



GENERAL CONDITIONS

01.FAMILY ROOM ADDITION OVER EXISTING GARAGE AND RECONFIGURE ENTRY CLOSETS

02. GENERAL CONDITIONS: PERFORM ALL WORK REQ'D BY THE CONTRACT DOCUMENTS FOR THE ALTERATION, RENOVATION, REPAIR & REHABILITATION OF THE DESIGNATED PREMISES, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SCAFFOLDING & OTHER FACILITIES & SERVICES NECESSARY FOR THE PROPER & COMPLETE EXECUTION OF THE WORK. THESE GENERAL CONDITIONS SHALL APPLY TO ALL WORK INDICATED IN THIS DRAWING SET & SHALL EXTEND TO ANY CHANGES OR ADDITIONAL SCOPE DEVELOPED DURING THE COURSE OF THE PROJECT.

03. EXCLUSIONS: CONTRACTOR SHALL MAKE KNOWN TO ARCHITECT & OWNER ANY LIMITATIONS, EXCLUSIONS OR MODIFICATIONS TO THE PROJECT EXPLICITLY IN THE PROJECT ESTIMATE. UNLESS SPECIFICALLY EXCLUDED, THEY WILL BE PRESUMED TO BE INCLUDED IN THE PRICING OF THE PROJECT.

04. COMPLEMENTARY DOCUMENTS: THE ARCHITECT'S DRAWINGS, SPECIFICATIONS & CONSTRUCTION NOTES ARE COMPLEMENTARY, & WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.

05. INCONSISTENCIES: WHERE DIFFERENCES BETWEEN DRAWINGS, NOTES & SPECIFICATIONS OCCUR, THE DECISION OF THE ARCHITECT SHALL GOVERN AS TO WHICH TAKES PRECEDENCE. THE ARCHITECT SHALL PROMPTLY RESOLVE ANY SUCH DISCREPANCIES BROUGHT FORWARD BY THE CONTRACTOR.

06. MISSING INFORMATION: THE CONTRACTOR SHALL STUDY THE DRAWINGS, NOTES, SPECIFICATIONS & OTHER INSTRUCTIONS, & NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQ'D FOR FABRICATION OR INSTALLATION OF THE WORK. THE CONTRACTOR SHALL REQUEST INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.

07. DOUBTFUL CONDITIONS / FIELD CONDITIONS: VERIFY ALL (E) CONDITIONS & DIMENSIONS AFFECTING THE WORK ON SITE. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT ARE FOUND CONTRARY TO THOSE SHOWN ON THE DRAWINGS, OR OF ANY DOUBTFUL CONDITIONS THAT MIGHT AFFECT QUALITY OR INTERFERE W/ THE PROPER COMPLETION OF WORK BEFORE COMMENCING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF (E) CONDITIONS.

08. PERMITS AND APPROVALS: OBTAIN ALL REQUIRED PERMITS & PAY FEES FOR PERMITS, LICENSES, INSPECTIONS, FILINGS & APPROVALS REQUIRED BY LOCAL LAWS, ORDINANCES & REGULATIONS NECESSARY FOR COMPLETION OF THE PROJECT. SCHEDULE REQUIRED INSPECTIONS IN A TIMELY MANNER SO AS NOT TO INTERRUPT PROGRESS OF THE WORK.

09. A VALID WORK PERMIT SHALL BE PROMINENTLY DISPLAYED AT THE JOB SITE FOR THE ENTIRE DURATION OF THE WORK.

10. COMPLIANCE WITH CODES: ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE COUNTY OF SAN MATEO BUILDING INSPECTION OFFICE, PLANNING OFFICE, FIRE & EMERGENCY SERVICES & LOCAL UTILITY COMPANIES. WHERE REQUIREMENTS OF THESE CODES ARE CONTRADICTORY, THE MORE STRINGENT RULE SHALL APPLY.

11. MEANS AND METHODS: THE CONTRACTOR SHALL SUPERVISE THE WORK USING THE BEST SKILL & ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, & SHALL HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

12. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING SAFETY PRECAUTIONS IN CONNECTION W/ THE WORK. HE SHALL GIVE NOTICES & COMPLY W/ ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS & ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE SAFETY OF PERSONS AND PROPERTY, & THEIR PROTECTION FROM DAMAGE, INJURY & LOSS. HE SHALL INSURE THAT THE JOB SITE IS MAINTAINED AT ALL TIMES SO AS TO PREVENT INJURY OR DAMAGE TO ALL PERSONS WORKING ON OR VISITING THE PREMISES, & TO THEIR PROPERTY.

13. HAZARDOUS MATERIALS: IN THE EVENT THE CONTRACTOR ENCOUNTERS ASBESTOS OR PRODUCTS CONTAINING ASBESTOS, REMOVE ALL PERSONS FROM THE PROPERTY IMMEDIATELY W/O DISTURBING THESE PRODUCTS & NOTIFY THE OWNER. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL PARTIES FROM POTENTIAL HAZARDS PRODUCED BY REMOVAL OF OR DAMAGE TO LEAD-BASED PAINTS OR OTHER SIM. HAZARDOUS MATERIALS, ON OR ABOUT THE PROPERTY.

14. SCHEDULE: SUBMIT A CONSTRUCTION SCHEDULE TO ARCHITECT & OWNER PRIOR TO COMMENCING WORK. THE SCHEDULE SHALL INDICATE THE CHRONOLOGICAL PHASES OF WORK THROUGH PROJECT COMPLETION. THE SCHEDULE SHALL INDICATE ORDERING LEAD TIME, START & COMPLETION DATES FOR EACH TRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE APPROVED SCHEDULE.

15. SEQUENCE AND COORDINATION: THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES & SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL ALSO COOPERATE IN SEQUENCING INSTALLATION OF ITEMS FURNISHED BY THE OWNER.

16. APPROVED MATERIALS: THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL DETERMINE THE ACCEPTABILITY OF A SUBSTITUTION REQUESTED BY THE CONTRACTOR. ALL MATERIALS SHALL BE NEW, UNUSED & OF THE HIGHEST QUALITY IN EVERY RESPECT, U.O.N. IN THE DRAWINGS, MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS & INSTRUCTIONS.

17. LICENSED TRADESPEOPLE: WORK, INCLUDING PLUMBING, ELECTRICAL & OTHER TRADES, SHALL BE PERFORMED BY CONTRACTORS LICENSED IN THEIR TRADE, WHO SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS & SIGN-OFFS. HVAC SYSTEMS INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, BY A PROGRAM ACCEPTABLE TO THE DBI, PER CAL GREEN 702.1

18. CURRENT DRAWINGS / REVISIONS: MAINTAIN A COMPLETE, CURRENT SET OF CONTRACT DOCUMENTS ON SITE THROUGHOUT CONST. FOR THE USE OF ALL TRADES. UPON RECEIPT OF ISSUED REVISIONS TO THE CONST. DOCS. BY THE ARCHITECT, THE CONTRACTOR SHALL IMMEDIATELY REVISE THE FIELD SET OF CONST. DOCS. & NOTIFY ALL AFFECTED TRADES OF THE REVISIONS.

19. LAYOUT OF WORK: LAYOUT WORK FROM DIMENSIONS & ALIGNMENTS SHOWN ON DRAWINGS & BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN DRAWINGS & FIELD CONDITIONS TO THE ARCHITECT. **DO NOT SCALE DRAWINGS.**

20. QUALITY ASSURANCES:
A) ALL WORK SHALL BE PERFORMED & SUPERVISED BY WORKERS THOROUGHLY FAMILIAR W/ THE MATERIALS & METHODS SPECIFIED.
B) WORK SHALL BE INSTALLED PLUMB & LEVEL. SHOULD EX'G ADJ WORK NOT BE PLUMB & LEVEL, NEW WORK SHALL BE INSTALLED AS NECESSARY TO MEET THE EX'G WORK, W/O APPEARING TO EMPHASIZE THE VARIANCE, SUBJECT TO THE APPROVAL OF THE ARCHITECT.

21. SECURING OF PREMISES: SECURE THE PREMISES & MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF CONSTRUCTION UNTIL OWNER'S FINAL ACCEPTANCE. TAKE ALL NECESSARY PRECAUTIONS AT THE END OF EACH WORK DAY TO INSURE UNAUTHORIZED PERSONS CANNOT ENTER THE JOB SITE.

22. PROTECTION DURING CONSTRUCTION: PROVIDE & MAINTAIN ALL NECESSARY COVERINGS & PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF (E) & NEW CONST., FINISHES & BUILDING ELEMENTS. MAINTAIN PROTECTION UNTIL OWNER'S FINAL ACCEPTANCE. DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION, WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM. UPON OWNER'S ACCEPTANCE, REMOVE ALL PROTECTION AND CLEAN ALL EXPOSED SURFACES. PROTECT HVAC SYSTEMS & COMPONENTS PER W/ SMACNA IAQ GUIDELINES.

23. MEANS OF EGRESS: ALL EX'G MEANS OF EGRESS FOR WORKERS & VISTORS TO SITE SHALL BE MAINTAINED CLEAR & FREE OF OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.

24. DELIVERIES: CONTRACTOR SHALL MAKE ALL REQ'D ARRANGEMENTS FOR DELIVERY & TRANSFER OF EQUIPMENT AND MATERIALS TO THE JOB SITE.

25. CUTTING AND PATCHING: PERFORM ALL CUTTING AND PATCHING REQ'D BY THE INSTALLATION OF NEW FRAMING, PLUMBING FIXTURES & CONNECTIONS, WIRING, ELECTRICAL & TELEPHONE OUTLETS, SWITCHES, HEATING & VENTILATION ELEMENTS TO PROVIDE A FINISHED PROJECT.
A) MATERIALS USED IN CUTTING & PATCHING SHALL BE IDENTICAL TO ORIGINAL MATERIALS U.O.N. IF IDENTICAL MATERIALS ARE NOT AVAILABLE, PROVIDE FINISHED WORK HAVING EQ. OR BETTER PERFORMANCE CRITERIA.
B) USE METHODS LEAST LIKELY TO DAMAGE (E) ELEMENTS OR ADJ. WORK.
C) LOCATE UTILITIES PRIOR TO CUTTING. CAP, VALVE, SEAL & PLUG ABANDONED UTILITIES.
D) PATCHING SHALL PROVIDE SOLID, TRUE & ALIGNED SUBSTRATES FOR THE INSTALLATION OF FINISHED MATERIALS.
E) PATCHING SHALL SEAMLESSLY JOIN THE IMMEDIATE EX'G ADJ CONST. IN MATERIALS, FINISH, GLOSS & COLOR. JOINTS SHALL BE DURABLE & INVISIBLE. CREATE TRUE, EVEN PLANES W/UNIFORM CONT. APPEARANCE.
F) REPAINT ENTIRE ASSEMBLIES & SURFACES, NOT ONLY PATCHED AREAS.

26. REMOVALS: MAINTAIN A CLEAN & NEAT WORK SITE AT ALL TIMES. CLEAN-UP & REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, CONTAINERS & SALVAGES GENERATED BY CONST., DEMOLITION & THE DELIVERY & INSTALLATION OF WOODWORK, FURNITURE & APPLIANCES, WHETHER PROVIDED UNDER THIS CONTRACT OR NOT. **100% OF MIXED DEBRIS SHALL BE PROCESSED FOR RECYCLING.**

27. FINAL CLEANUP: ALL SPACES MUST BE LEFT VACUUM-CLEAN & ORDERLY, READY FOR OWNER OCCUPANCY. ALL SURFACES, INCLUDING COUNTERS, CABINET SHELVES & TOPS, MOLDINGS, DOOR & WINDOW HEADS, PLUMBING & LIGHTING FIXTURES, APPLIANCES, HVAC EQUIPMENT & FLOORS SHALL BE THOROUGHLY DUSTED W/ A FREQUENTLY RINSED DAMP CLOTH. AFTER DUSTING ALL SURFACES, FLOORS SHALL BE VACUUMED USING APPROPRIATE ATTACHMENTS. SCRAPE WINDOWS CLEAN W/ RAZOR & WASH.

28. PROJECT CLOSEOUT: UPON COMPLETION OF THE JOB THE CONTRACTOR SHALL SUBMIT ALL CERTIFICATES OF INSPECTION & A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOC. G-704) TO OWNER. UPON OWNER'S ACCEPTANCE, THE CONTRACTOR SHALL PERFORM A FINAL CLEANING.

29. PROJECT COMPLETION: THE PROJECT SHALL BE CONSIDERED COMPLETE WHEN THE WORK ON ARCHITECT'S PUNCH LIST HAS BEEN COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND CLIENTS.

30. WARRANTY & GUARANTEE:
A) THE CONTRACTOR GUARANTEES THAT WORK COMPLETED UNDER THIS CONTRACT IS FREE FROM FAULTY MATERIALS & WORKMANSHIP, INCL. IMPROPER INSTALLATION. THIS GUARANTEE SHALL COVER A MINIMUM PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE OF THE WORK BY OWNER & SHALL BIND THE CONTRACTOR TO REPAIR OR REPLACE, PROMPTLY & EFFICIENTLY, ANY & ALL WORK & MATERIAL FOUND TO BE DEFECTIVE DURING THIS PERIOD, INCLUDING OTHER WORK NOT PERFORMED UNDER THIS CONTRACT, THAT IS DAMAGED BY SUCH DEFICIENCY.
B) NEITHER THE FINAL CERTIFICATE NOR THE FINAL PAYMENT, NOR ANY OTHER PROVISION IN THE CONTRACT, SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY DESCRIBED IN THIS SECTION.
C) THIS WARRANTY IS IN ADDITION TO MANUFACTURER'S STANDARD WARRANTIES ON SPECIFIC PRODUCTS, MATERIALS & ASSEMBLIES.
D) IN THE EVENT ADDITIONAL PROFESSIONAL SERVICES ARE REQUIRED TO VERIFY & DIRECT REPAIRS OR REPLACEMENT OF WORK AS A DIRECT CONSEQUENCE OF THE FAILURE OF MATERIALS OR WORKMANSHIP GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF FEES FOR SUCH PROFESSIONAL SERVICES & ANY OTHER FEES NECESSARY TO CORRECT THE WORK.

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES
2019 CALIFORNIA ENERGY CODE - TITLE 24 NATIONAL ELECTRIC CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC)
COUNTY OF SAN MATEO ZONING AND CODE AMENDMENTS

ABBREVIATIONS

CL	AT	INCL	INCLUDING
PL	CENTERLINE	JOB	JUNCTION BOX
# or LB (E) (N)	PROPERTY LINE DIAMETER OR ROUND POUND OR NUMBER EXISTING NEW TIMES OR BY (AS IN 2X4)	LAV LT	LAVATORY LIGHT/LIGHTING
ADJ	ADJACENT	MAINT	MAINTENANCE
OFF	ABOVE FINISHED FLOOR	MAT	MAXIMUM
ALUM	ALUMINUM	MECH	MECHANICAL
APPRD	APPROVED	MFR	MANUFACTURER
APPROX	APPROXIMATE	MICRO	MICROWAVE
ARCH	ARCHITECTURAL	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
		MTD	MOUNTED
		MTL	METAL
BD	BOARD	N	NORTH
BTWN	BETWEEN	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO OR #	NUMBER
BLKG	BLOCKING	NOM	NOMINAL
BM	BEAM	NTS	NOT TO SCALE
BOS	BOTTOM OF STEEL	O/	OVER
BO	BOTTOM OF	OC	ON CENTER
		OD	OUTSIDE DIAMETER (DIM)
CAB	CABINET	OPNG	OPENING
CEM	CEMENT	OPP	OPPOSITE
CH	CEILING HEIGHT	OVHD	OVERHEAD
CLG	CEILING		
CLKG	CAULKING	PART	PARTITION
CLOS	CLOSET	PLBG	PLUMBING
CLR	CLEAR	PLAS	PLASTIC
CLR OPG	CLEAR OPENING	PLYWD	PLYWOOD
CO	CASED OPENING	PNTRY	PANTRY
COL	COLUMN	PT	POINT
CONC	CONCRETE	PTD	PAINTED
CONSTR	CONSTRUCTION		
CONT	CONTINUOUS	QUAL	QUALITY
CTR	CENTER	QTY	QUANTITY
DBL	DOUBLE	R	RISER
DEPT	DEPARTMENT	REF	REFRIGERATOR
DET	DETAIL	REQ'D	REQUIRED
DIA	DIAMETER	RM	ROOM
DIM	DIMENSION	RO	ROUGH OPENING
DISP	DISPOSAL	S	SOUTH
DN	DOWN	SCHED	SCHEDULE
DR	DOOR	SECT	SECTION
DW	DISHWASHER	SHT	SHEET
DWR	DRAWER	SIM	SIMILAR
DWG	DRAWING	SPEC	SPECIFICATION
		SQ	SQUARE
EA	EACH	ST STL	STAINLESS STEEL
ELEV	ELEVATION	STD	STAINED
ELEC	ELECTRICAL	STL	STEEL
EQ	EQUAL	STOR	STORAGE
EQPT	EQUIPMENT	STRUCT	STRUCTURAL
EX'G	EXISTING	SUSP	SUSPENDED
EXT	EXTERIOR	SF	SQUARE FEET
		SYST	SYSTEM
FA	FIRE ALARM	S.S.D.	SEE STRUCTURALDRAWINGS
FIN	FINISH(ED)	TEL	TELEPHONE
FIN FL	FINISHED FLOOR	TEMP	TEMPERED
FLOOR	FLOOR	THK	THICK(NESS)
E	FLUORESCENT	TR	TRASH
FO	FACE OF	TV	TELEVISION
FOC	FACE OF CONCRETE	TYP	TYPICAL
FOF	FACE OF FINISH		
FOS	FACE OF STUDS		
FR	FRAME		
FRZ	FREEZER		
FT	FOOT OR FEET		
FURR	FURRING		
		UNF	UNFINISHED
		UON	UNLESS OTHERWISE NOTED
		UL	UNDERWRITERS LABORATORY
GA	GAUGE	UTIL	UTILITY
GALV	GALVANIZED		
GL	GLASS	VERT	VERTICAL
GWB	GYPSTUM WALL BOARD	VIF	VERIFY IN FIELD
		W	WEST
HB	HOSE BIB	W/	WITH
HG	HANDICAPPED		
HDWR	HARDWARE		
HT	HEIGHT		
HTG	HEATING		

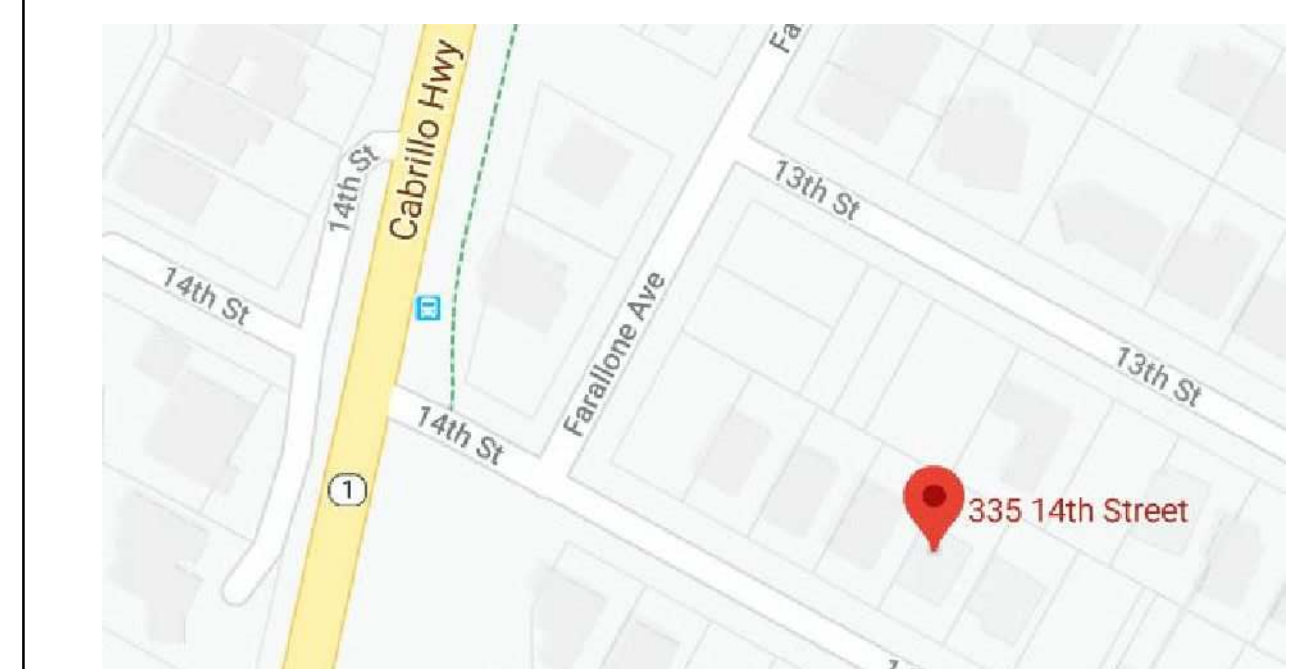
SYMBOLS & GRAPHIC CONVENTIONS

SECTION DETAIL		WOOD FRAMING	
PLAN DETAIL		WOOD BLOCKING	
		PLYWOOD	
INTERIOR ELEVATION KEY		BATT INSULATION	
		RIGID INSULATION	
ENLARGED DETAIL		GYPSTUM WALL BOARD	
ELEVATION / DATUM TAG		LINE ABOVE	
ROOM NUMBER		LINE BELOW	
SHEET NOTE		EXISTING CONSTRUCTION TO BE DEMOLISHED	
DOOR NUMBER		EXISTING CONSTRUCTION TO REMAIN	
WINDOW NUMBER		NEW CONSTRUCTION	

PROJECT DESCRIPTION

FAMILY ROOM ADDITION OVER EXISTING GARAGE AND RECONFIGURE ENTRY CLOSETS

VICINITY MAP



PROJECT INFORMATION

APN:	037-014-260
ZONING:	R1 S17 DR CD MID COAST DISTRICT
TYPE V-B	UNPROTECTED WOOD FRAME
LOT AREA:	5000 SQ.FT.
LOT COVERAGE ALLOWED:	35% (INCL. DECKS)
EXISTING LOT COVERAGE:	1750 SQ.FT., 35%
PROPOSED LOT COVERAGE:	1750 SQ.FT., 35% (NO CHANGE)
ALLOWED F.A.R.	53% (2,650 SQ.FT.)
EXISTING BUILDING AREA:	1950 SQ.FT. (INCL. 450 S.F. GARAGE)
SECOND STORY ADDITION:	292 SQ.FT.
PROPOSED BUILDING AREA:	2,242 SQ.FT.

SHEET INDEX

<u>ARCHITECTURAL</u>	
A0.0	COVER SHEET
A1.0	EXISTING & PROPOSED SITE/ROOF PLANS
AB2.0	EXISTING / DEMO PLANS
A2.0	PROPOSED FLOOR PLANS
AB3.0	EXISTING EXTERIOR ELEVATIONS
A3.0	PROPOSED EXTERIOR ELEVATIONS
A4.0	PROPOSED SECTION

BOUNDARY AND TOPOGRAPHIC SURVEY

CLIENTS:

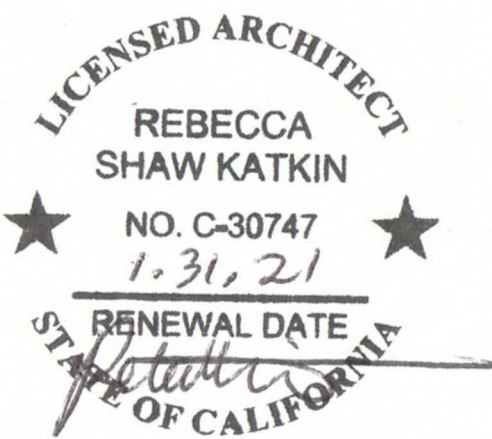
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EL GRANADA CA 94018
415.706.0981

PROJECT:

STEWART RESIDENCE

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REVISION STATUS:

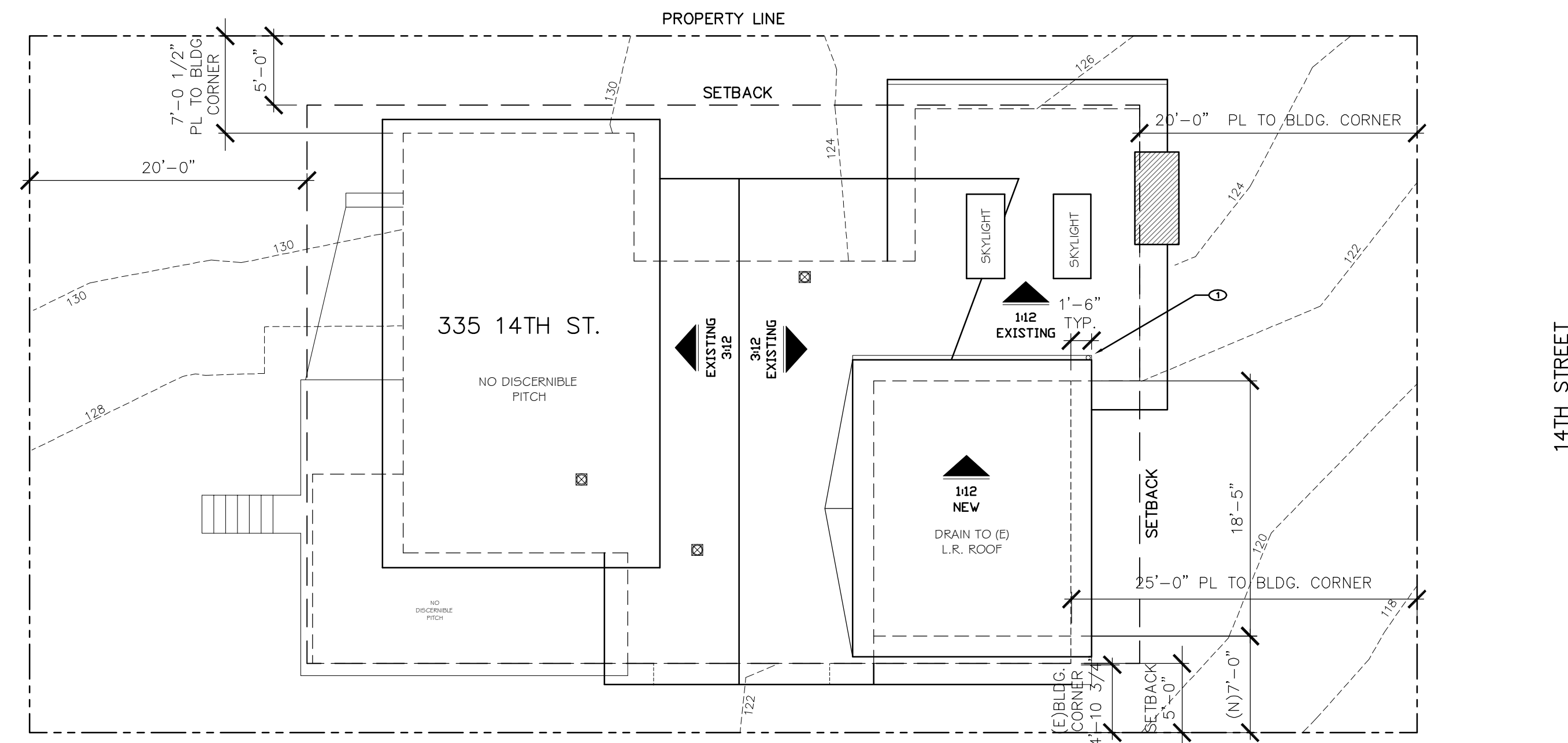
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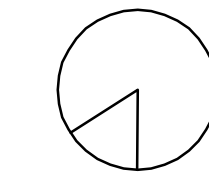
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PHASE: CDRC DESIGN REVIEW

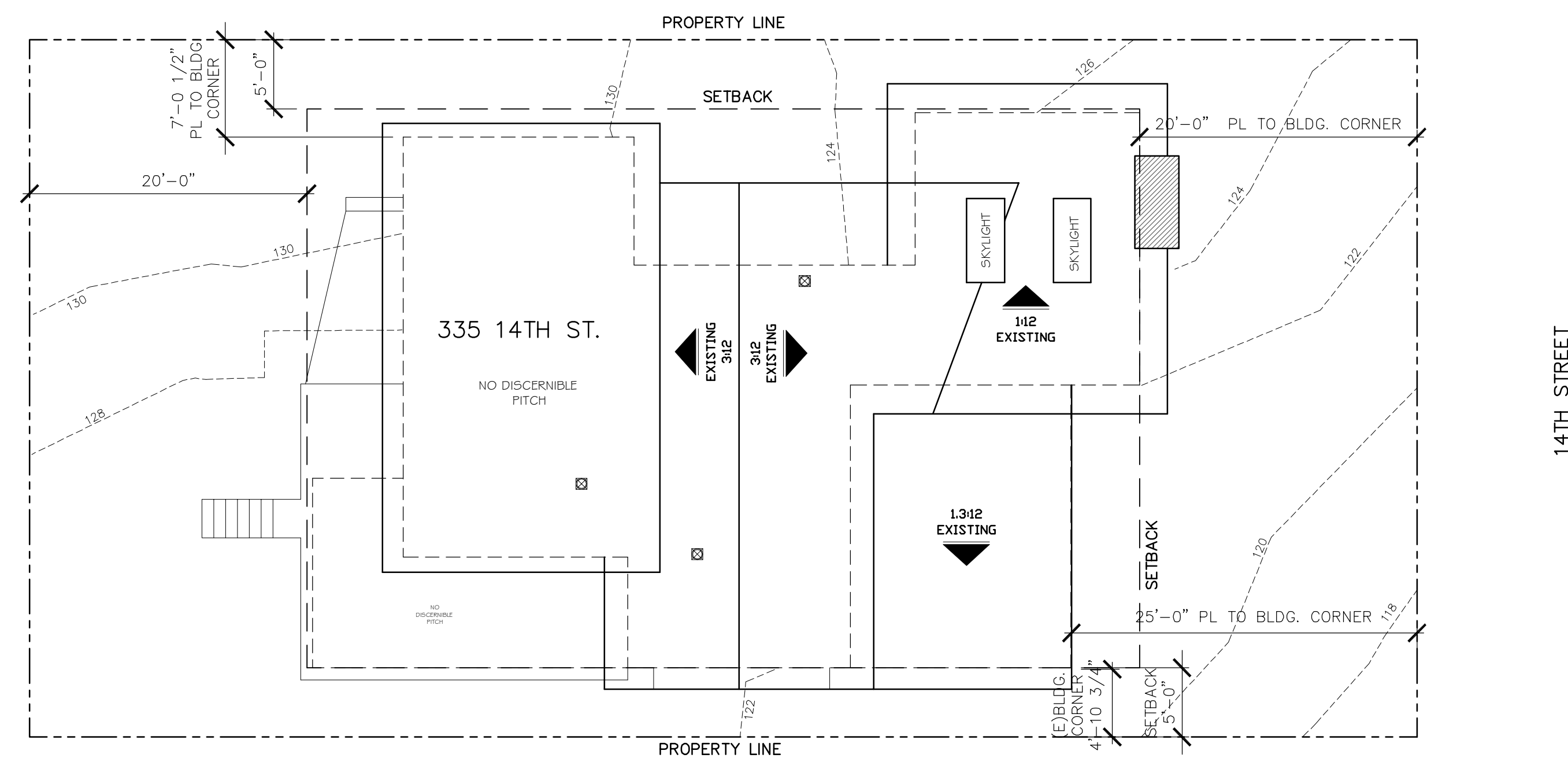
A1.0
EXISTING &
PROPOSED
SITE/ROOF PLANS



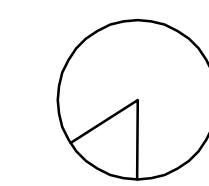
2 PROPOSED SITE/ROOF PLAN
1/8"=1'-0"



REFERENCE
NORTH



1 EXISTING SITE/ROOF PLAN
1/8"=1'-0"



REFERENCE
NORTH

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS

SHEET NOTES:

1 NEW GUTTER AND DOWNSPOUT TO DRAIN (N) ROOF VIA (E) LIVING ROOM ROOF TO (E) GUTTERS AND DOWNSPOUTS. REFER TO SURVEY FOR EXISTING LANDSCAPE DRAINAGE

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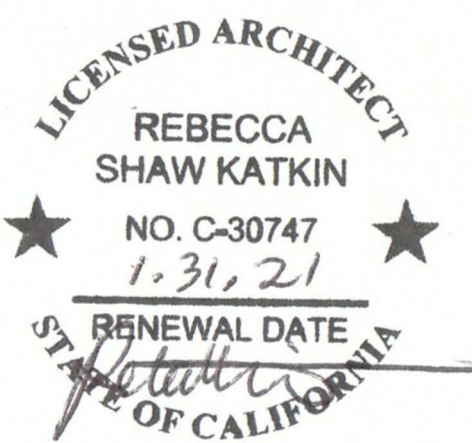
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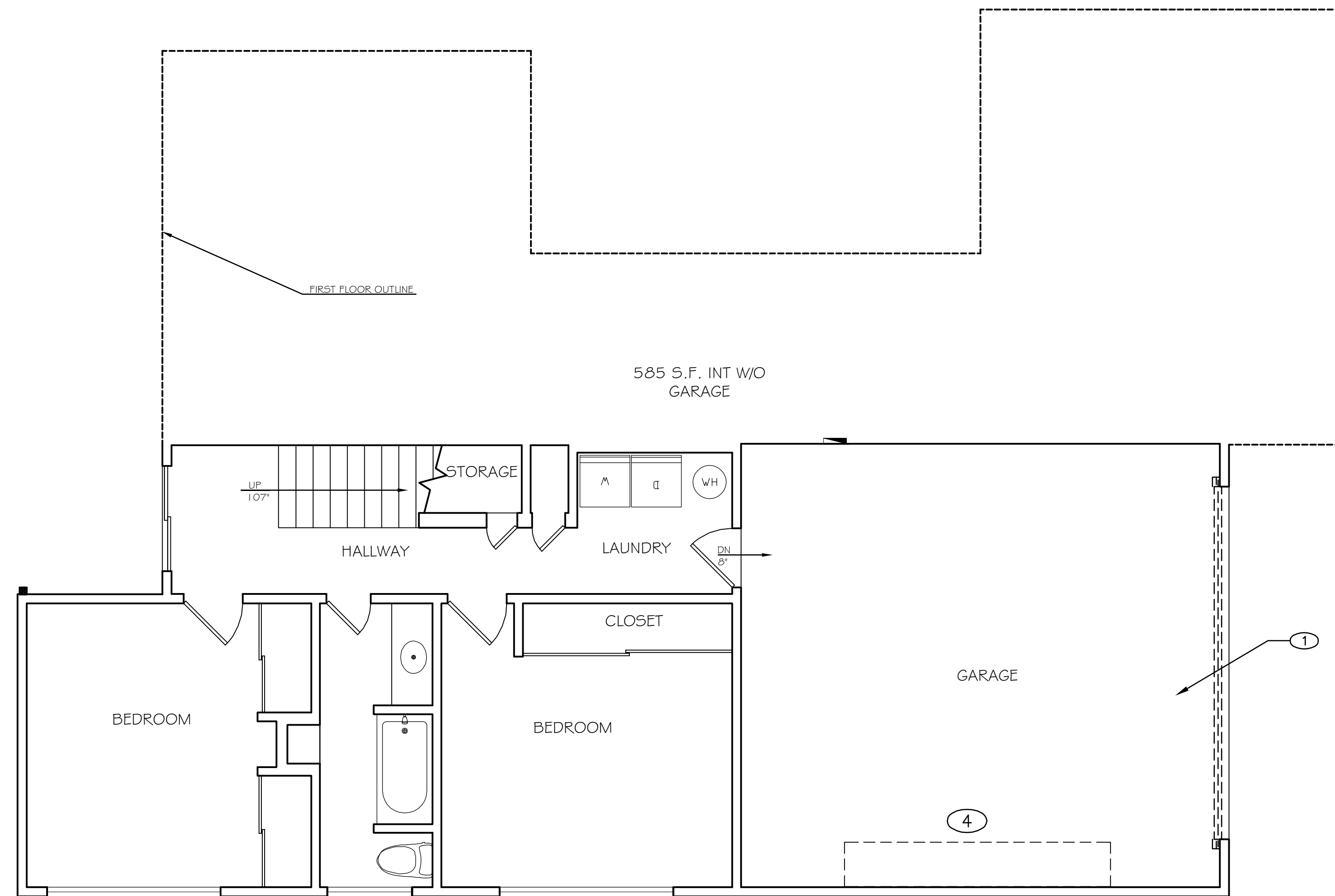
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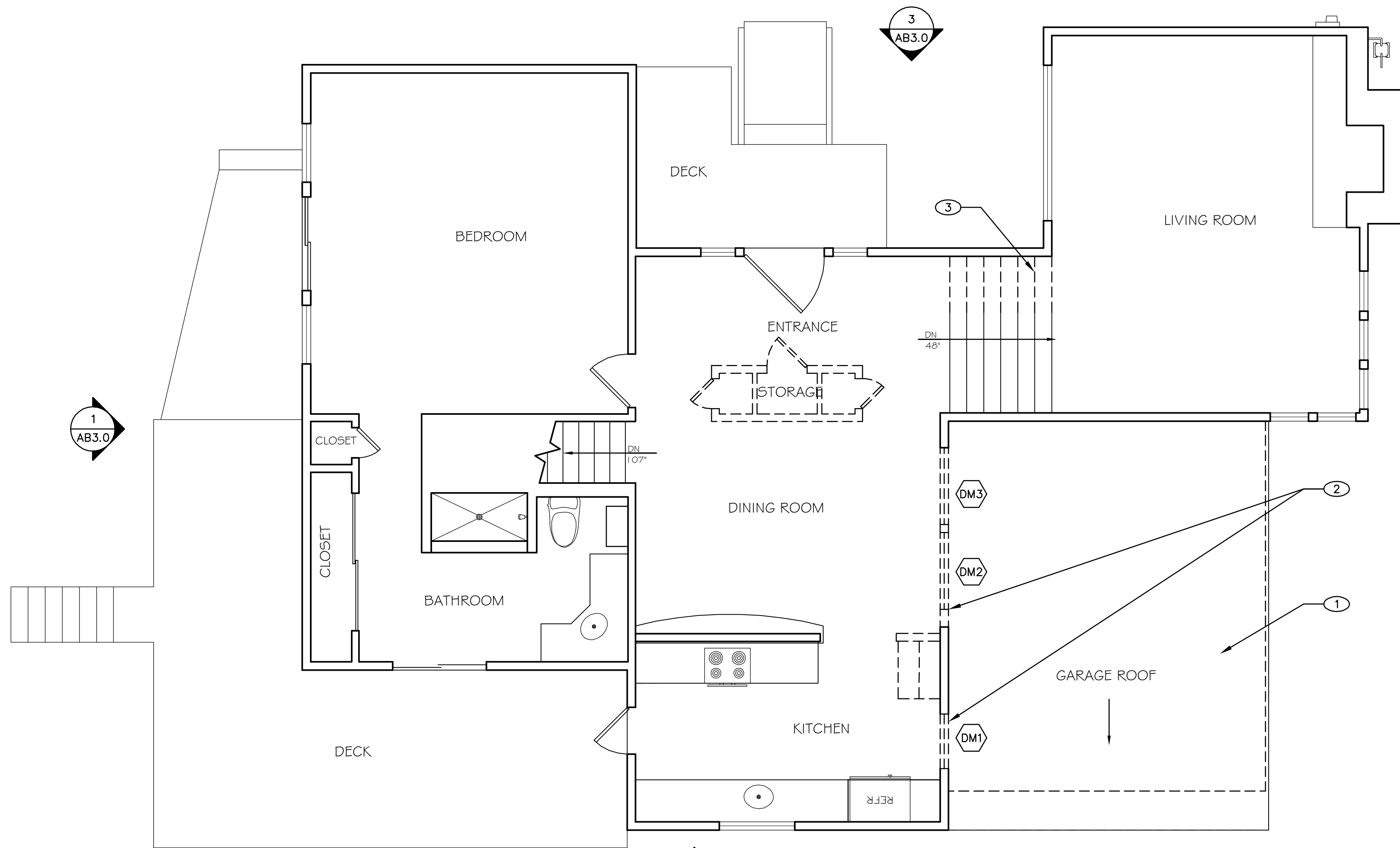
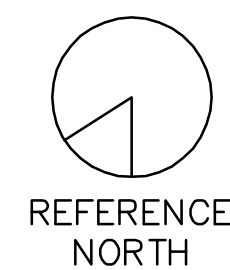
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AB2.0

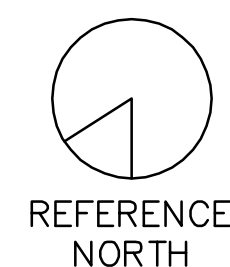
EXISTING / DEMO
FLOOR PLANS



2 EXISTING / DEMO LOWER LEVEL
1/4"=1'-0"



1 EXISTING / DEMO UPPER LEVEL
1/4"=1'-0"



GENERAL NOTES:

1. DO NOT SCALE DRAWINGS

SHEET NOTES:

- 1 DEMO AND REFRAME GARAGE ROOF AS REQUIRED FOR UPPER FLOOR ADDITION
- 2 DEMO (3) WINDOWS AND PORTION OF WALL
- 3 OVER-FRAME / DEMO. STAIR TREADS & RISERS AS REQUIRED FOR (N) CLOSETS. STRINGERS TO REMAIN
- 4 EXISTING STORAGE RACKS IN GARAGE TO BE REINSTALLED AFTER CONSTRUCTION. PROTECT AND DISASSEMBLE/REASSEMBLE AS REQ'D. COMPONENTS MAY BE STORED ON GROUND FLOOR OR UNDERFLOOR AREA

LEGEND:

- EXISTING WALL TO REMAIN
- TO BE DEMOLISHED

CLIENTS:

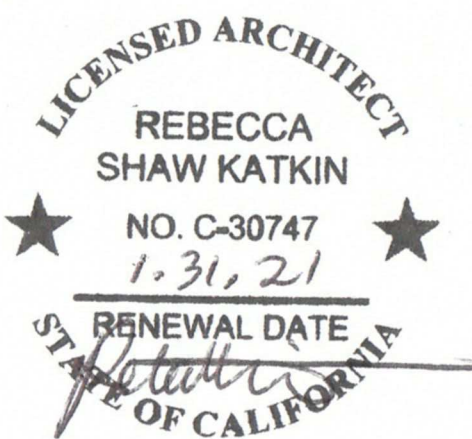
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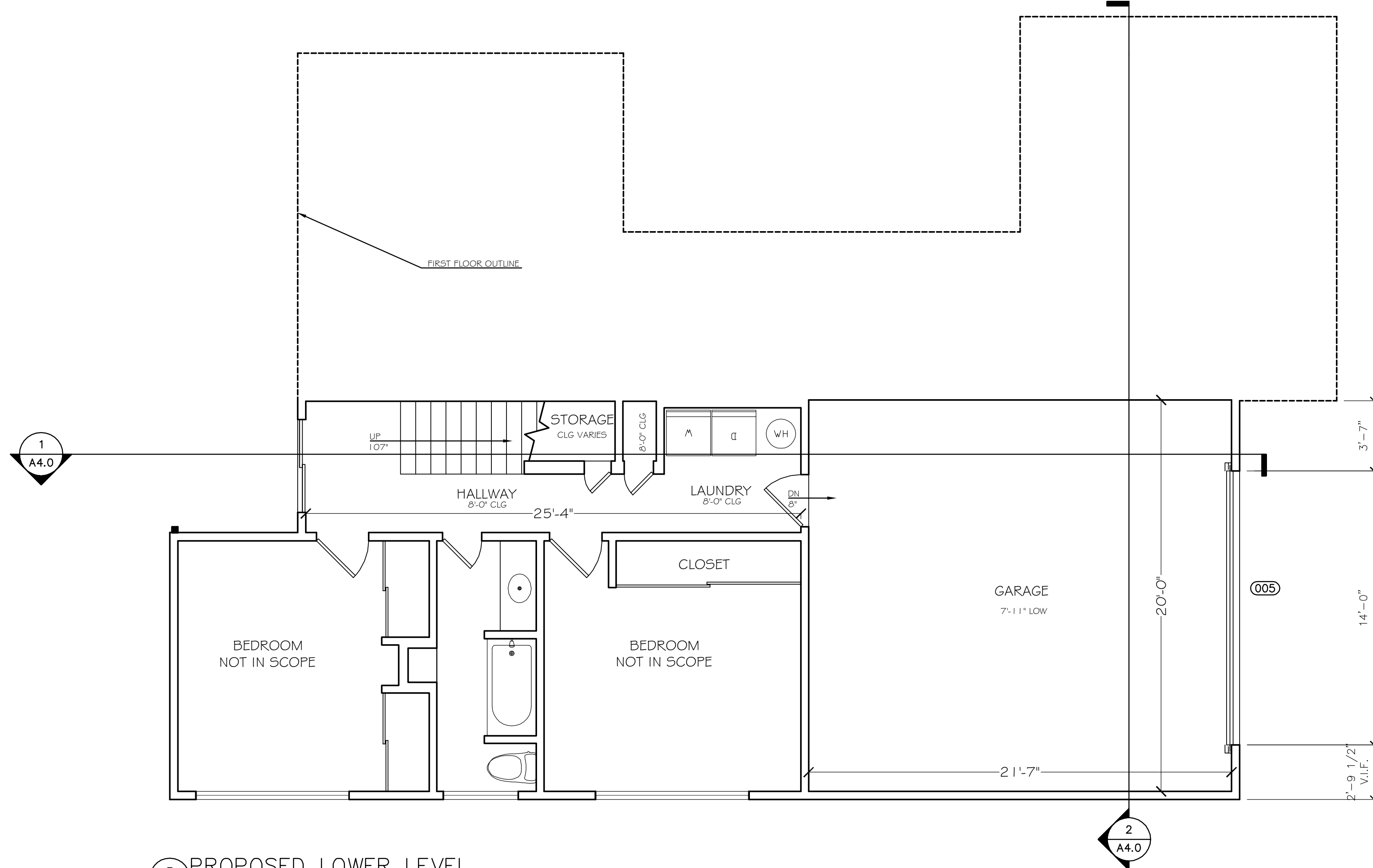
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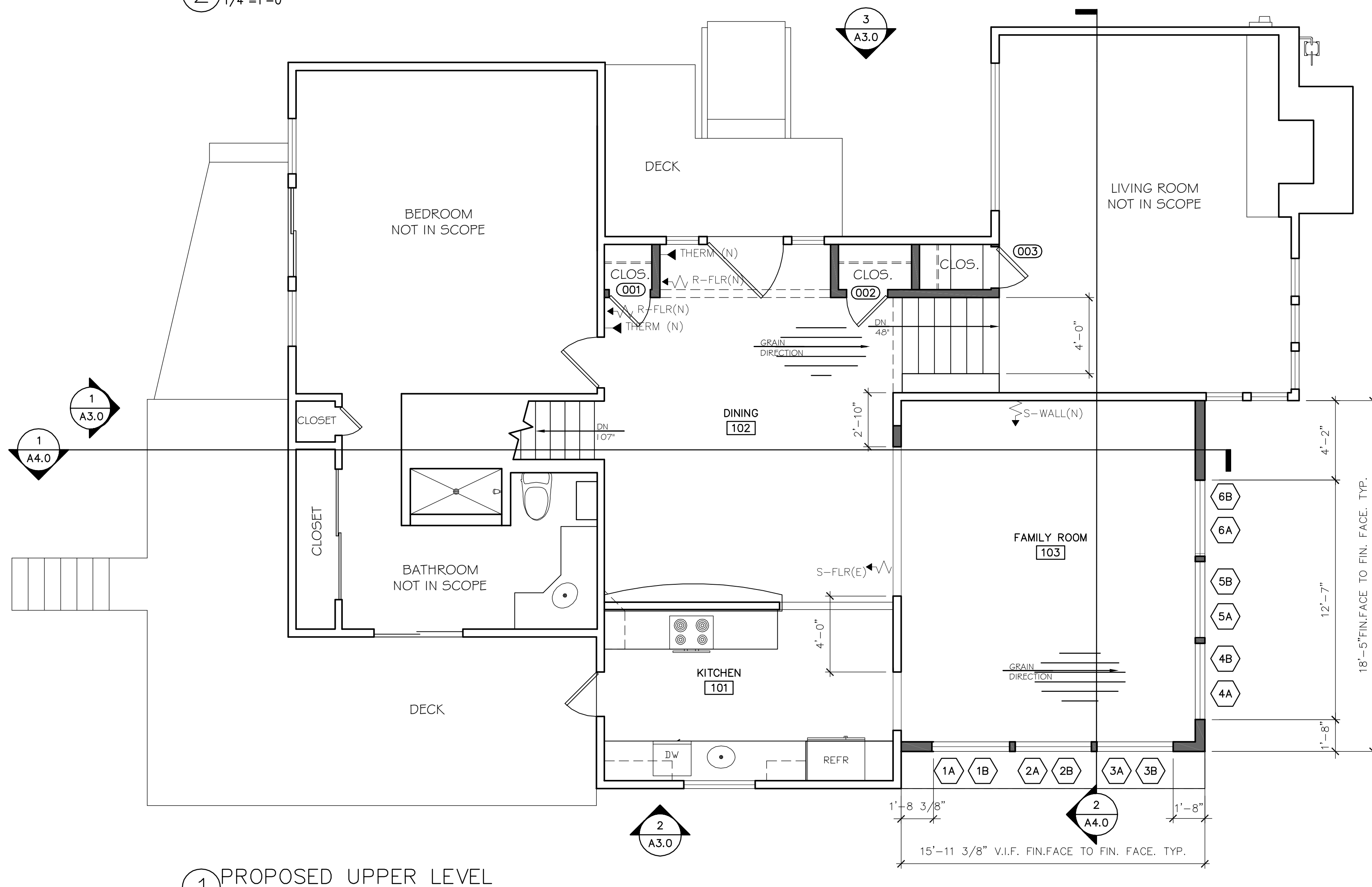
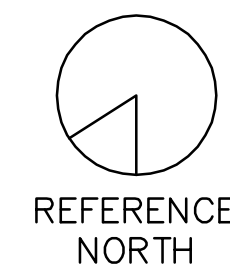
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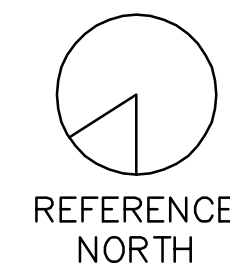
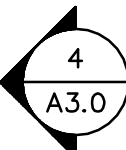
A2.0
PROPOSED FLOOR
PLANS



2 PROPOSED LOWER LEVEL
1/4"=1'-0"



1 PROPOSED UPPER LEVEL
1/4"=1'-0"



GENERAL NOTES:

- DO NOT SCALE DRAWINGS
- SEAL/PROTECT AREAS NOT IN SCOPE OF WORK, LOWER LEVEL
- FURNACE TO BE REPLACED W/ (N) HIGH EFFICIENCY UNIT IN (E) LOCATION. SEE ENERGY COMPLIANCE FORMS.

LEGEND:

- EXISTING WALL
- NEW WALL

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SCALE: 1/4"=1'-0"

DATE: 09.10.2020

PHASE: CDRC DESIGN REVIEW

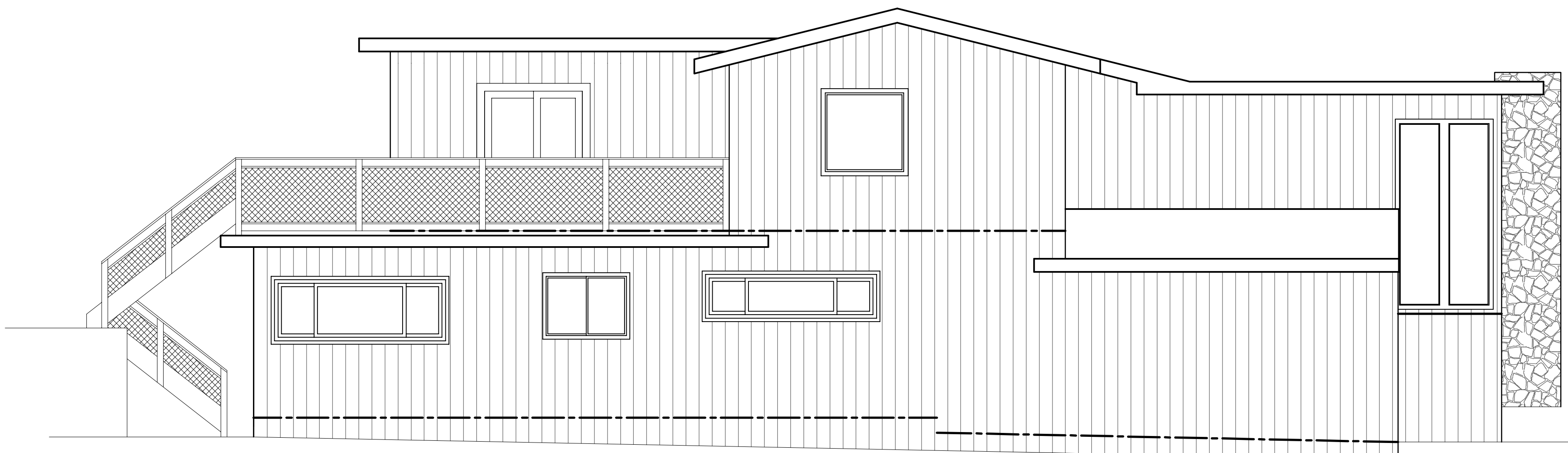
AB3.0
EXISTING EXTERIOR
ELEVATIONS



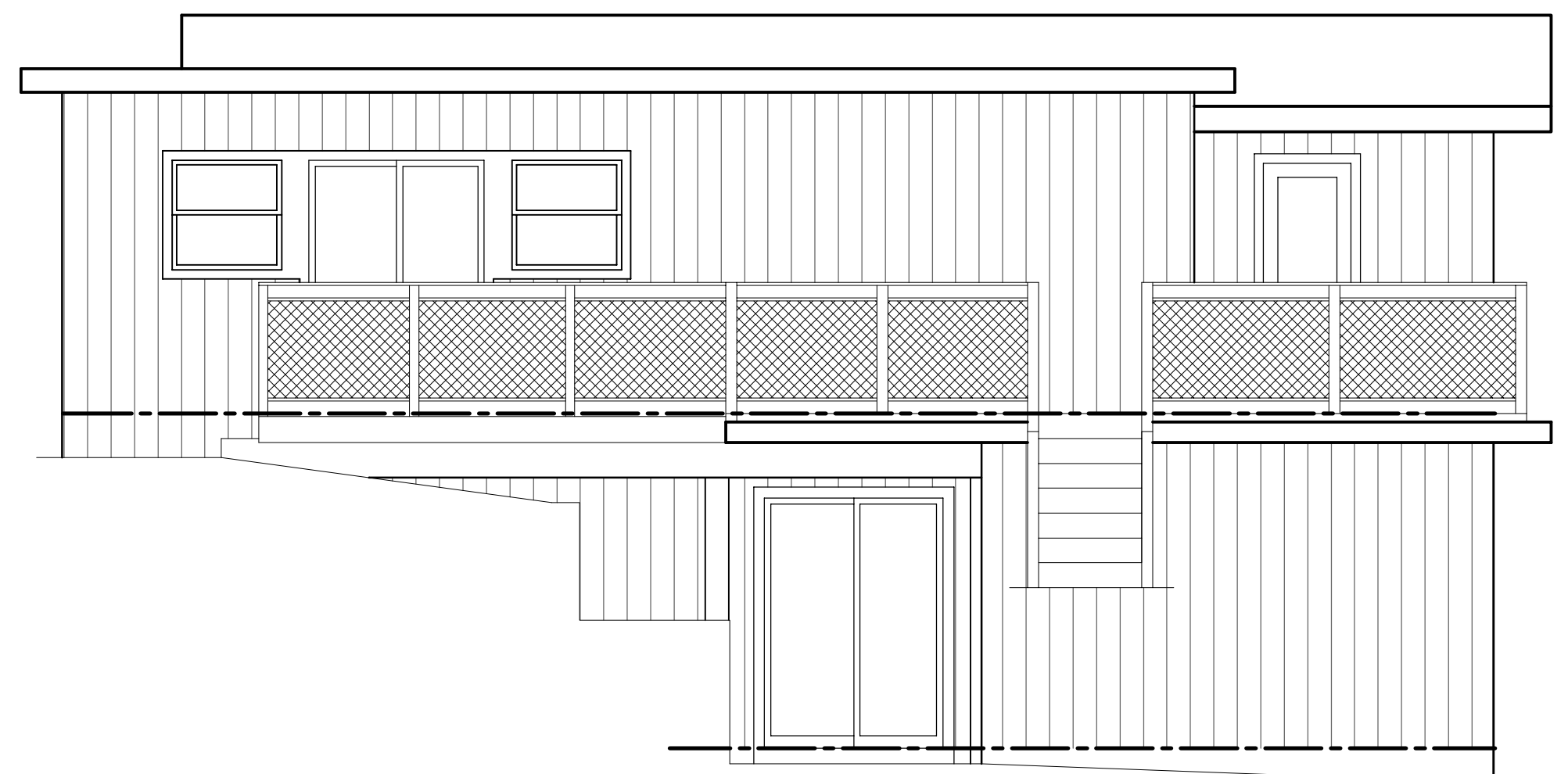
④ EXISTING EXTERIOR ELEVATION – WEST
1/4"=1'-0"



③ EXISTING EXTERIOR ELEVATION – SOUTH
1/4"=1'-0"



② EXISTING EXTERIOR ELEVATION – NORTH
1/4"=1'-0"



① EXISTING EXTERIOR ELEVATION – EAST
1/4"=1'-0"

CLIENTS:

MATT & KATIA
STEWART
335 14TH STREET
MONTARA, CA 94037

KATKIN
ARCHITECTURE
P.O. BOX 2115
EL GRANADA CA 94018
415.706.0981

PROJECT:

STEWART RESIDENCE

335 14TH STREET
MONTARA, CA 94037



REVISION STATUS:

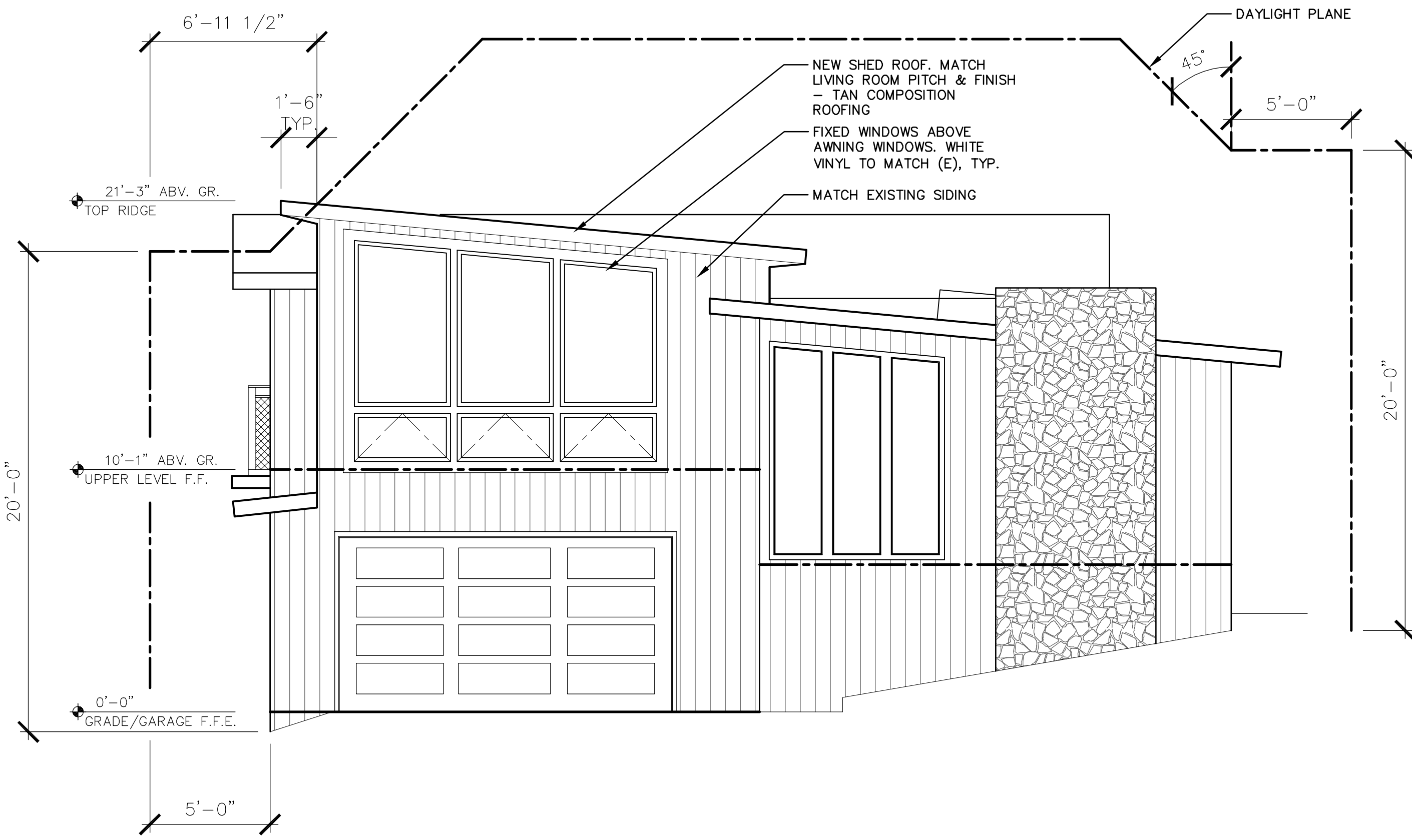
REV. DATE DESCRIPTION

SCALE: 1/4"=1'-0"

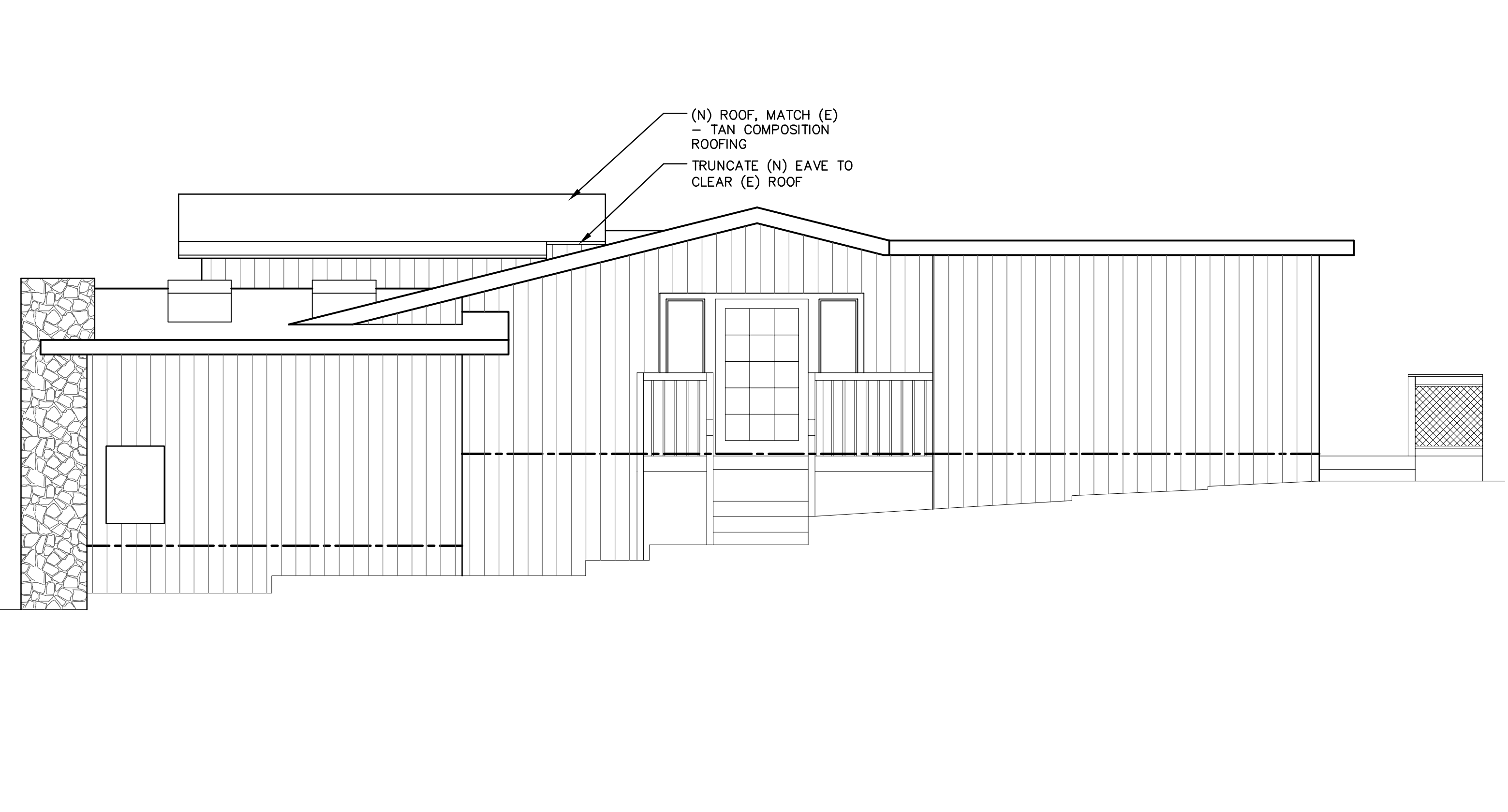
DATE: 09.10.2020

PHASE: CDRC DESIGN REVIEW

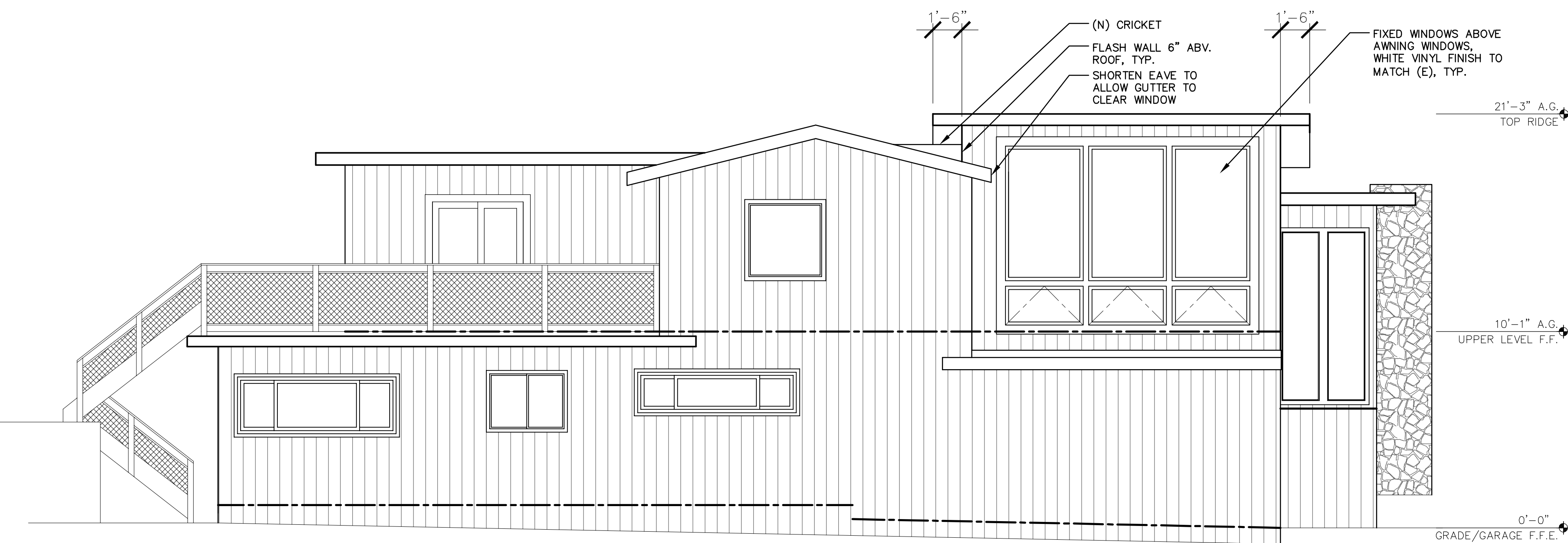
A3.0
PROPOSED EXTERIOR
ELEVATIONS



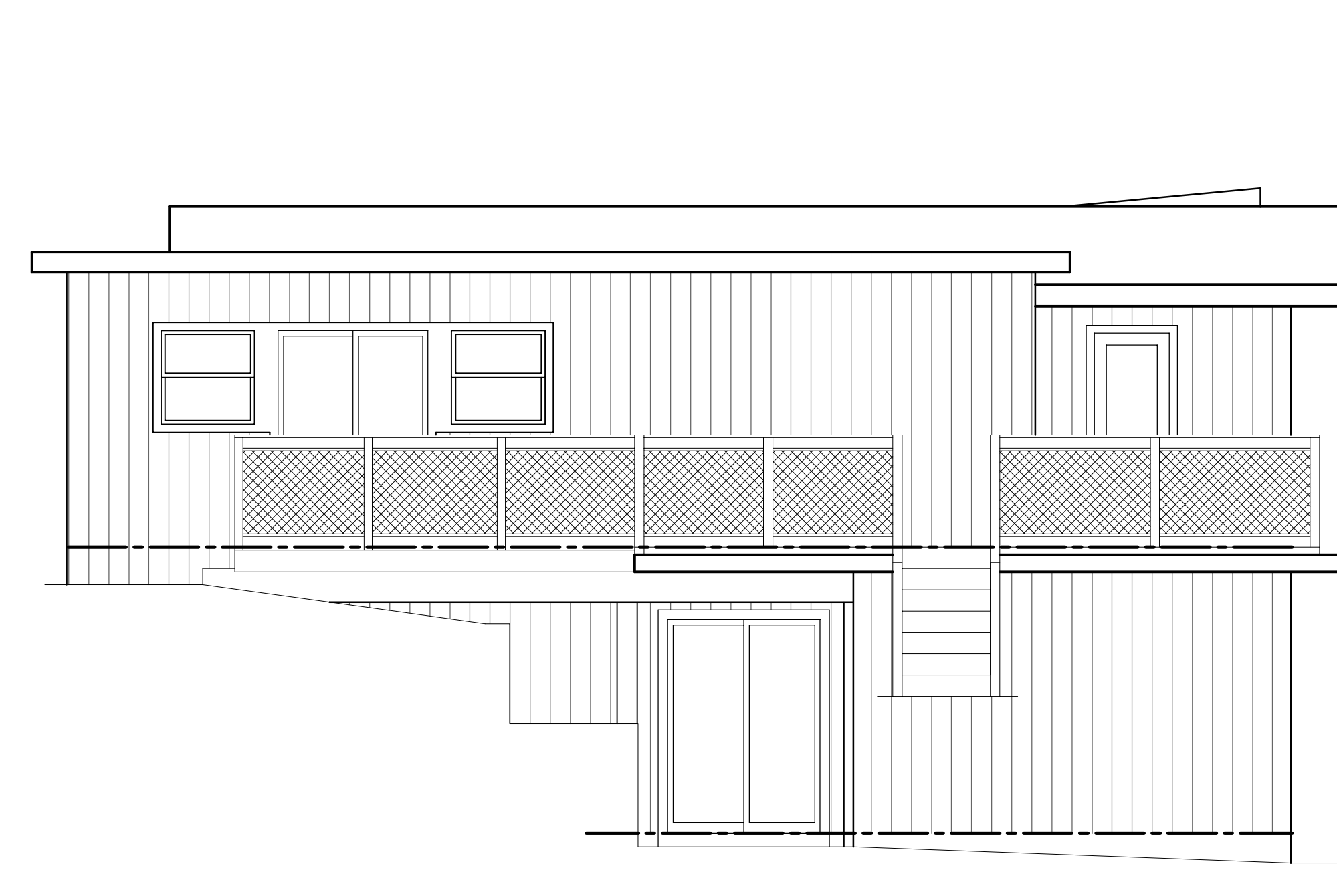
4 PROPOSED EXTERIOR ELEVATION - WEST
1/4"=1'-0"



3 PROPOSED EXTERIOR ELEVATION - SOUTH
1/4"=1'-0"



2 PROPOSED EXTERIOR ELEVATION - NORTH
1/4"=1'-0"



1 PROPOSED EXTERIOR ELEVATION - EAST - NO WORK
1/4"=1'-0"

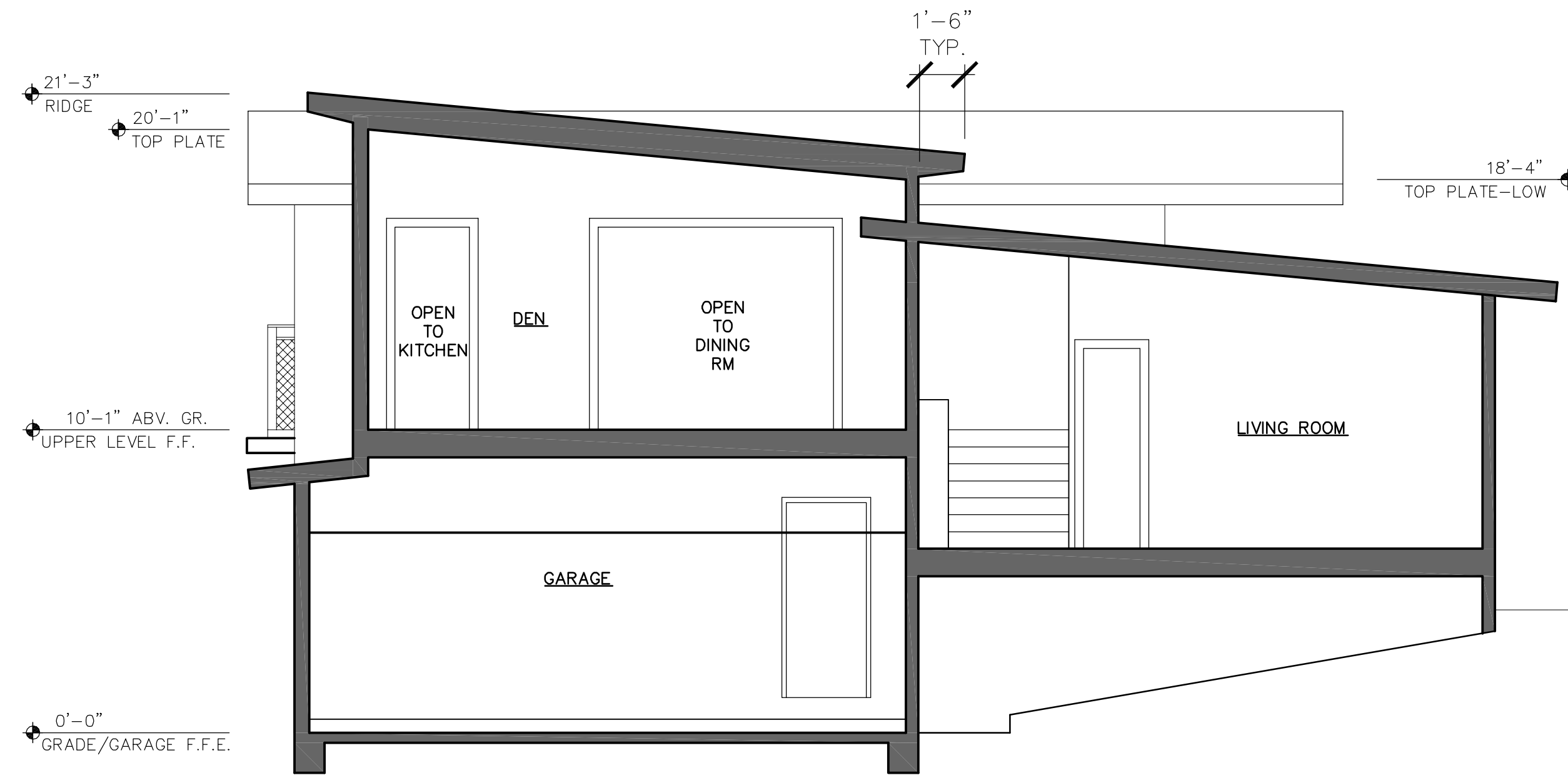
CLIENTS:

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STEWART
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MONTARA, CA 94037

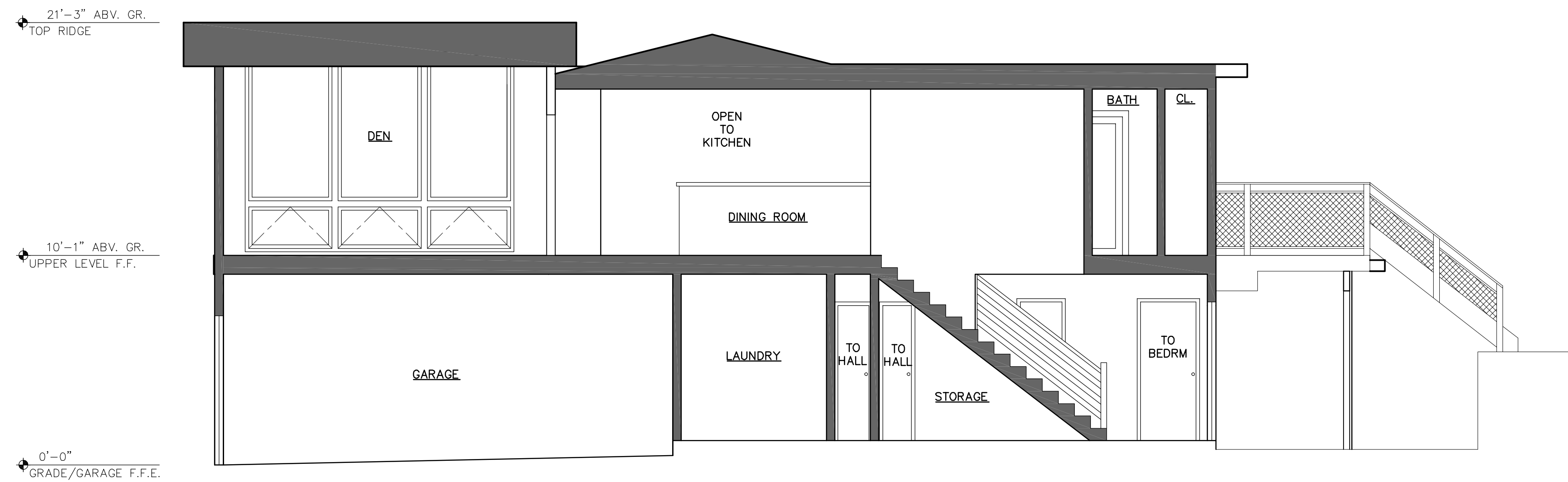
KATKIN
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PROJECT:

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335 14TH STREET
MONTARA, CA 94037



② PROPOSED TRANSVERSE SECTION – NORTH TO SOUTH
1/4"=1'-0"



① PROPOSED TRANSVERSE SECTION – WEST TO EAST
1/4"=1'-0"



REVISION STATUS:

REV.	DATE	DESCRIPTION

SCALE: 1/4"=1'-0"

DATE: 09.10.2020

PHASE: CDRC DESIGN REVIEW

A4.0
SECTIONS

14 TH STREET (60' wide)

FARALLONE AVE.

APN: 037-014-350

PARCEL C

15 P.M. 29

APN: 037-014-400

14

13

APN: 037-014-410

12

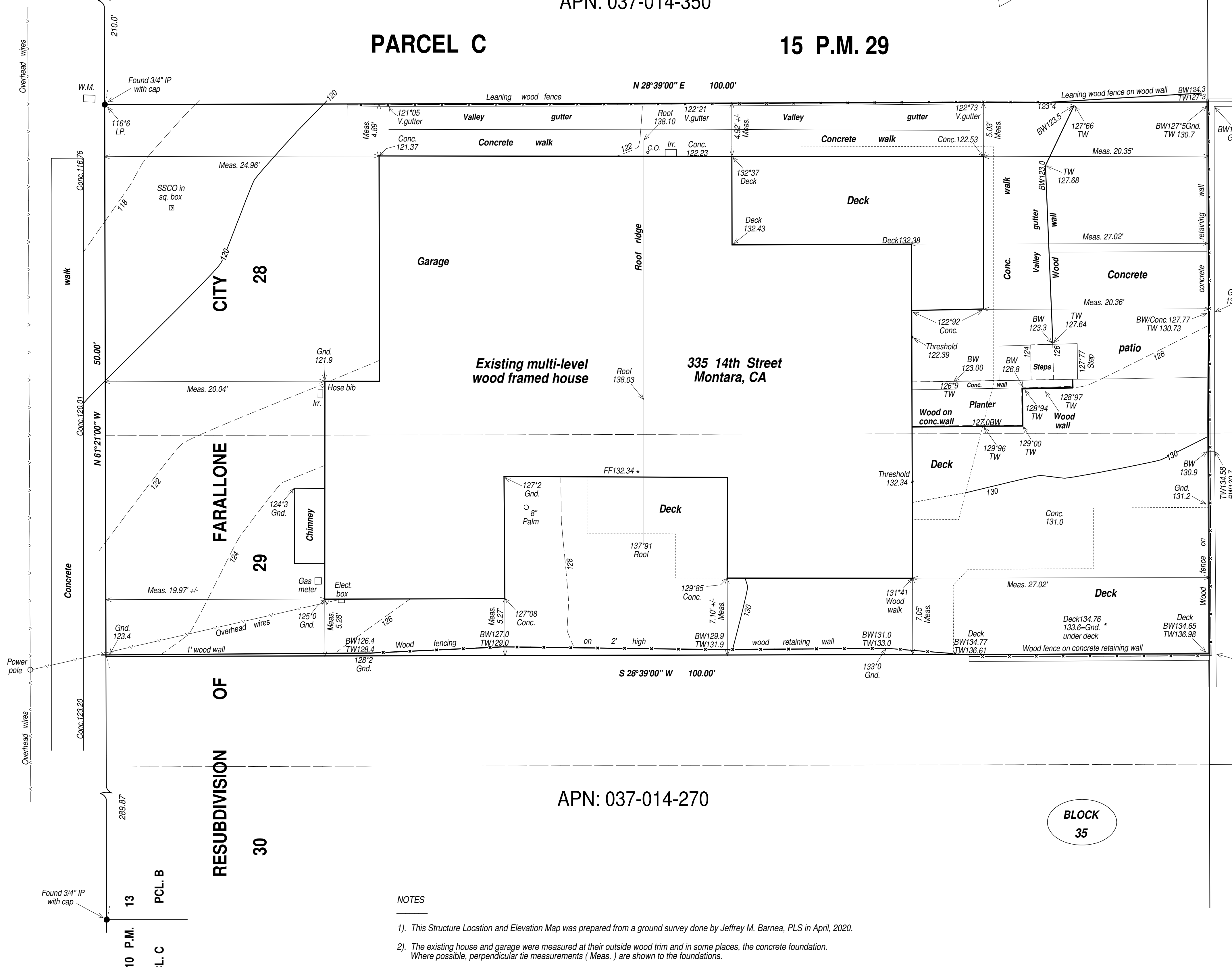
11

APN: 037-014-270

BLOCK 35

FARALLONE CITY OF RESUBDIVISION

Existing multi-level wood framed house
335 14th Street
Montara, CA



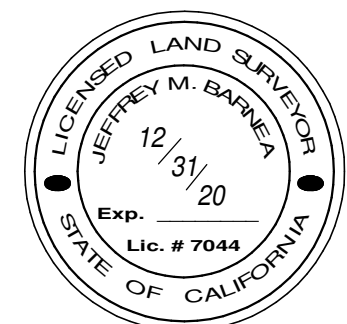
LEGEND

- Elect. Electric.
- FF Finish Floor.
- 124.3;124.3 Spot elevation.
- Conc. Concrete.
- x — Fence line, as noted.
- SSMH Sanitary sewer manhole.
- Irr. Irrigation control.
- Gnd. Ground.
- W.M. Water meter.
- SSCO Sanitary sewer cleanout.
- BW/TW Base / Top of wall.
- C/L Center line.
- CMP Corrugated metal pipe.
- Inv. Invert.
- V.gutter Valley gutter.
- C.O. Cleanout.
- 122 Contour.

NOTES

- 1). This Structure Location and Elevation Map was prepared from a ground survey done by Jeffrey M. Barnea, PLS in April, 2020.
- 2). The existing house and garage were measured at their outside wood trim and in some places, the concrete foundation. Where possible, perpendicular tie measurements (Meas.) are shown to the foundations.
- 3). Boundaries are shown from the "Resubdivision of Farallone City..." map filed in 6 Maps 2, San Mateo County Records. No easements are depicted hereon, although there may be easements affecting this property. This is not a record of survey map. The area of this parcel per information described in the Legal Description within the North American Company Preliminary Report No. 1629651 dated May 19, 2019 provided by the Owners is 5,000 s.f. +/-.
- 4). Elevations shown upon this drawing were established using a GPS reading and are in NAVD88 Datum.
- 5). The final product delivered to owners Matt and Katia Stewart were signed bond prints. An electronic CAD version of this Map may be provided to the owners or their associates upon request. Any changes, revisions or additions made to this Map without the consent and approval of Jeffrey M. Barnea, PLS, is not the responsibility of Jeffrey M. Barnea, as the owners have agreed to in writing.

Structure Location and Elevation Map
Lands of Stewart 335 14th Street APN: 037-014-260
Montara Unincorp. San Mateo County California



Jeffrey M. Barnea 4-22-20
Jeffrey M. Barnea, L.S. 7044 Date
License expires 12-31-20

JEFFREY M. BARNEA, L.S. 7044 789 14TH AVE.
MENLO PARK, CA 94025 PH/FAX (650) 261-1982

SCALE: 1" = 5' 20-111 APRIL, 2020

