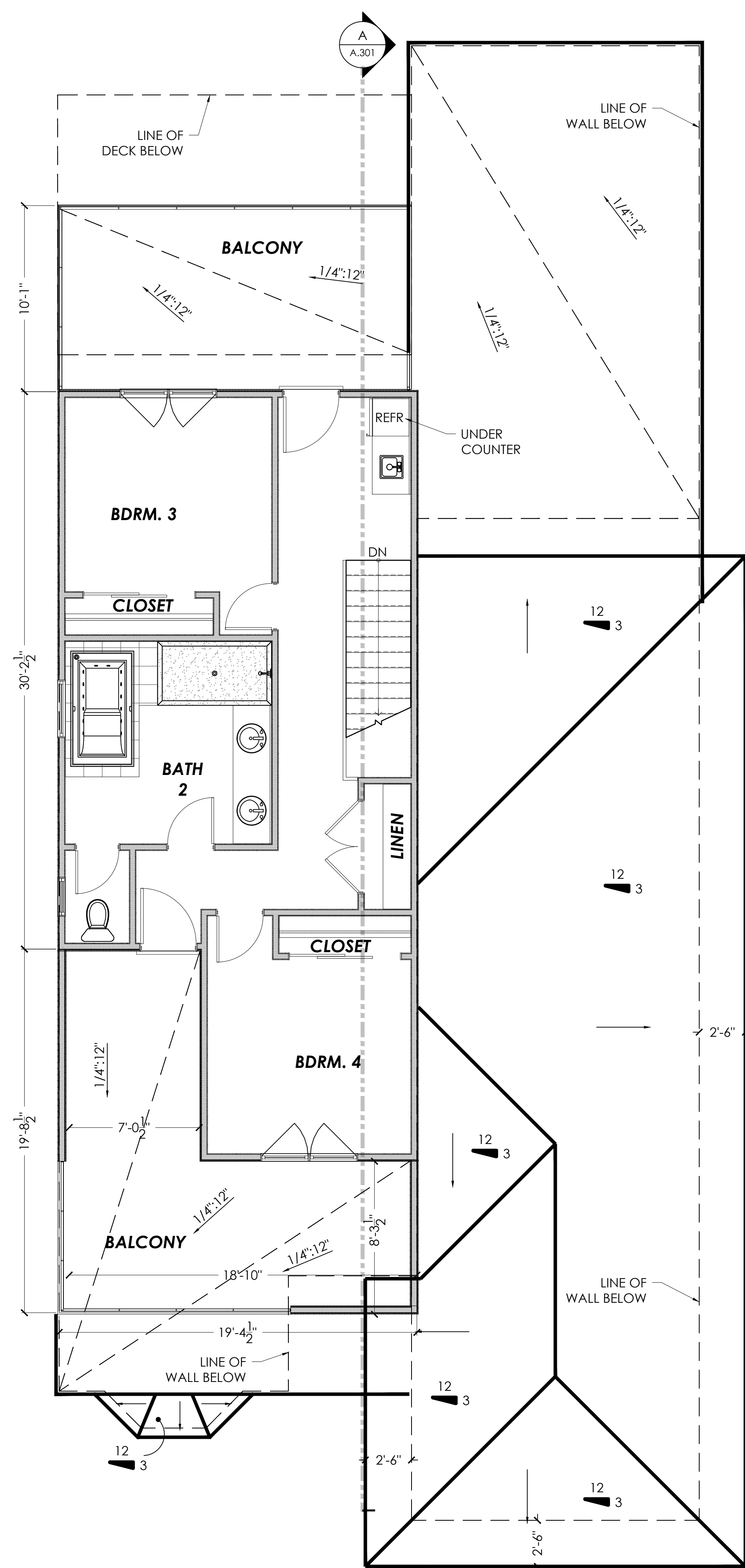


**1** FIRST FLOOR PLAN  
1/4"=1'-0"

LIVING AREA: 1,453 SQ. FT.  
GARAGE AREA: 834 SQ. FT.  
PORCH AREA: 42 SQ. FT.  
DECK AREA: 135 SQ. FT.

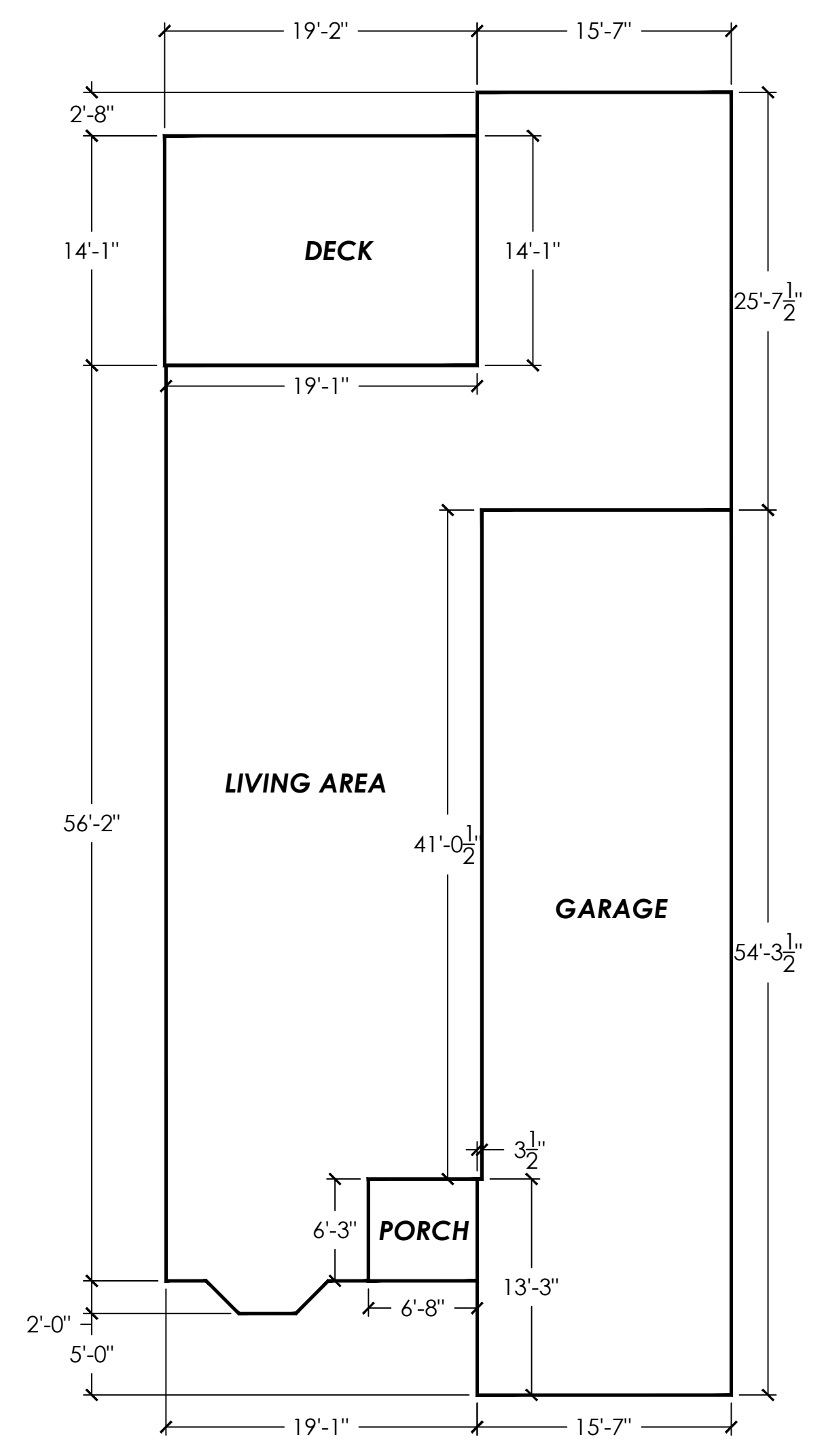
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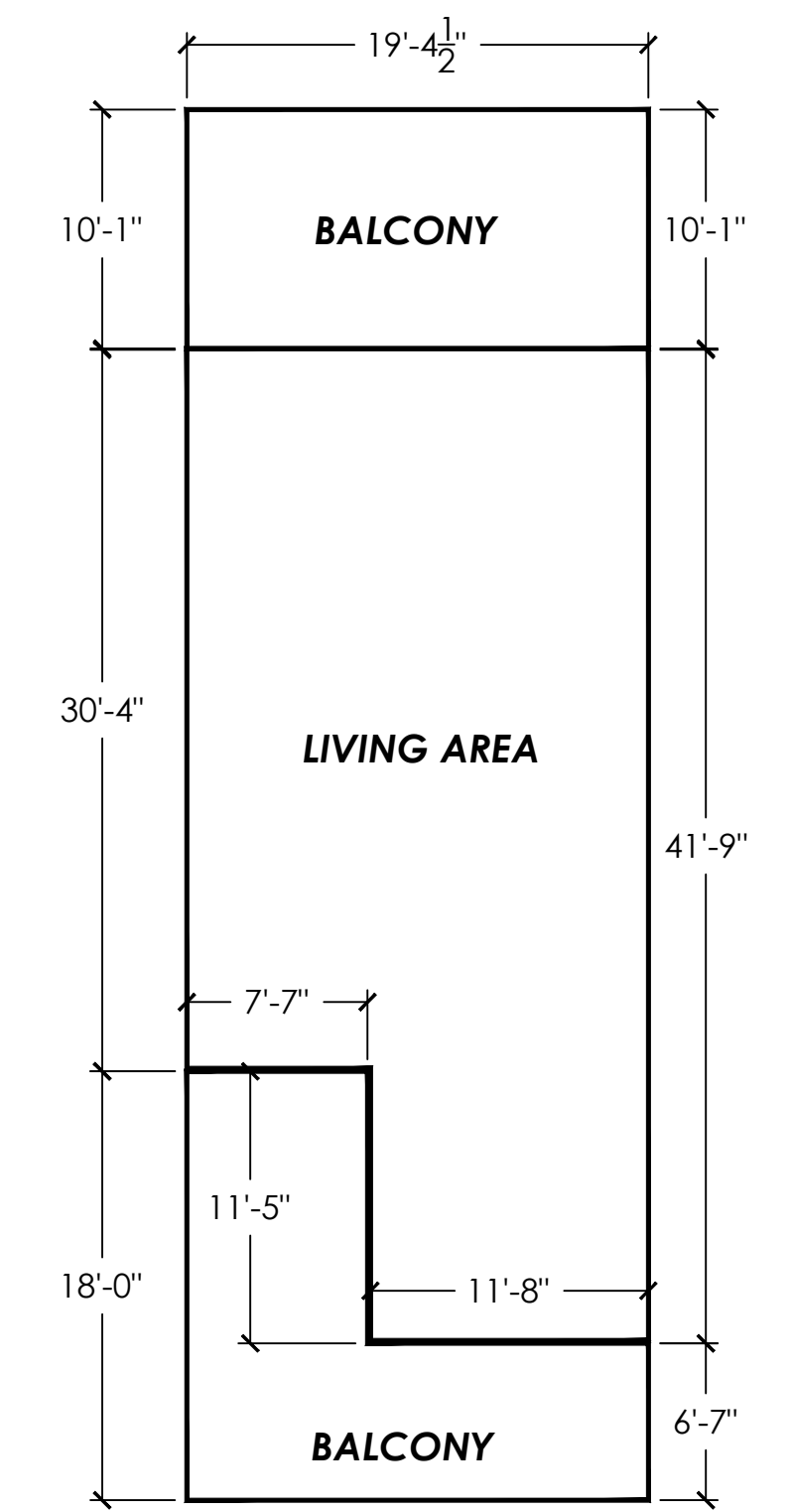


**2** SECOND FLOOR & FIRST FLOOR ROOF PLAN  
1/4"=1'-0"

LIVING AREA: 717 SQ. FT.  
FRONT BALCONY AREA: 270 SQ. FT.  
REAR BALCONY AREA: 194 SQ. FT.



**3** FIRST FLOOR SQ. FT. DIAGRAM  
1/8"=1'-0"



**4** SECOND FLOOR SQ. FT. DIAGRAM  
1/8"=1'-0"

**AGRANOV RESIDENCE**  
NEW CUSTOM HOME  
MIRAMAR DRIVE  
HALF MOON BAY, CA 94019

**DUTY OF COOPERATION**  
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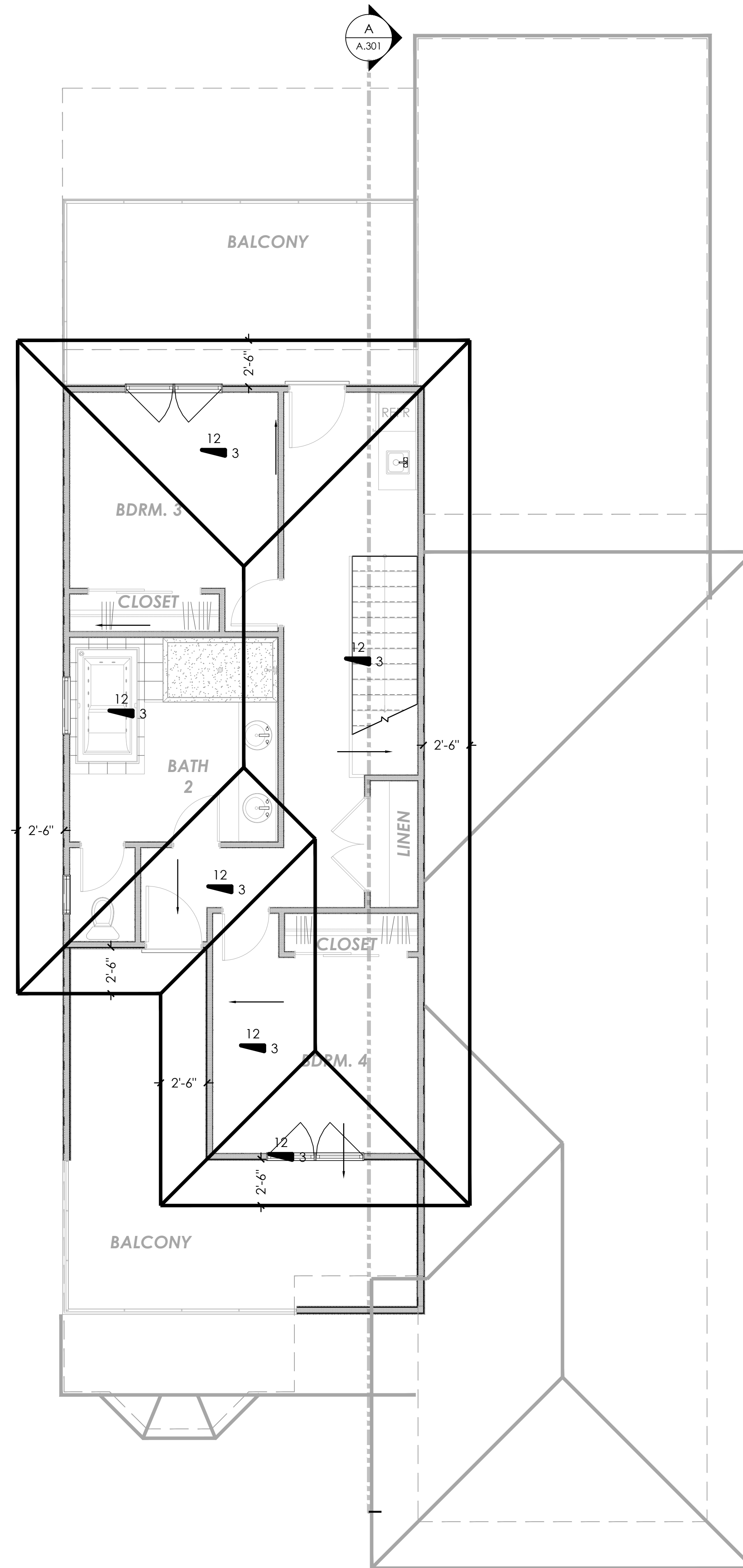
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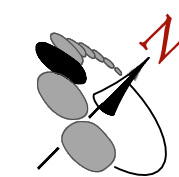
FIRST & SECOND FLOOR PLANS

SHEET NUMBER

**A.101**



1 SECOND FLOOR ROOF PLAN  
1/4"=1'-0"



**DUTY OF COOPERATION**

Release of these plans contemplates further cooperation among the owner, his contractor, and Blackstone Architecture ("BSA"). Design and construction are complex, and although BSA has performed its services with the care and diligence perfection is not guaranteed. Communication is imperfect, and every contingency cannot be anticipated. It is the responsibility of the builder, contractor, and owner of this project review these plans in full prior to construction in order to avoid discrepancies after construction has begun. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to BSA. Failure to notify BSA compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to BSA shall relieve BSA from responsibility for all consequences. Changes made from the plans without the consent of BSA are unauthorized, and shall relieve the architect of responsibility for all consequences arising out of such changes.

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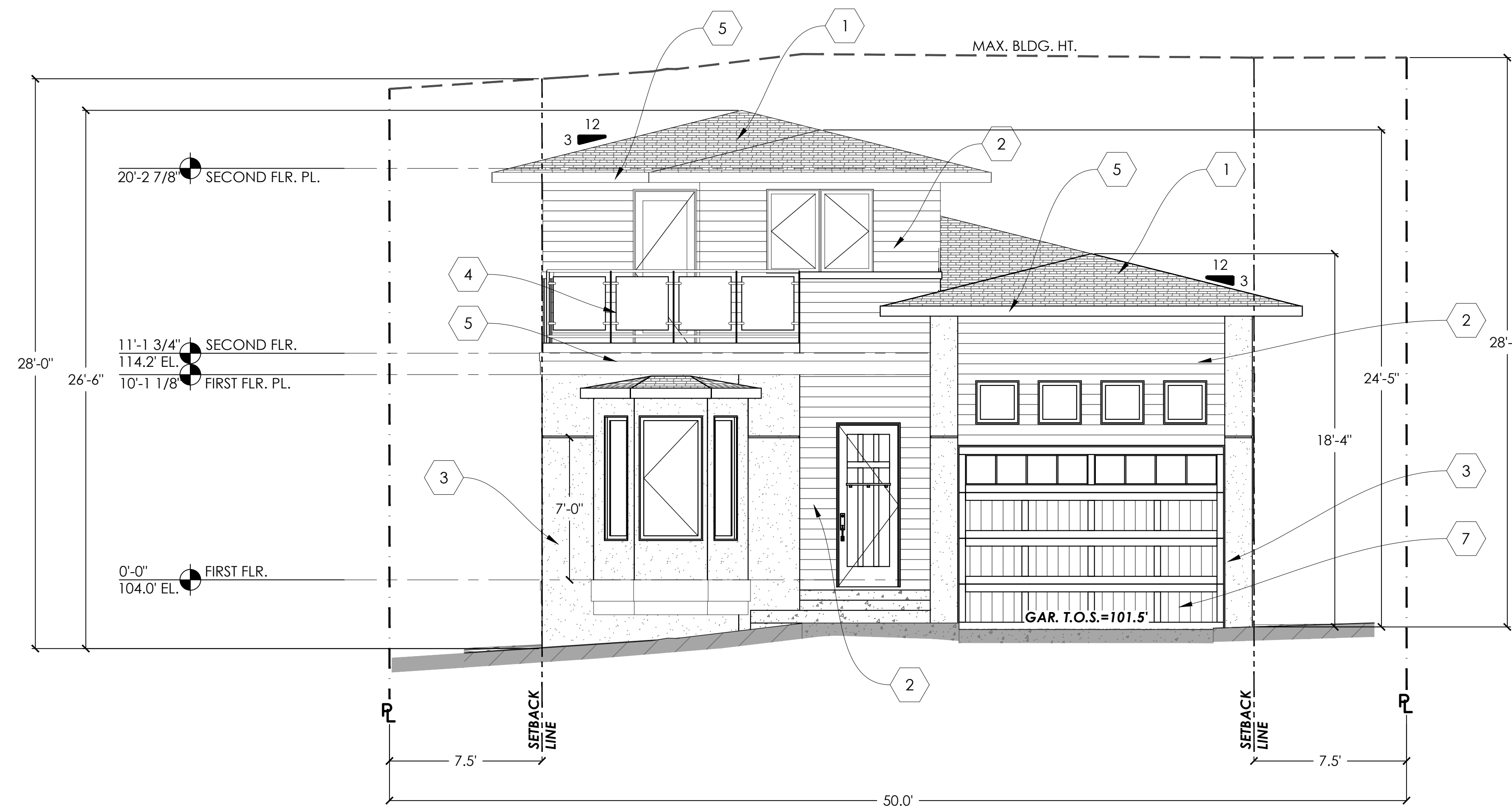
**PROJECT #200527**

REV.	DATE	ISSUE	BY
	11.06.20	DESIGN REVIEW	PM
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**SECOND FLOOR  
ROOF PLAN**

**SHEET NUMBER**

**A.102**



**ELEVATION KEY NOTES**

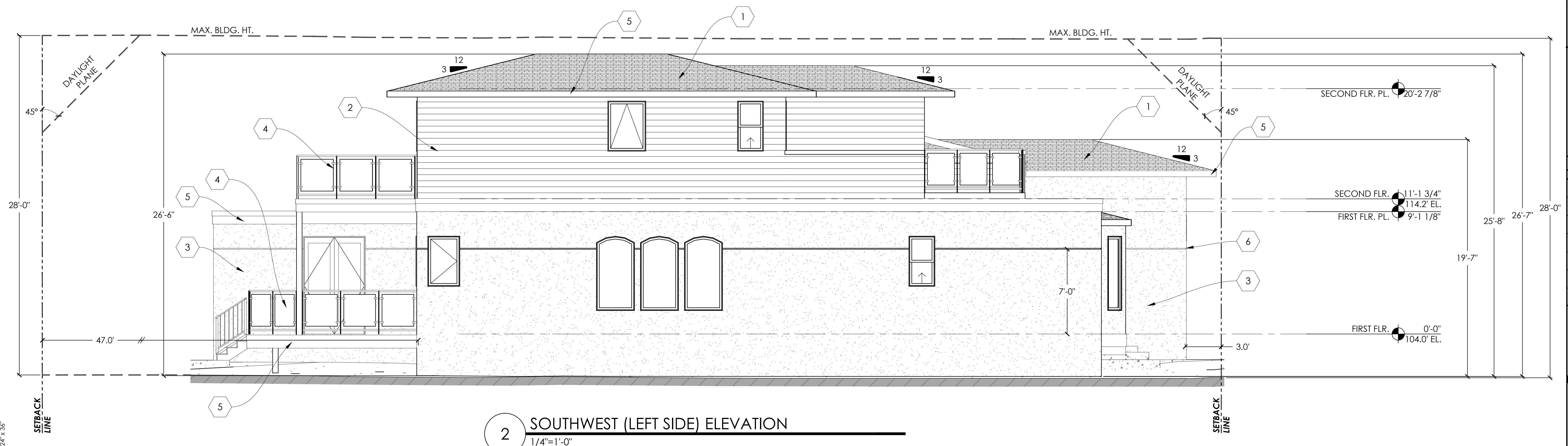
- 1 DIMENSIONAL COMPOSITION SHINGLES (CHARCOAL GRAY).
- 2 6" HARDIE LAP SIDING (LIGHT GRAY).
- 3 3-COAT STUCCO (MEDIUM GRAY).
- 4 GLASS PANEL RAILING (BRONZE RAILS).
- 5 1x TRIM (CHARCOAL GRAY).
- 6 STUCCO REVEAL (1" SCORE).
- 7 METAL GARAGE DOOR (CHARCOAL GRAY).

\*ALL WINDOWS SHALL BE VINYL (BRONZE).

**1** SOUTHEAST (FRONT) ELEVATION  
1/4"=1'-0"

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**2** SOUTHWEST (LEFT SIDE) ELEVATION  
1/4"=1'-0"

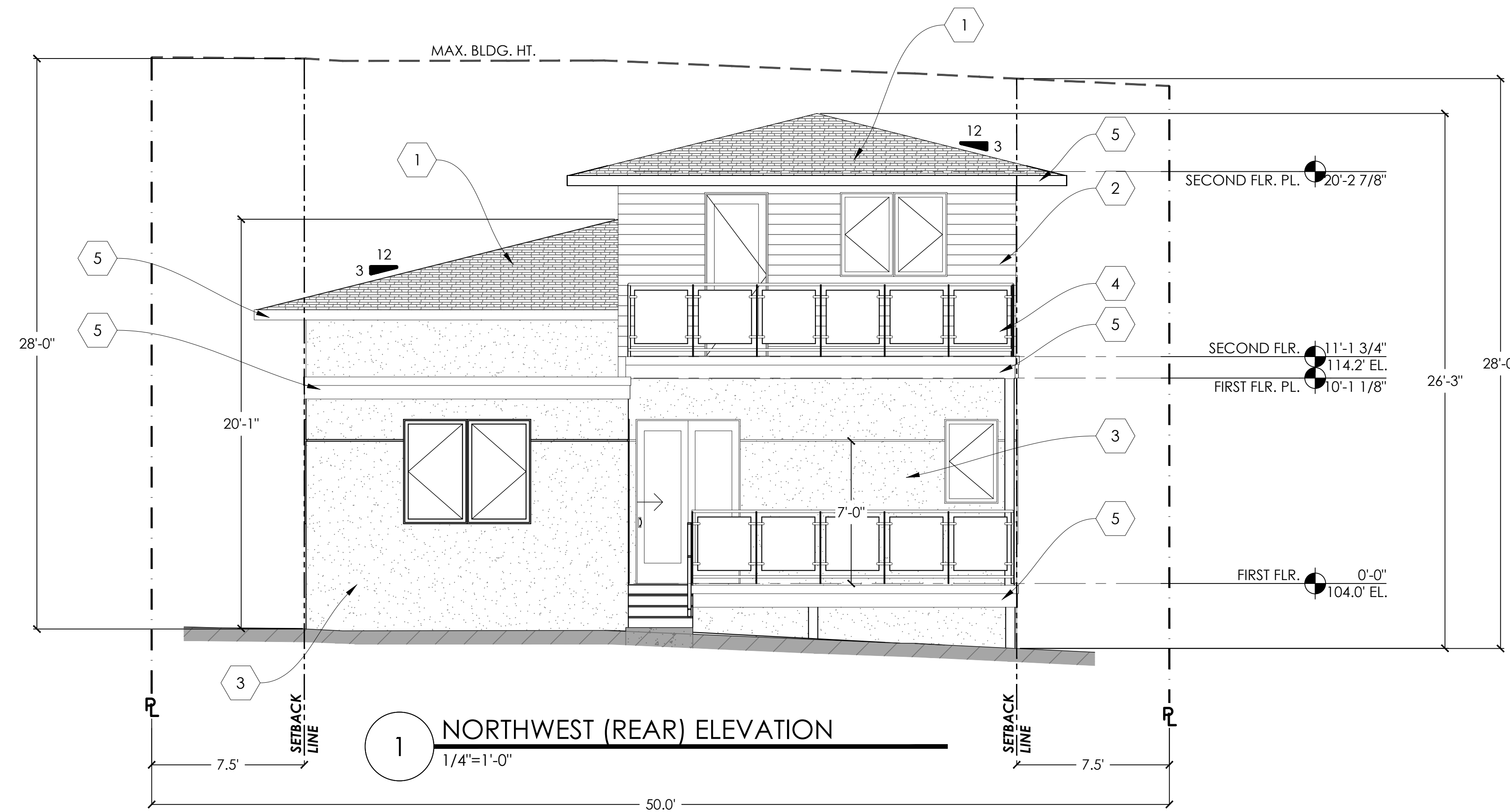
**PROJECT #200527**

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	11.06.20	DESIGN REVIEW	PM
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**EXTERIOR ELEVATIONS**

**SHEET NUMBER**

**A.201**



**1** NORTHWEST (REAR) ELEVATION  
1/4"=1'-0"

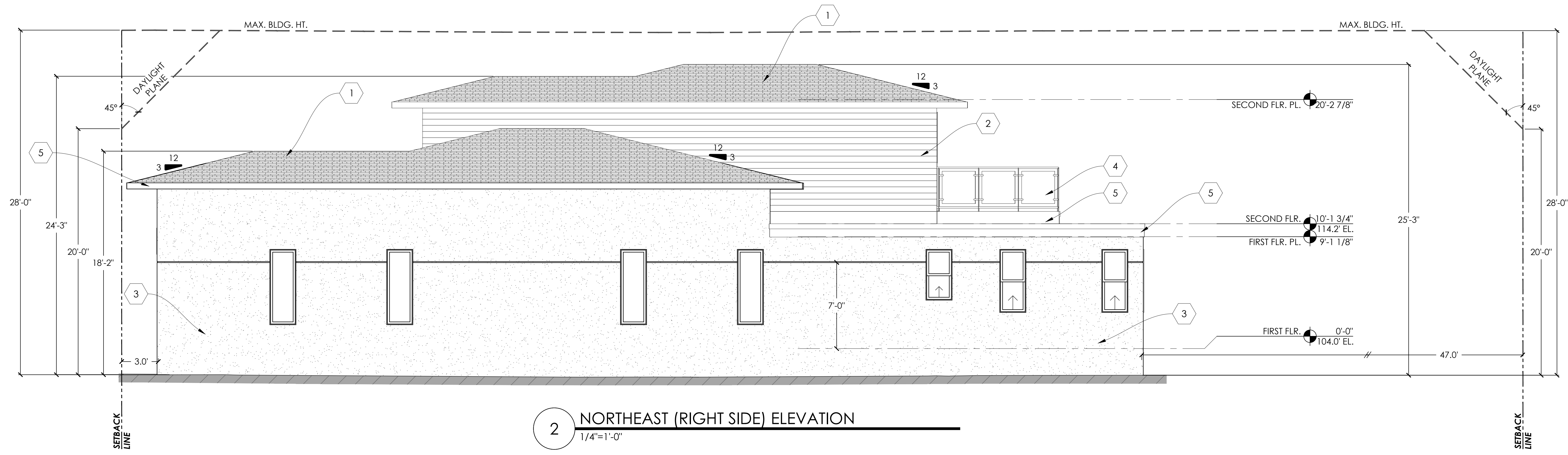
**ELEVATION KEY NOTES**

- 1 DIMENSIONAL COMPOSITION SHINGLES (CHARCOAL GRAY).
- 2 6" HARDIE LAP SIDING (LIGHT GRAY).
- 3 3-COAT STUCCO (MEDIUM GRAY).
- 4 GLASS PANEL RAILING (BRONZE RAILS).
- 5 1x TRIM (CHARCOAL GRAY).
- 6 STUCCO REVEAL (1" SCORE).
- 7 METAL GARAGE DOOR (CHARCOAL GRAY).

\*ALL WINDOWS SHALL BE VINYL (BRONZE).

**DUTY OF COOPERATION**

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**2** NORTHEAST (RIGHT SIDE) ELEVATION  
1/4"=1'-0"

**PROJECT #200527**

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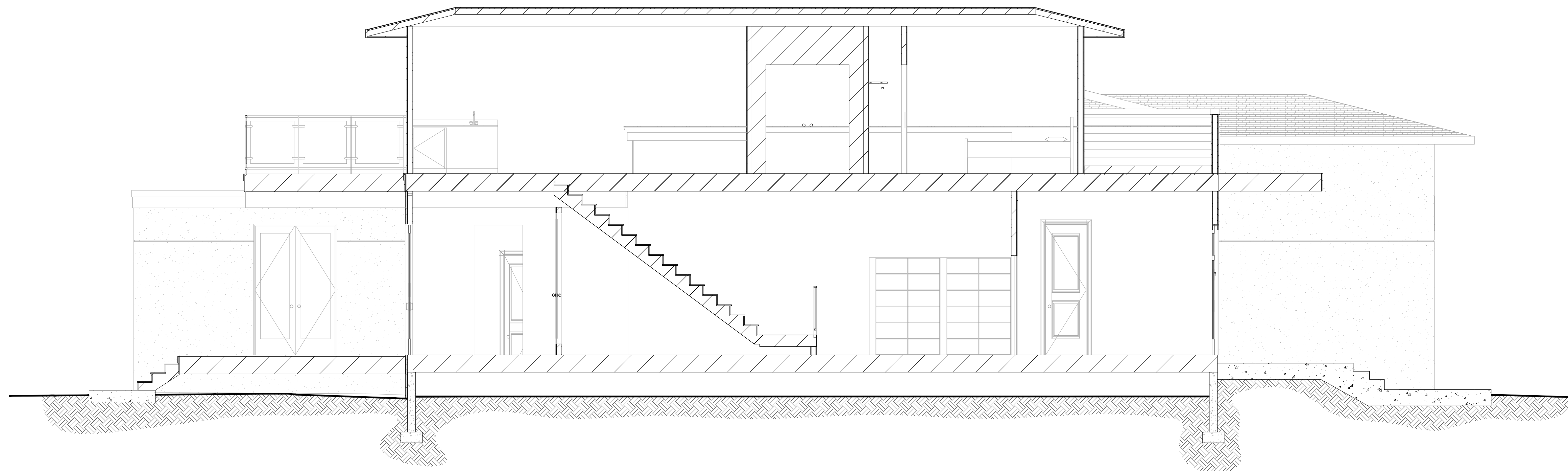
**EXTERIOR ELEVATIONS**

SHEET NUMBER

**A.202**

**GENERAL BUILDING SECTION NOTES**

1. BUILDING SECTIONS/DETAILS MAY NOT ILLUSTRATE EVERY CONDITION IN THE FIELD. COORDINATE WITH DESIGN & STRUCTURAL PLANS FOR VERIFICATION.
2. WALLS WITHIN FIVE FEET OF A PROPERTY LINE MUST BE ONE-HOUR FIRE-RATED PER UL U305 (1-LAYER OF 5/8" TYPE 'X' GYP BD. INSTALLED ON EACH SIDE OF STUD WALL).
3. EAVES WITHIN FIVE FEET OF A PROPERTY LINE MUST BE ONE-HOUR FIRE-RATED. NO EAVE VENTS SHALL BE ALLOWED IN RATED SOFFITS PER TABLE R302.1.
4. PRIOR TO ON-SITE CONSTRUCTION AND OFFSITE PREFABRICATION, STAIR SHAFT/HOLE CONSTRUCTION SHALL BE VERIFIED.. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. COORDINATE ANY OVERHEAD BEAM LOCATION WITH STRUCTURAL PLANS FOR STAIR DISCREPANCIES PRIOR TO CONSTRUCTION.



**A** CROSS-SECTION 'A'  
1/4"=1'-0"

**DUTY OF COOPERATION**

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**PROJECT #200527**

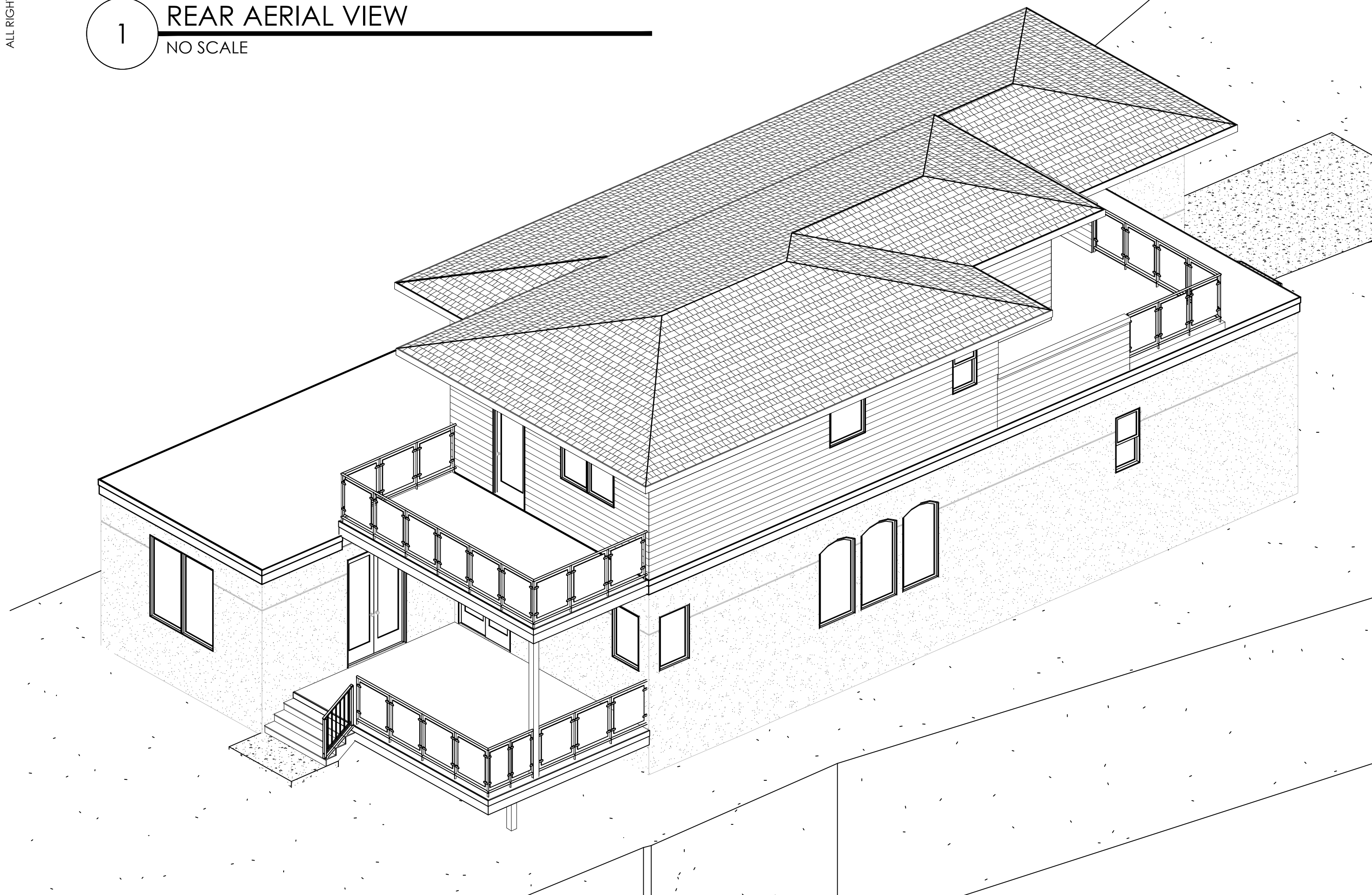
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**BUILDING CROSS-SECTIONS**

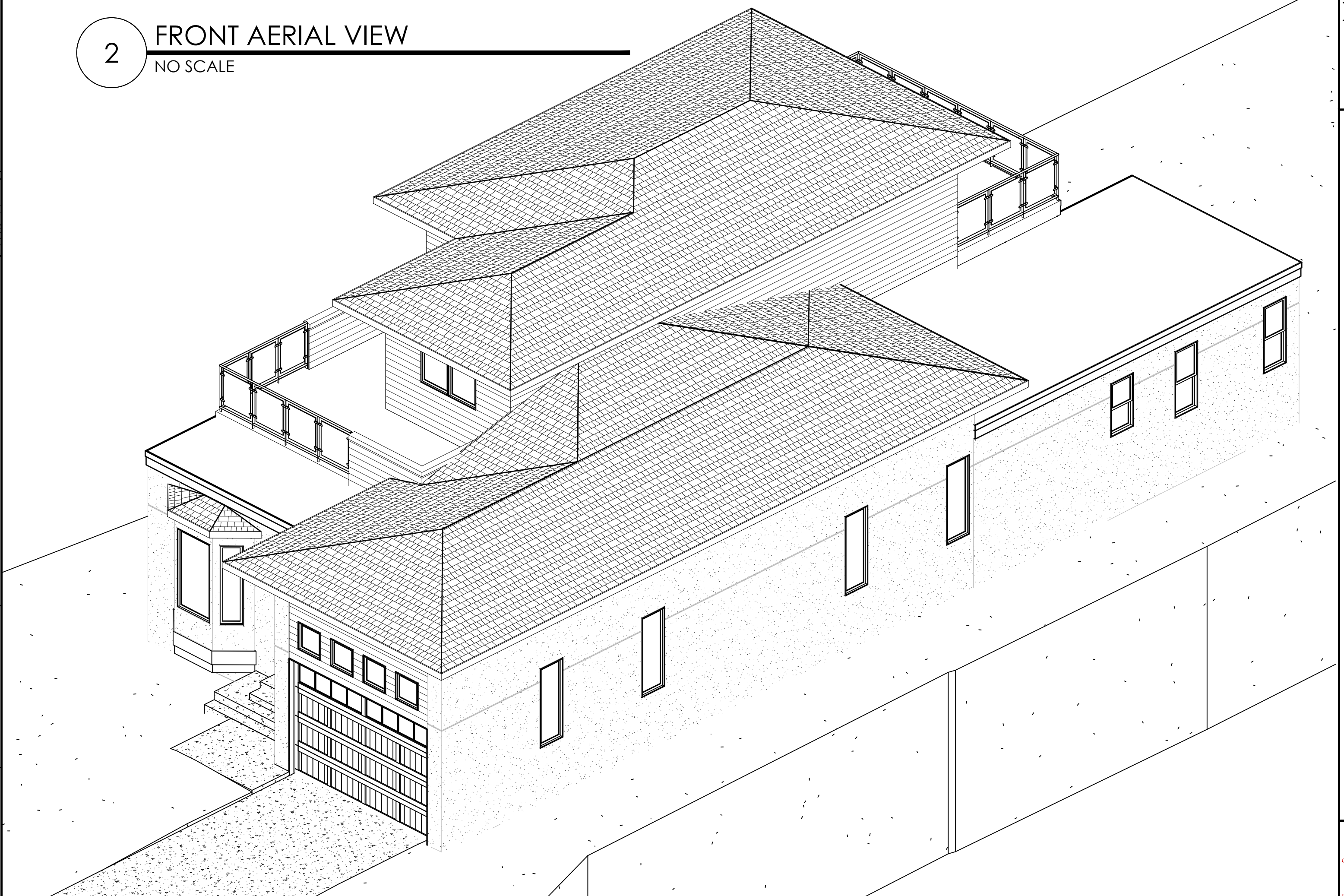
**SHEET NUMBER**

**A.301**

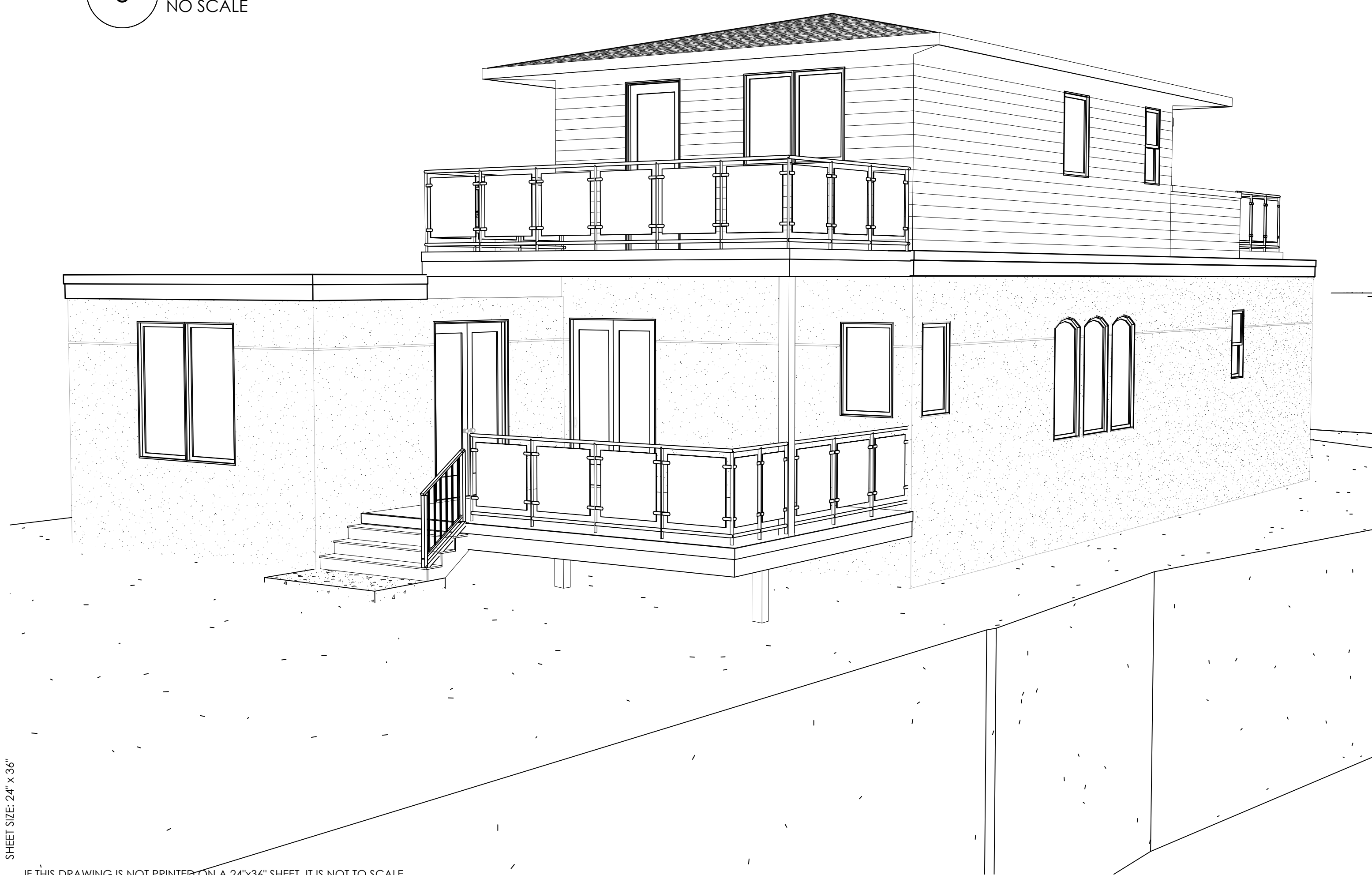
1 REAR AERIAL VIEW  
NO SCALE



2 FRONT AERIAL VIEW  
NO SCALE



3 REAR PERSPECTIVE VIEW  
NO SCALE



4 FRONT PERSPECTIVE VIEW  
NO SCALE



**DUTY OF COOPERATION**  
Release of these plans contemplates further cooperation among the owner, his contractor, and Blackstone Architecture ("BSA"). Design and construction are complex, and although BSA has performed its services with the care and diligence perfection is not guaranteed. Communication is imperfect, and every contingency cannot be anticipated. It is the responsibility of the builder, contractor, and owner of this project review these plans in full prior to construction in order to avoid discrepancies after construction has begun. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to BSA. Failure to notify BSA compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to BSA shall relieve BSA from responsibility for all consequences. Changes made from the plans without the consent of BSA are unauthorized, and shall relieve the architect of responsibility for all consequences arising out of such changes.

PROJECT #200527

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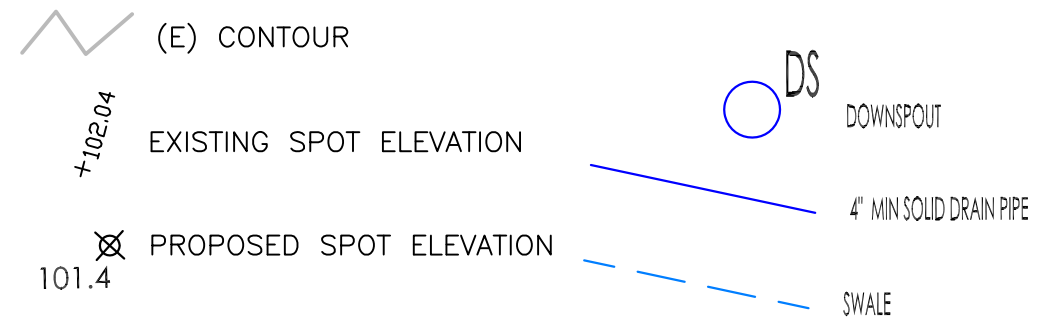
3-DIMENSIONAL VIEWS

SHEET NUMBER

**A.901**



**LEGEND**



**GRADING NOTES**

CUT VOLUME: 40 CY (FOR FOUNDATION)  
 FILL VOLUME: 0 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

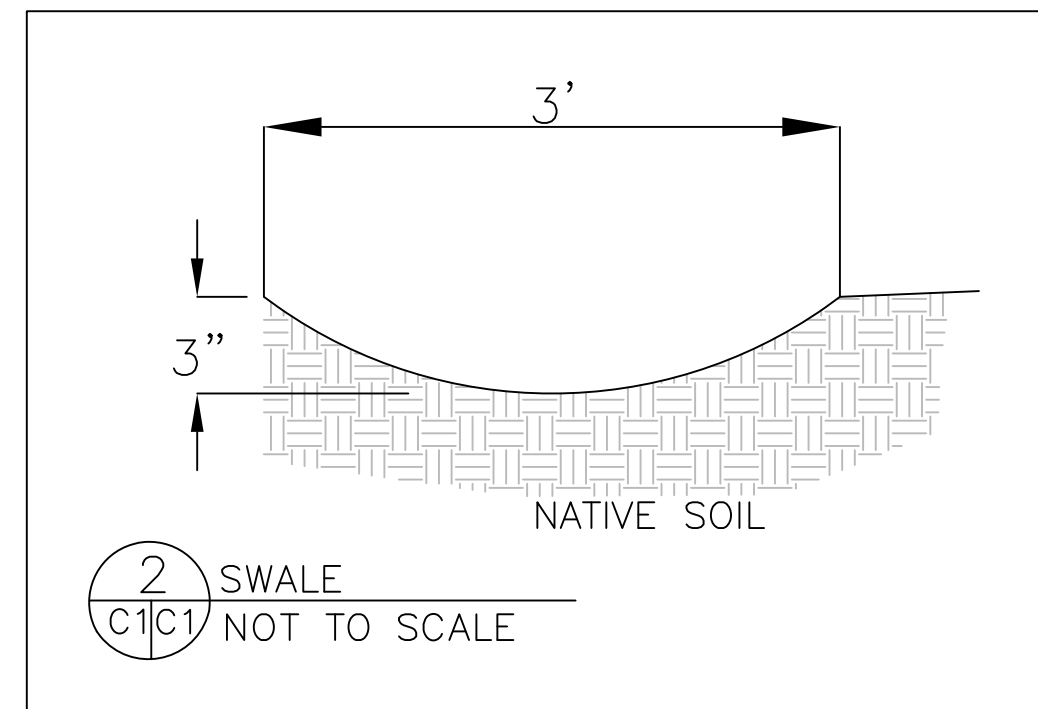
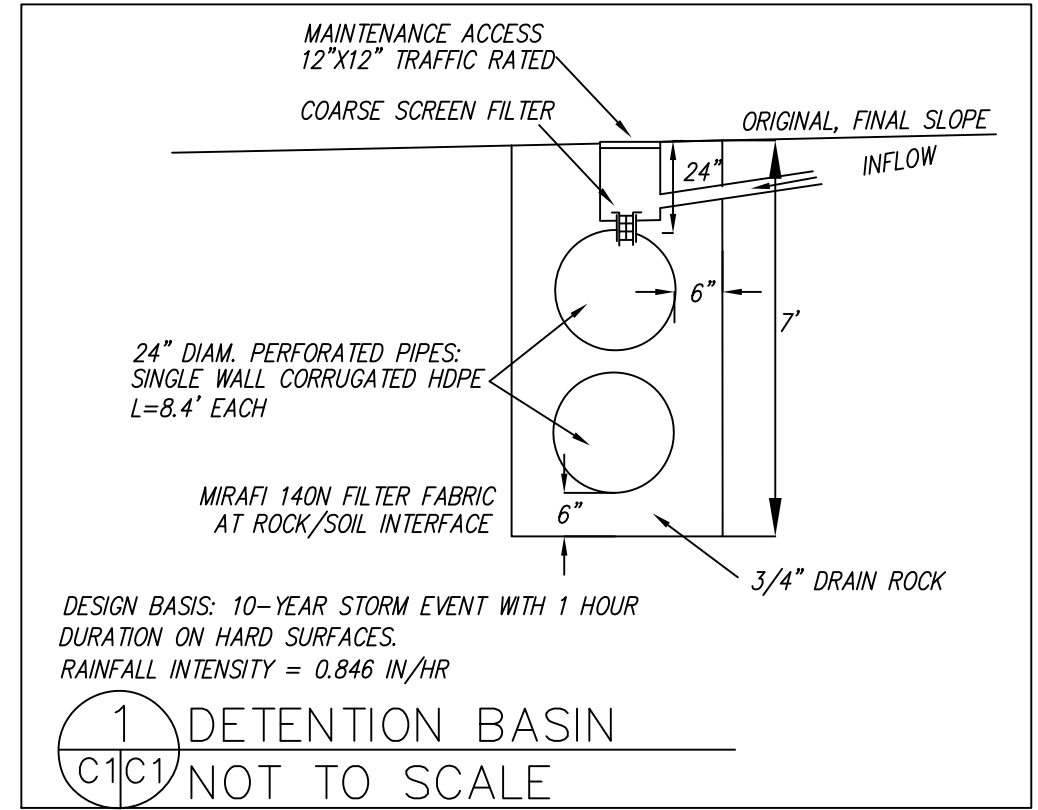
**GENERAL NOTES**

- PLANS PREPARED AT THE REQUEST OF: GENNADIY AGRANOV, OWNER
- TOPOGRAPHY BY S. MICALLEP, SURVEYED JUNE, 2020.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM ASSUMED.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL REPORT FOR PROPOSED HOUSE, MIRAMAR DRIVE, MIRAMAR APN 048-054-220**, DATE: JULY 23, 2020, BY SIGMA PRIME INC., PROJECT NO. 20-142 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC., WITH THE CONTACT NUMBER (650)-728-3590 (SIGMAPRM@GMAIL.COM). THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-295-3650) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**DRAINAGE NOTES**

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. SLOPE ALL IMPERVIOUS SURFACES A MINIMUM OF 2% AWAY FROM BUILDING. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- RUNOFF SHALL NOT BE ALLOWED TO CROSS TO NEIGHBORING PROPERTIES. SWALES SHALL BE BUILT, AS SHOWN, TO PREVENT RUNOFF ACROSS PROPERTY LINES.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

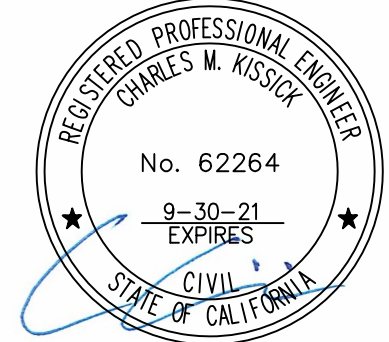
**SECTION AND DETAIL CONVENTION**



SECTION OR DETAIL IDENTIFICATION

REFERENCE SHEET No. FROM WHICH SECTION OR DETAIL IS TAKEN

REFERENCE SHEET No. ON WHICH SECTION OR DETAIL IS SHOWN



**Sigma Prime Geosciences, Inc.**

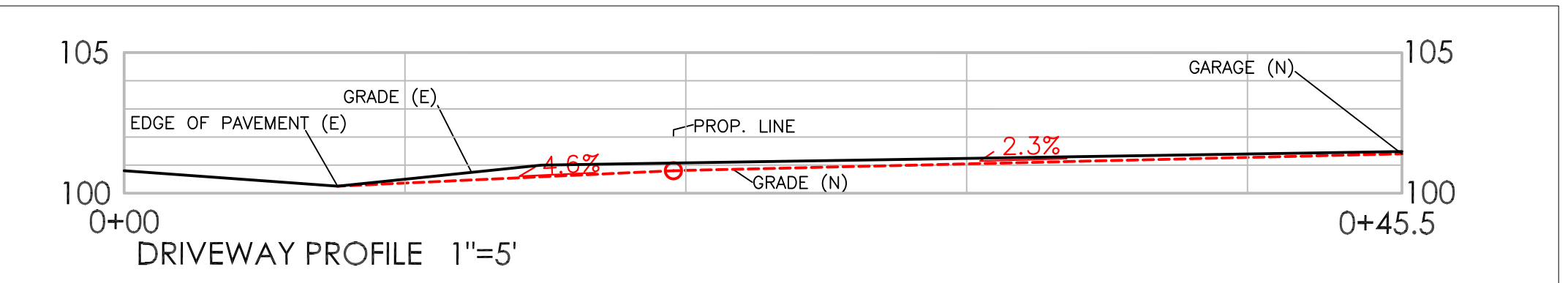
SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

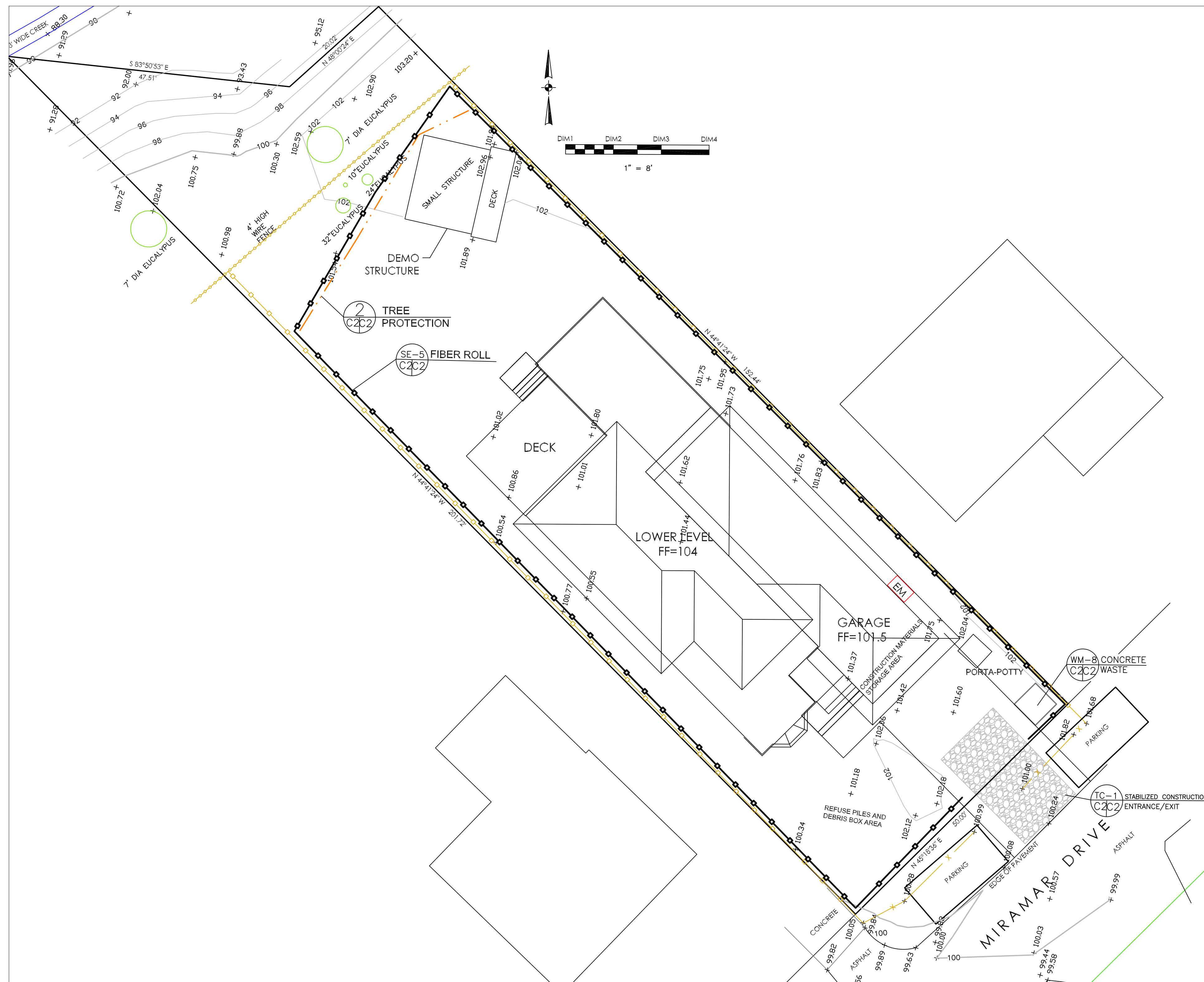
DATE: 11-4-20	DRAWN BY: CMK	CHECKED BY: ATG	REV. DATE:	REV. DATE:	REV. DATE:
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**GRADING AND DRAINAGE PLAN**

AGRANOV PROPERTY  
 MIRAMAR DRIVE  
 MIRAMAR  
 APN 048-054-220

SHEET  
 C-1

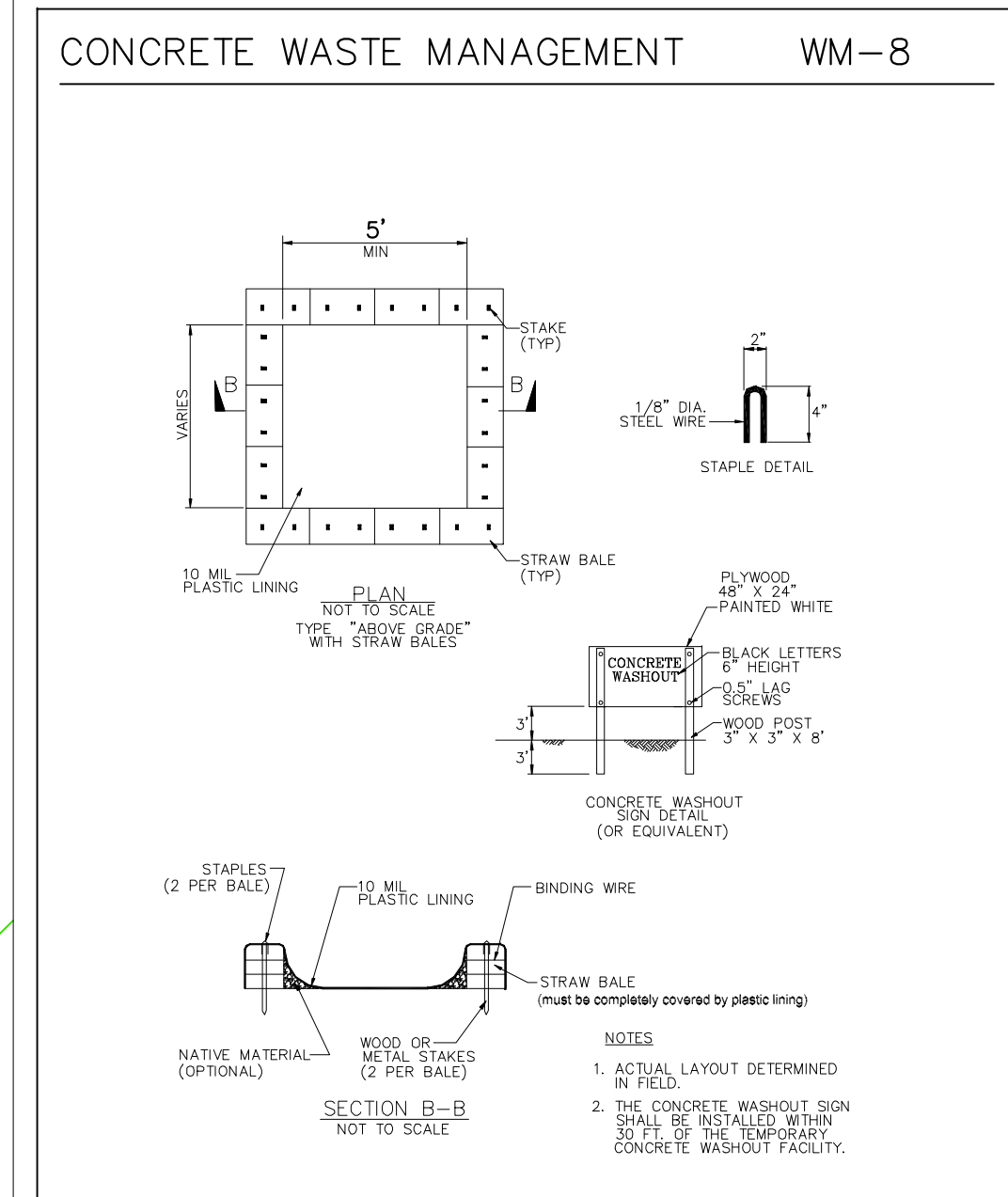




GENERAL EROSION AND SEDIMENT CONTROL NOTES

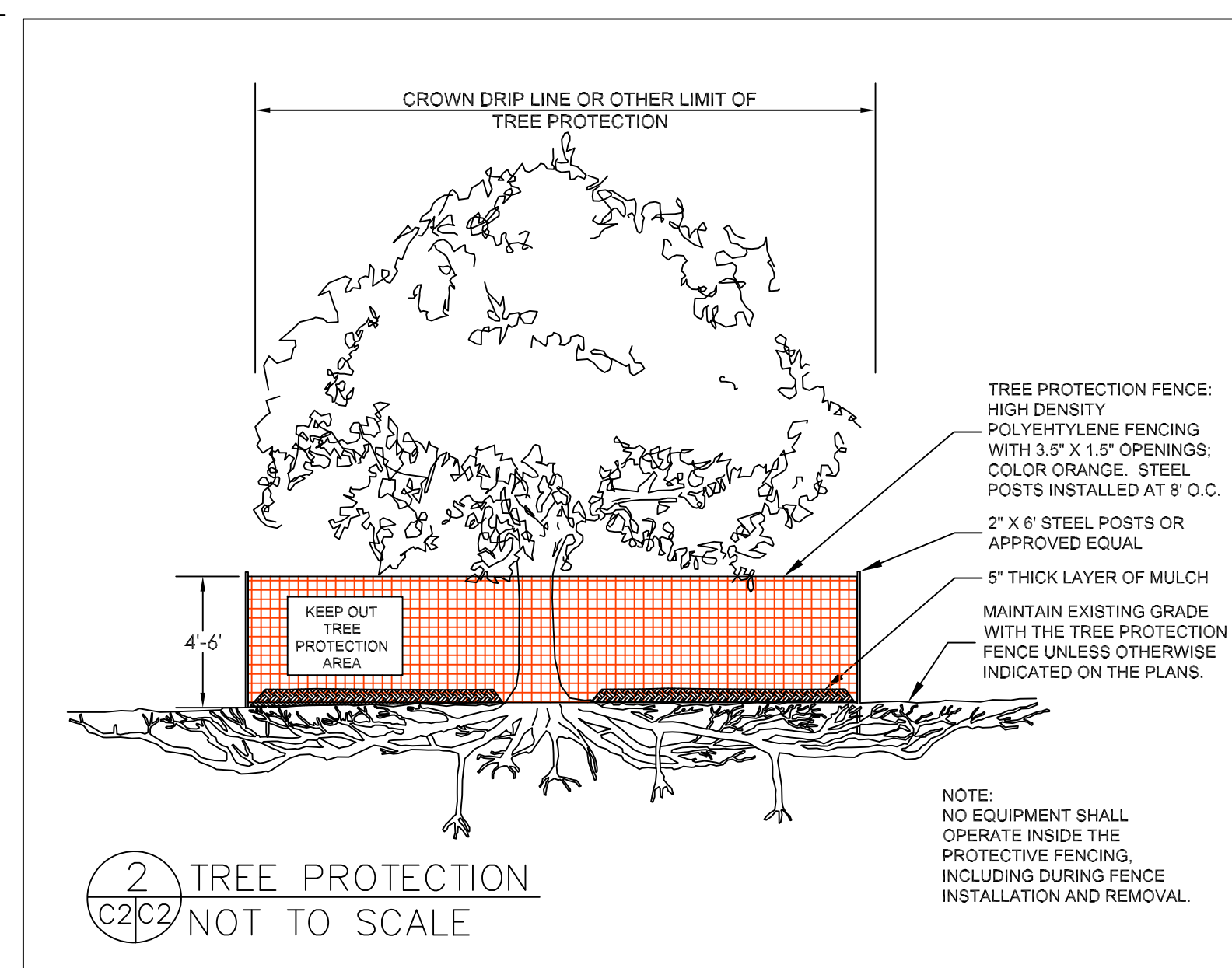


- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

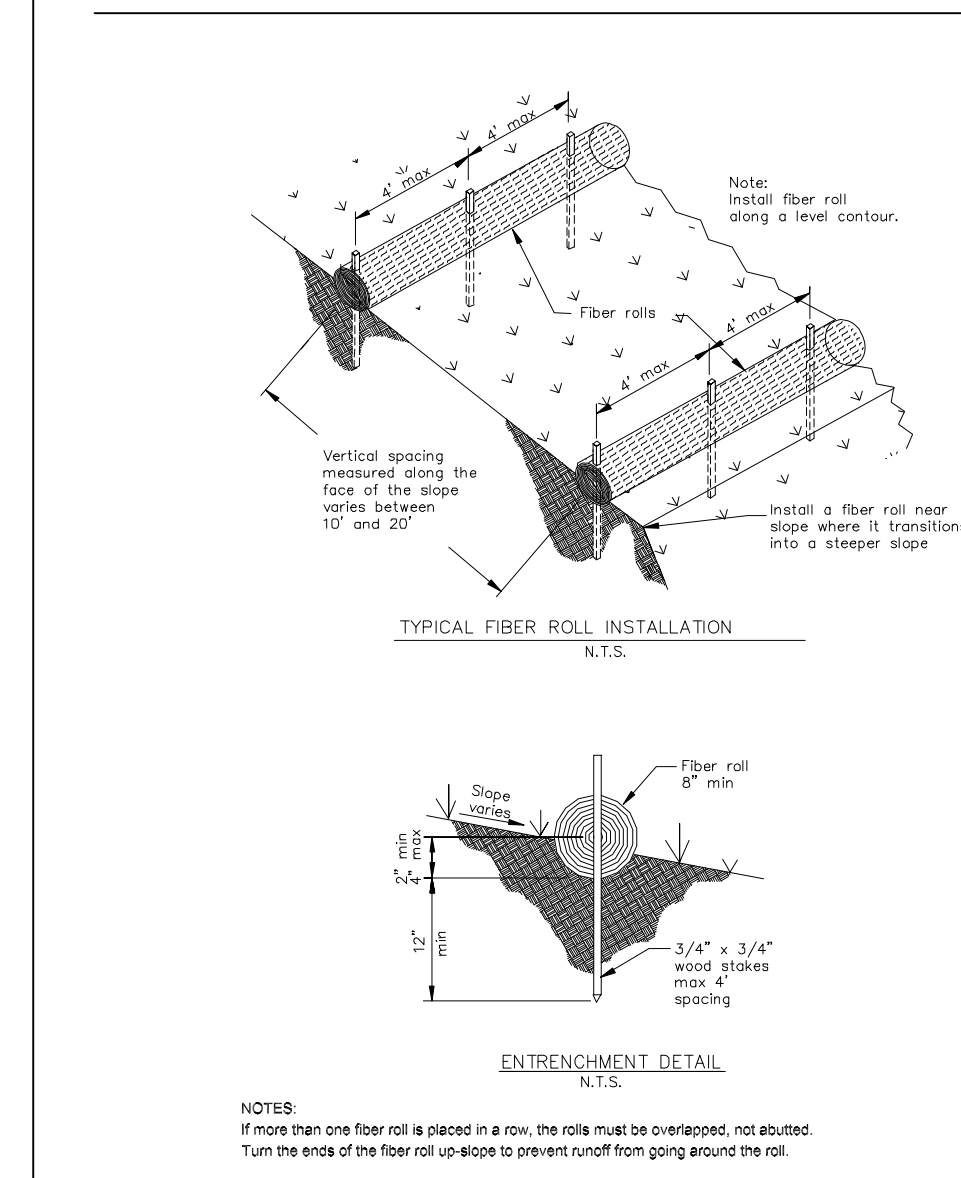


TREE PROTECTION NOTES

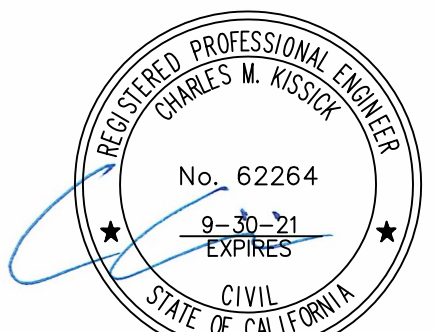
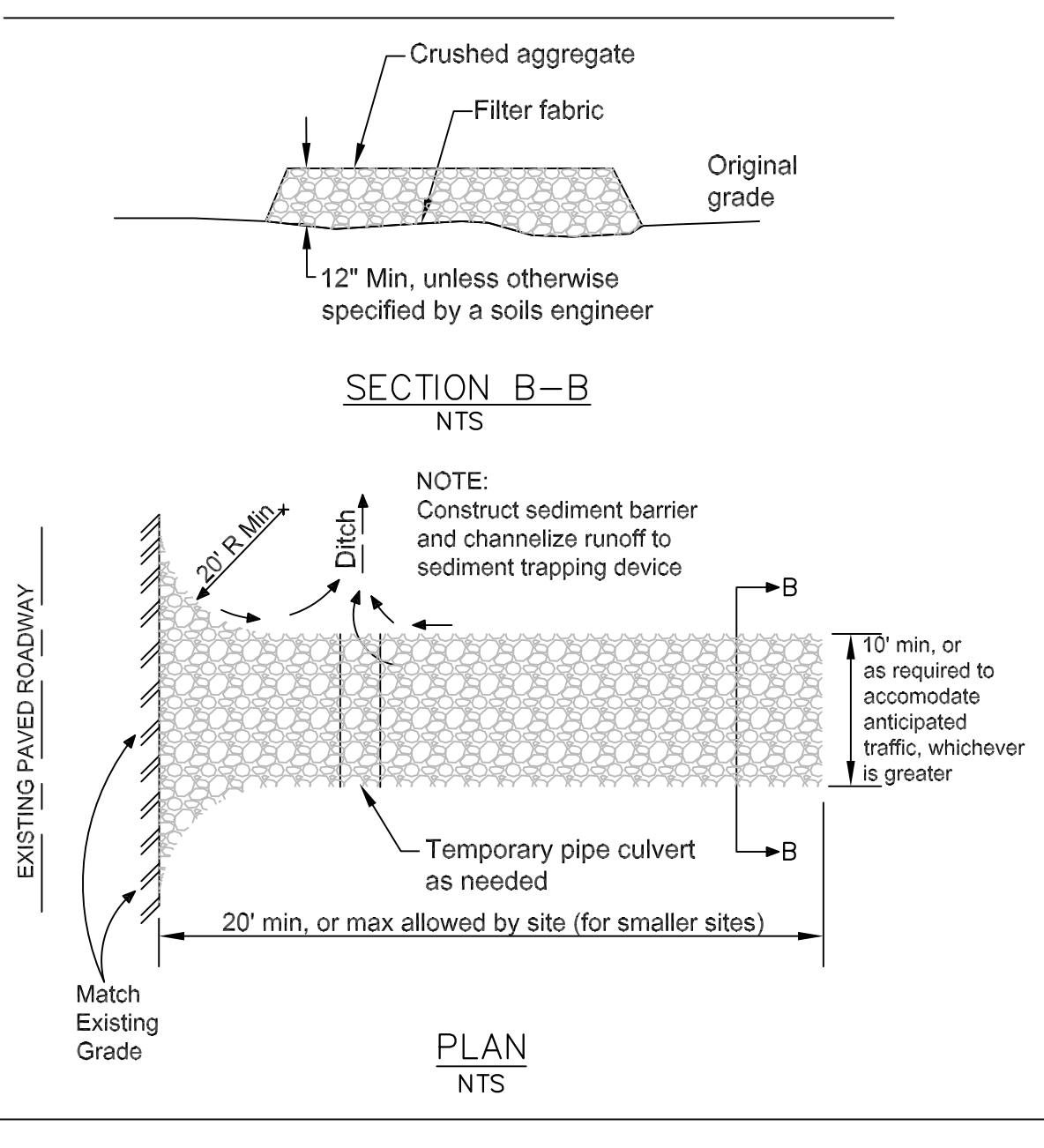
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



EROSION CONTROL POINT OF CONTACT

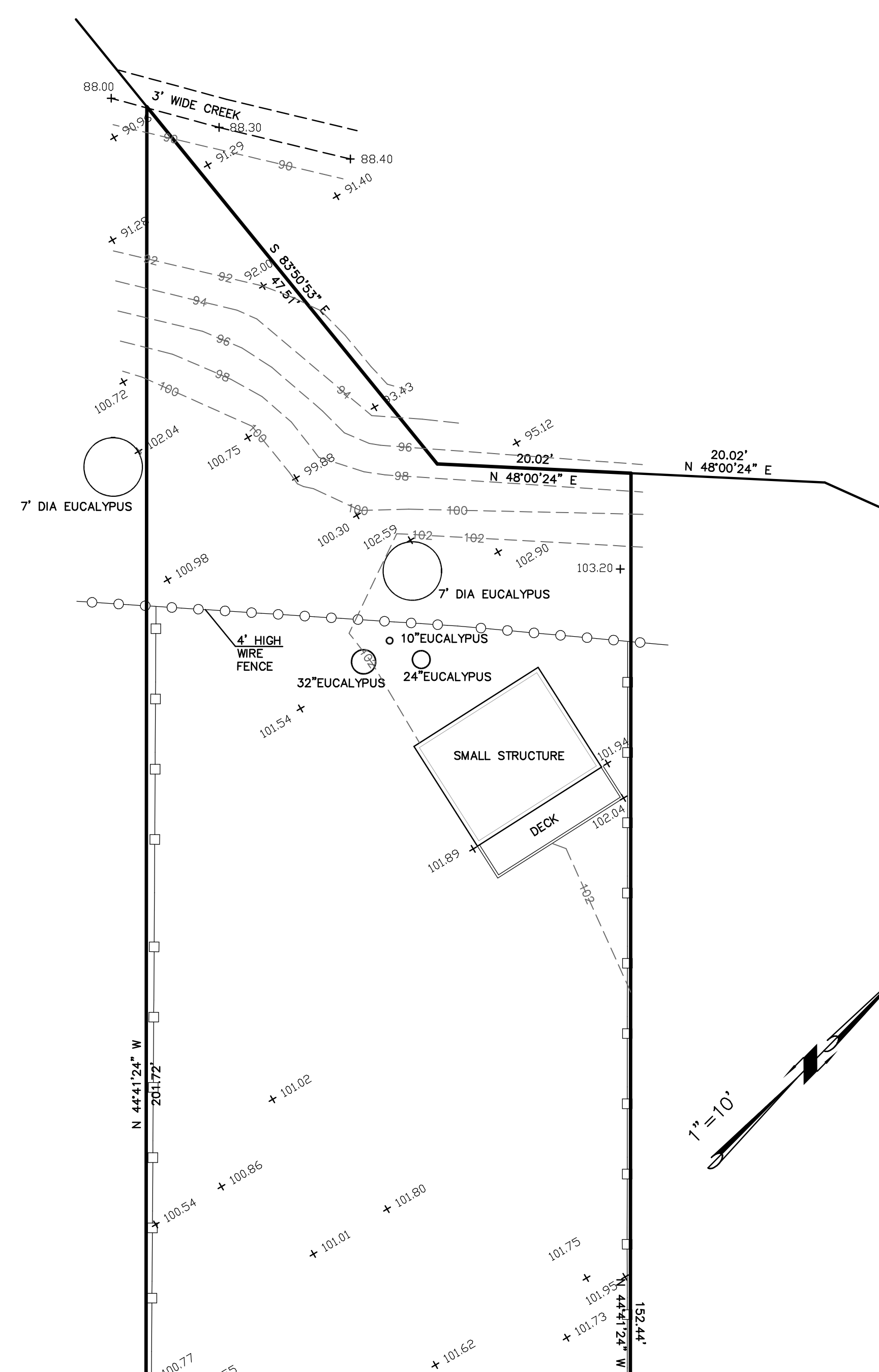
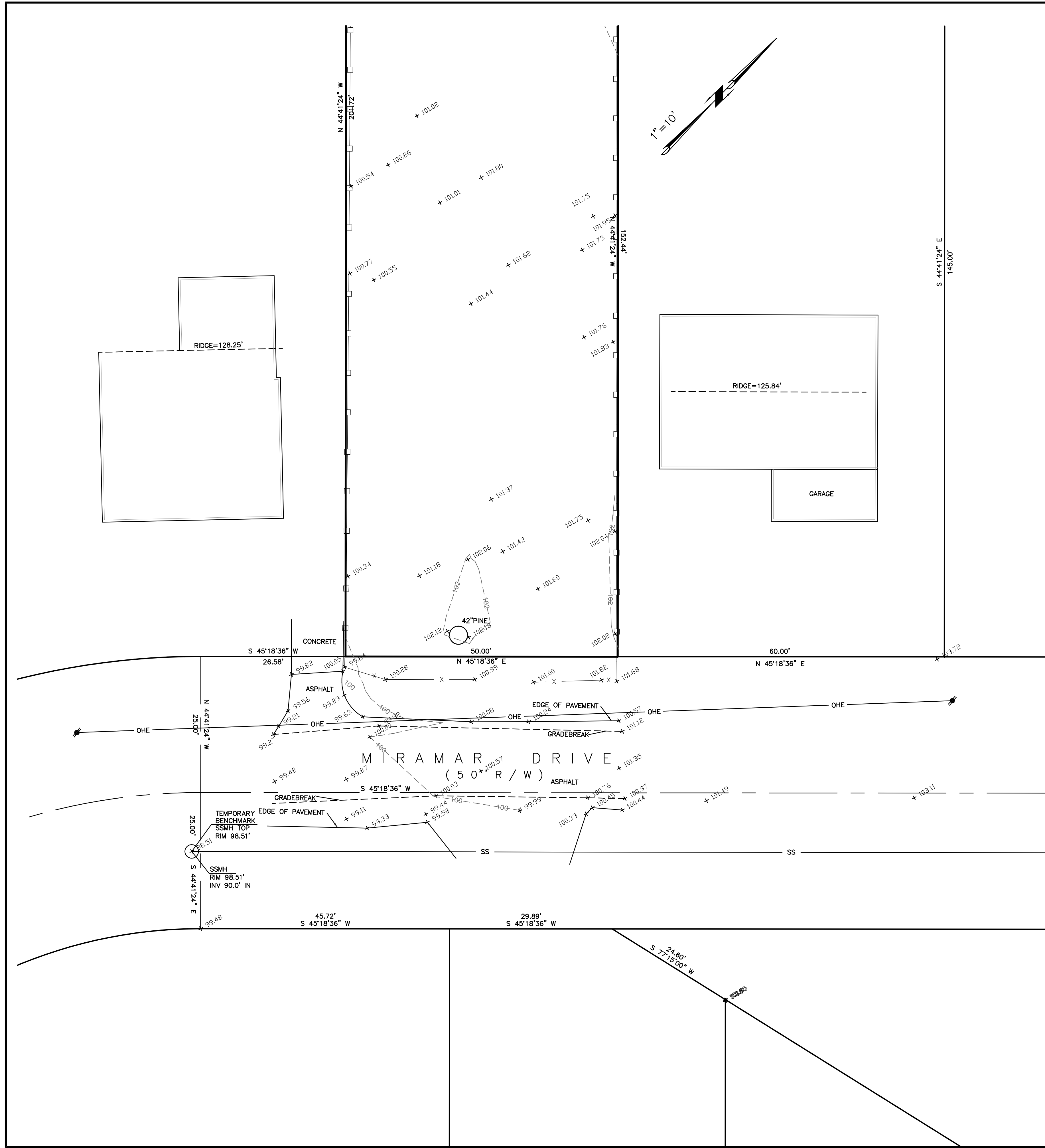
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: GENNADIY AGRANOV  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 408-674-0871  
 PHONE:  
 E-MAIL: AGRANOV@GMAIL.COM

Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 SALT LAKE CITY, UT 84119  
 (801) 488-5890  
 FAX: 726-5693

DATE: 11-4-20  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
 REV. DATE:  
 REV. DATE:  
 EROSION AND SEDIMENT CONTROL PLAN  
 AGRANOV PROPERTY  
 MIRAMAR DRIVE  
 MIRAMAR  
 APN 048-054-220  
 SHEET  
 C-2





**BENCHMARK STATEMENT:**  
 THE TEMPORARY BENCHMARK FOR THIS SURVEY IS THE SEWER MANHOLE SHOWN ON THIS SURVEY.  
 ELEVATION = 98.51 FEET.  
 (THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.)

**SURVEYOR'S STATEMENT:**  
 THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE JUNE 2020. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.

SAVOR P. MICALLEF  
 LAND SURVEYOR, LS 8289  
 (805) 709-2423  
 DATE 11-07-20

SAVOR P. MICALLEF LAND SURVEYING  
 421 WILDWOOD DRIVE  
 SOUTH SAN FRANCISCO, CA 94080  
 805/709-2423

TOPOGRAPHIC SURVEY OF  
 VACANT LAND (APN 048-054-220)

CITY OF HALF MOONBAY SAN MATEO COUNTY CALIFORNIA

Revisions	
No.	Description

Date	11-07-20
Scale	1"=10'
Design	SPM
Drawn	SPM
Approved	SPM
Job No	