

0.07 0 0.04 0.07 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:2,256



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**





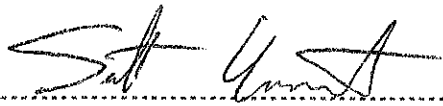
PLN 2015-00278

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	_____	KM 4872 Electric Slide	<input type="checkbox"/>
b. Trim	_____	KMW57 cloud white	<input type="checkbox"/>
c. Windows	_____	_____	<input type="checkbox"/>
d. Doors	_____	KMS464 Sweet Lychee	<input type="checkbox"/>
e. Roof	_____	1 Dark Gray variant	<input type="checkbox"/>
f. Chimneys	_____	KM 4872 ELECTRIC SLIDE	<input type="checkbox"/>
g. Decks & railings	_____	REDWOOD DECK / STAINED	<input type="checkbox"/>
h. Stairs	_____	REDWOOD DECK / STAINED	<input type="checkbox"/>
i. Retaining walls	_____	_____	<input type="checkbox"/>
j. Fences	_____	REDWOOD / STAINED	<input type="checkbox"/>
k. Accessory buildings	_____	_____	<input type="checkbox"/>
l. Garage/Carport	_____	KM 4874 Gulf <sup>Oyster</sup> Bay	<input type="checkbox"/>

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.



Owner: \_\_\_\_\_ Applicant: \_\_\_\_\_

3/30/17

Date: \_\_\_\_\_ Date: \_\_\_\_\_

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PLN 2015-00278

APR 27 2017

San Mateo County  
Planning Division

EXTERIOR WALL:

STUCCO w/: KELLYMORE PAINT MATERIAL

KM4872 ELECTRIC SLIDE

PIN 2015-00278

KM4872 Electric Slide

WINDOWS :

VINYL TYPICAL WHITE STANDARD

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APR 27 2017

San Mateo County  
Planning Division

KMW57 Cloud White



ROOF MATERIAL:

ASPHALT SHINGLE (SLOPED) 50 YEARS

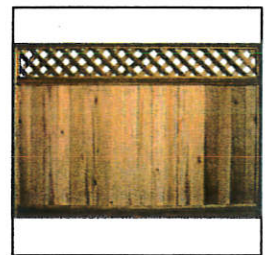
COLOR CHARCOAL / BLACK

WOOD FENCE AROUND THE PROPERTY:

PREFAB. 8'-0" WIDE PANEL WITH 6'-0" HT.

BUILT BY 1"x8" FENCING OVERLAP 1" REDWOOD

LOUVERED STYLE BY 4x4 POST @ 8'-0" O.C. P.T.D.F.



FRONT ENTRY DOOR:

KELLY MOORE , KM5464 SWEET LYCHEE

KM5464 Sweet Lychee

WINDOWS TRIM:

KELLY MOORE , KMW57 CLOUD WHITE

GARAGE DOOR:

KELLY MOORE , KM4874 OYSTER BAY

KM4874 Oyster Bay

DATE: 04/10/17

SCALE : N.T.S.

MATERIAL BOARD

CUSTOM HOUSE  
FOR:

THE YAMAMOTO FAMILY  
ADDRESS: 951 MALAGA ST.  
EI GRANADA, CA

DESIGNER:

FAST CAD DRAFTING  
1610 BLOSSOM HILL RD., SUITE # 7A  
SAN JOSE , CA 95124  
TEL: 408-806-7912

MB

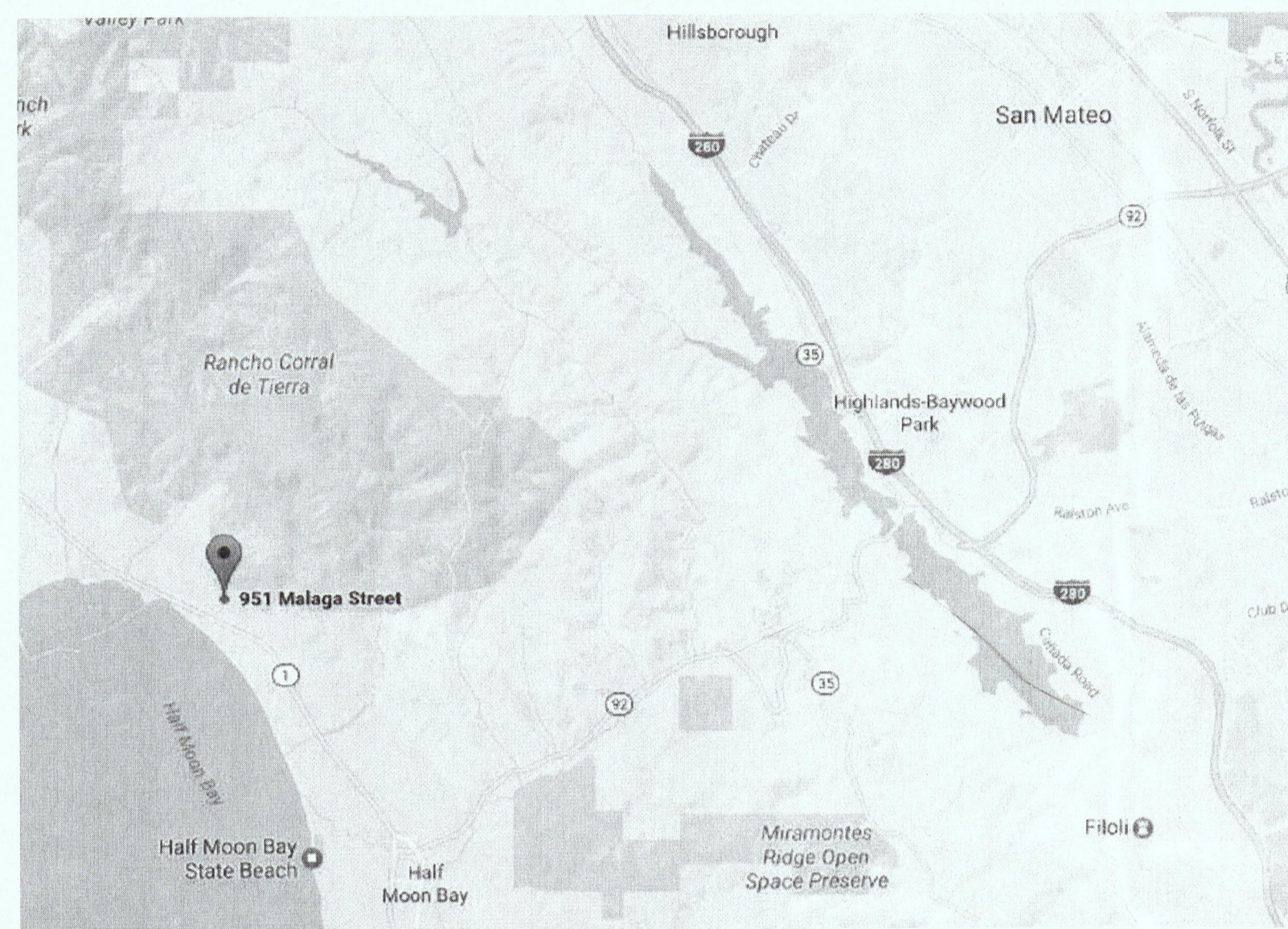


# CUSTOM HOUSE THE YAMAMOTO FAMILY ADDRESS: 951 MALAGA ST. EI GRANADA CA

DRAWING LIST	
Sheet Number	Sheet Name
A0	COVER SHEET & SITE PLAN
A1	FIRST & SECOND FLOOR PLANS
A2	ROOF PLAN & BUILDING SECTION
A3	EXTERIOR ELEVATIONS
SU-1	BOUNDARY AND TOPOGRAPHIC SURVEY
C1	GRADING AND DRAINAGE PLAN
C2	EROSION, SEDIMENT CONTROL AND TREE PROTECTION PLAN
L1	SCHEMATIC LANDSCAPE PLAN
BMP	CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

PERMIT NUMBER FOR THIS PROJECT IS "PLN2015-00278"

### VICINITY MAP:



### ABBREVIATIONS:

RWL	RAIN WATER LEADER
DS	DOWNSPOT
SH. ENC.	SINK WITH GARBAGE DISPOSAL SHOWER ENCLOSURE
T.C	TIME CLOCK
UNCL	UNLESS OTHERWISE NOTED
TYP.	TYPICAL
VGDF	VERTICAL GRAIN DOUGLESS FIR
WMP	WATERPROOF MEMBRANE
WD	WOOD
WDW	WINDOW
RM	ROOM
W.W.F	WOVEN WIRE FABRIC
GYP. BD	GYPSUM BOARD
CEM. PL	CEMENT PLASTER
H.B	HOSE BIB
M/C	MEDICAL CABINET
MTL	METAL
GLV	GALVANIZED SHEET METAL
GSM	GALVANIZED SHEET METAL NOT IN CONTRACT
W.I.C	WALK-IN CLOSET
O.F.S	OUT SIDE FACE OF STUD
I.O.S	INSIDE FACE OF STUD
O.C	ON CENTER
CL	CENTER LINE
PL	PLATE LINE
P.T.	PRESSURE TREATED
FL	FLOOR FINISH ELEVATION
F.F.E	FLOOR FINISH ELEVATION
FF	FINISH FLOOR
PR	PAIR
R/A	RETURN AIR
REFR.	REFRIGERATOR
R/O	RANGE OVEN
MICR.	MICROWAVE
EX	EXISTING
CLG	CEILING
BLDG	BUILDING
DWG	DRAWING
JST	JOIST
BM	BEAM
HDR	HEADER
INSUL	INSULATION
BOTT	BOTTOM
PNL	PANEL
CONC.	CONCRETE

### PROJECT SUMMARY:

APN # : 047293330

SCOPE OF WORK:  
DEMOLISH (E) HOME AND REPLACE W/ NEW SINGLE FAMILY TWO STORY HOME.

NET LOT AREA: 6,000 SQ. FT.  
ORIGINAL HOME BUILT 1931  
ZONING : R-1/S-17/DR/CD

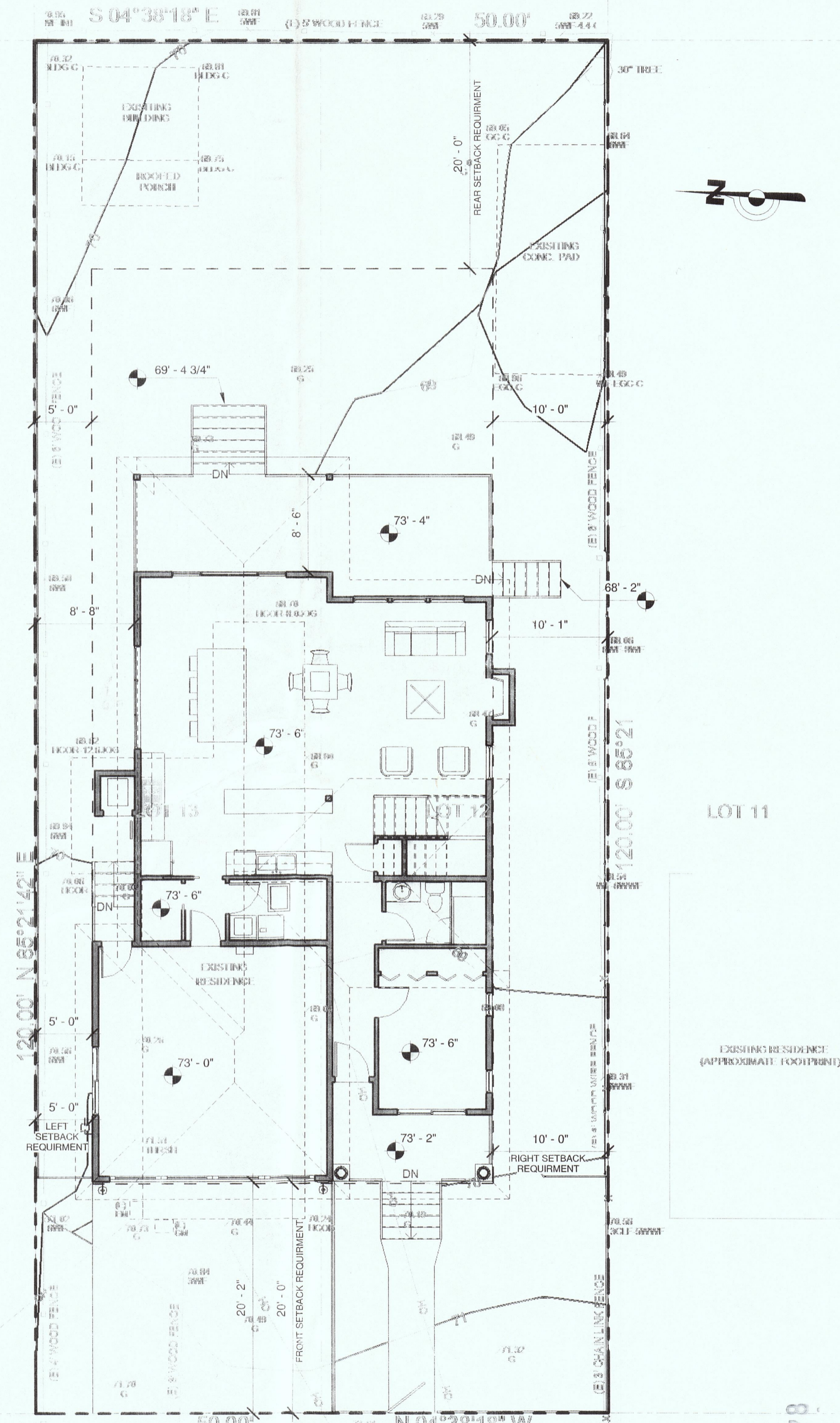
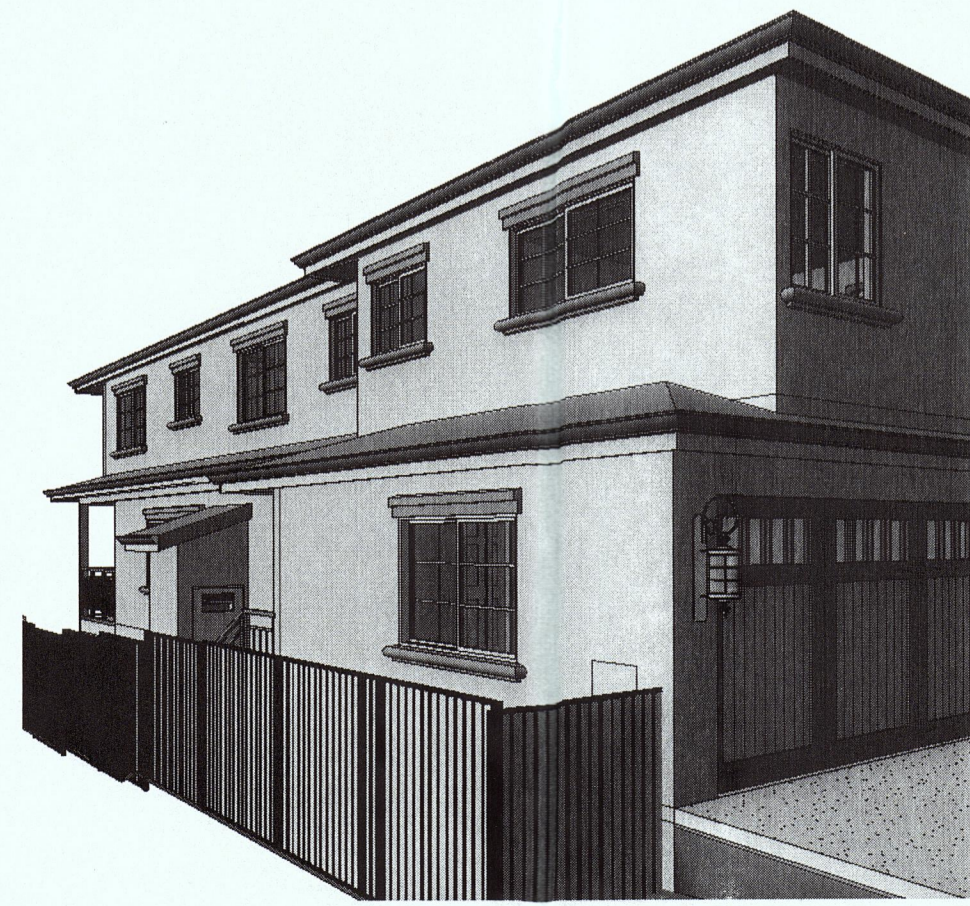
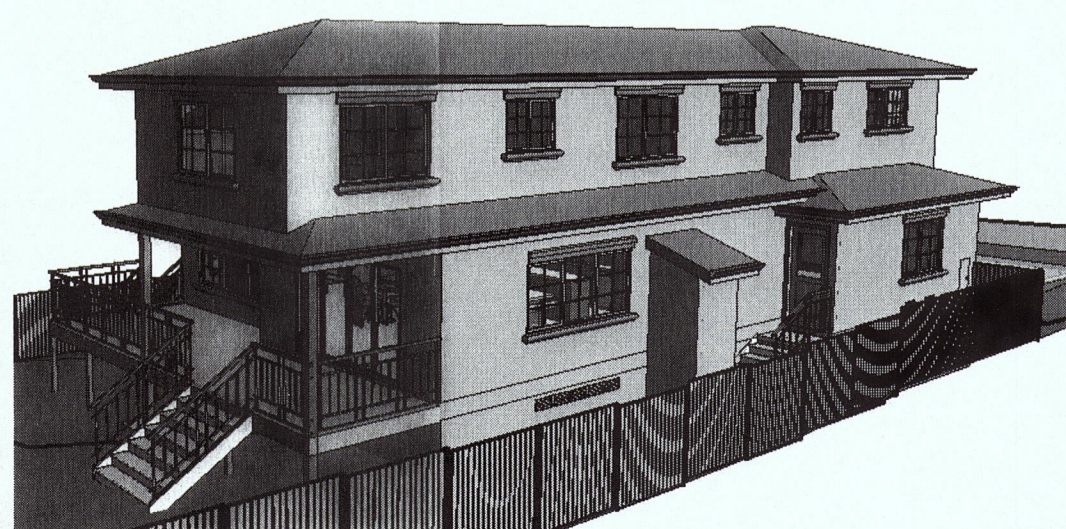
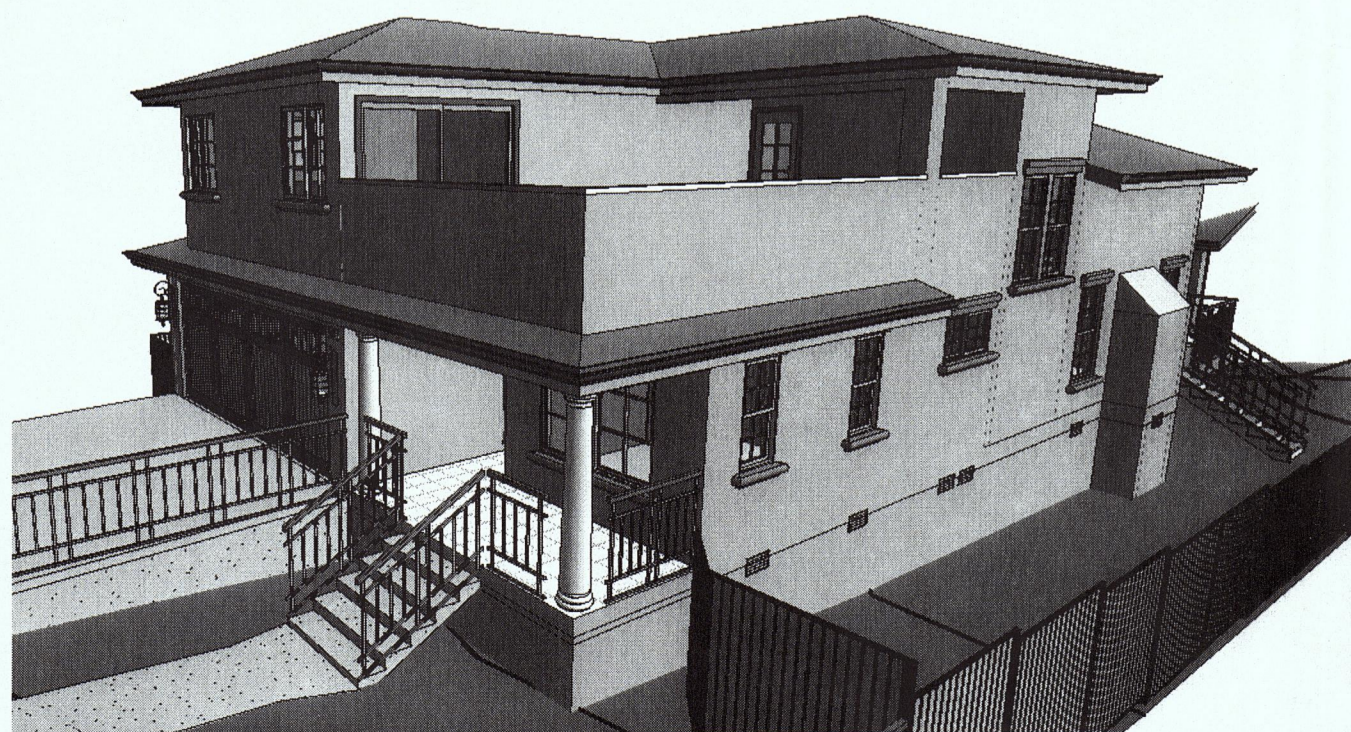
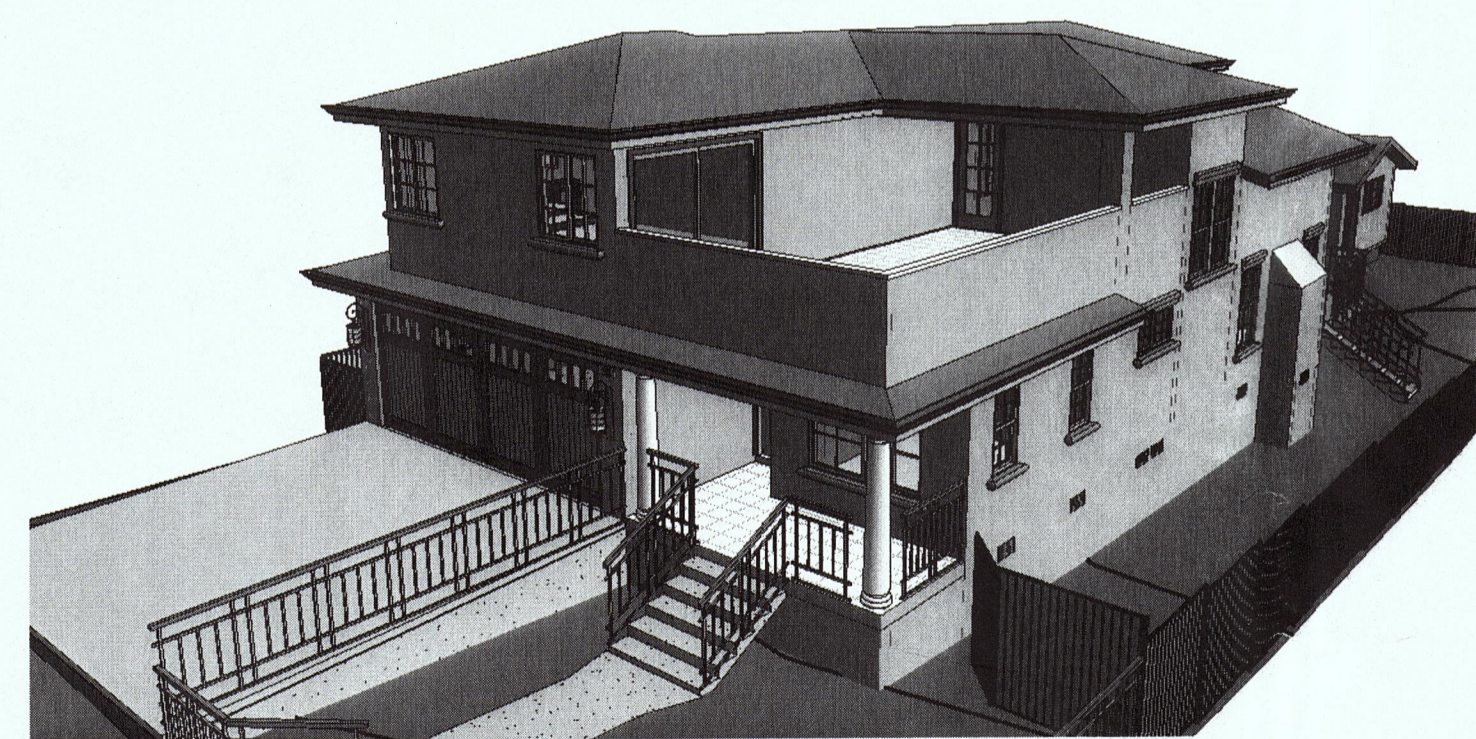
EXISTING 560 SQ. FT.

NEW FIRST FLOOR: ..... 1,231.3 SQ. FT.  
NEW SECOND FLOOR: ..... 1,027.2 SQ. FT.  
TOTAL HABITABLE AREA: .. 2,258.5 SQ. FT.  
NEW GARAGE: ..... 404.7 SQ. FT.  
TOTAL FLOOR AREA ..... 2,663.2 SQ. FT.

TOTAL COVERED BALCONY & DECK = 336.4 SQ. FT.  
TOTAL UNCOVERED BALCONY = 404.7 SQ. FT.

ALLOWABLE FLOOR AREA ..... 6000 x 0.45 = 2,700 SQ. FT.  
PROVIDED FLOOR AREA ..... 2,663.2 SQ. FT.

ALLOWABLE LOT COVERAGE .... 6,000 x 0.35 = 2,100 SQ. FT.  
PROVIDED LOT COVERAGE ..... 1,972.4 SQ. FT.



1 SITE PLAN  
A0 1/8" = 1'-0"

RECEIVED  
APR 27 2017  
San Mateo County  
Planning Division

FAST CAD DRAFTING  
1610 BLOSSOM HILL ROAD., SUITE "7A", SAN JOSE, CA 95124  
CELL: 408-806-7912  
EMAIL: bkdrafting@comcast.net

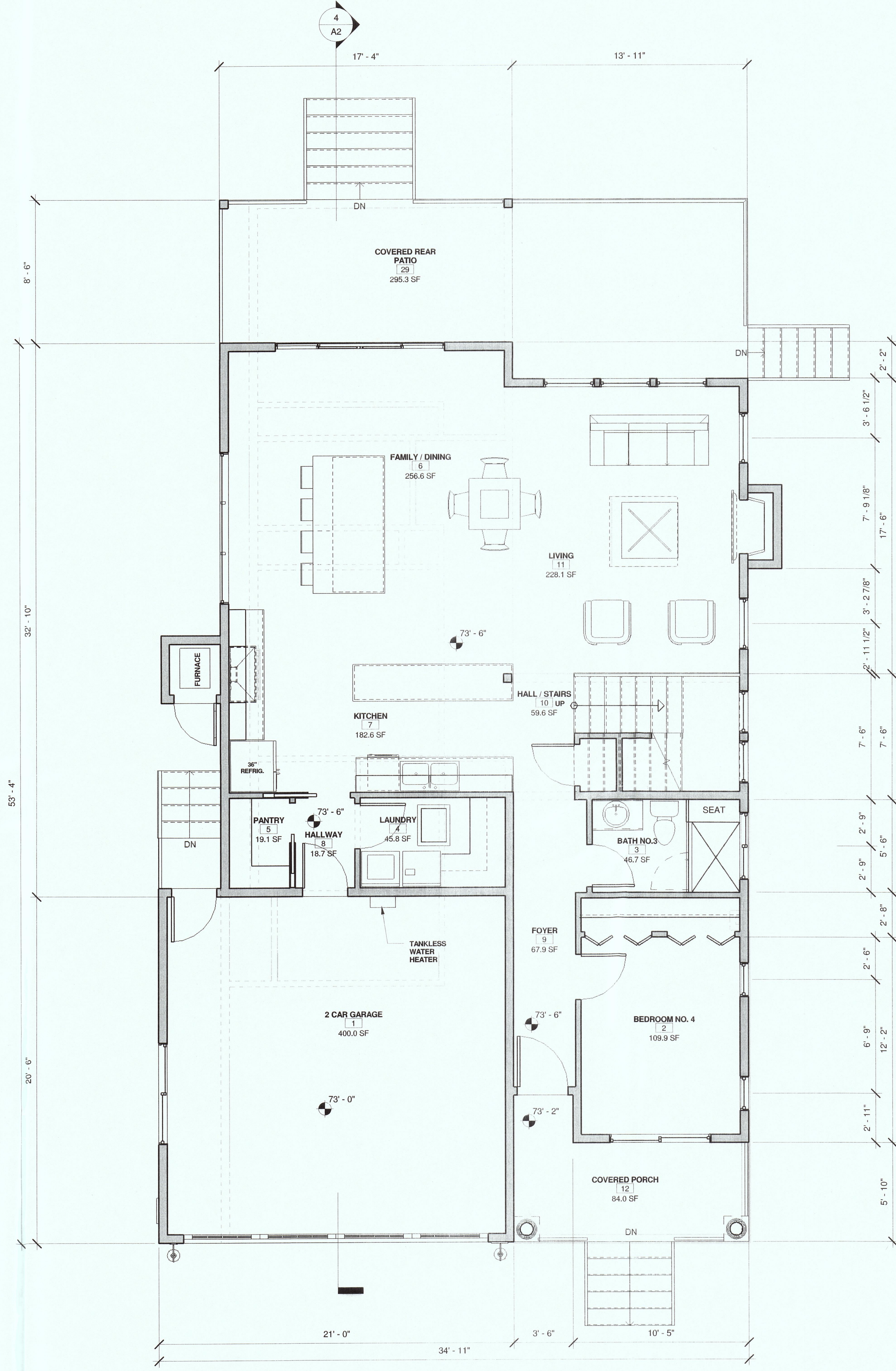
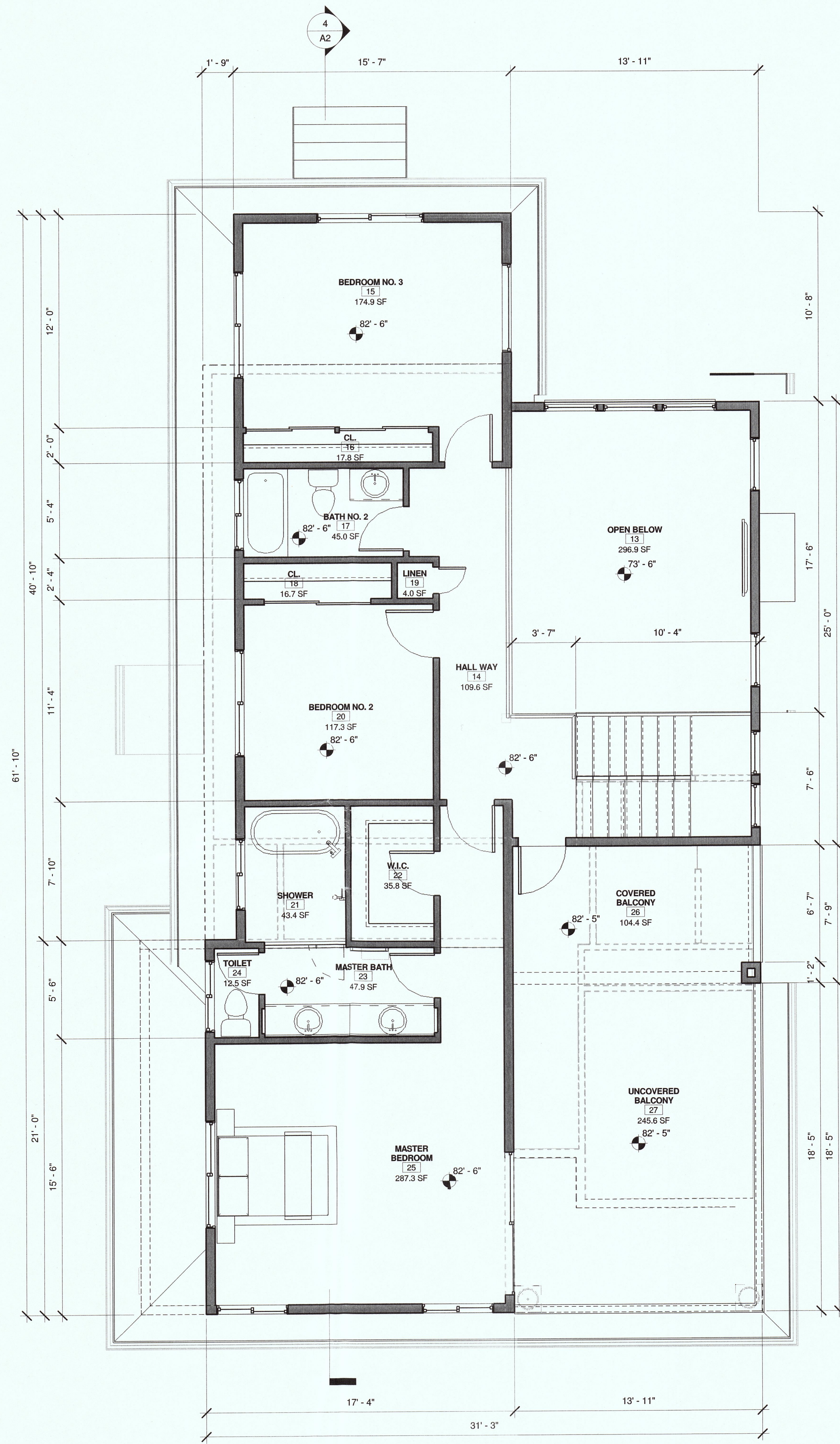
DESIGN BY:  
COVER SHEET & SITE PLAN

Owner  
951 MALAGA STREET,  
EI GRANADA CA

DATE 01/20/17  
SCALE 1/8" = 1'-0"  
DRAWN BK  
JOB NUMBER  
SHEET  
A0  
OF SHEETS

PLN2015-00278

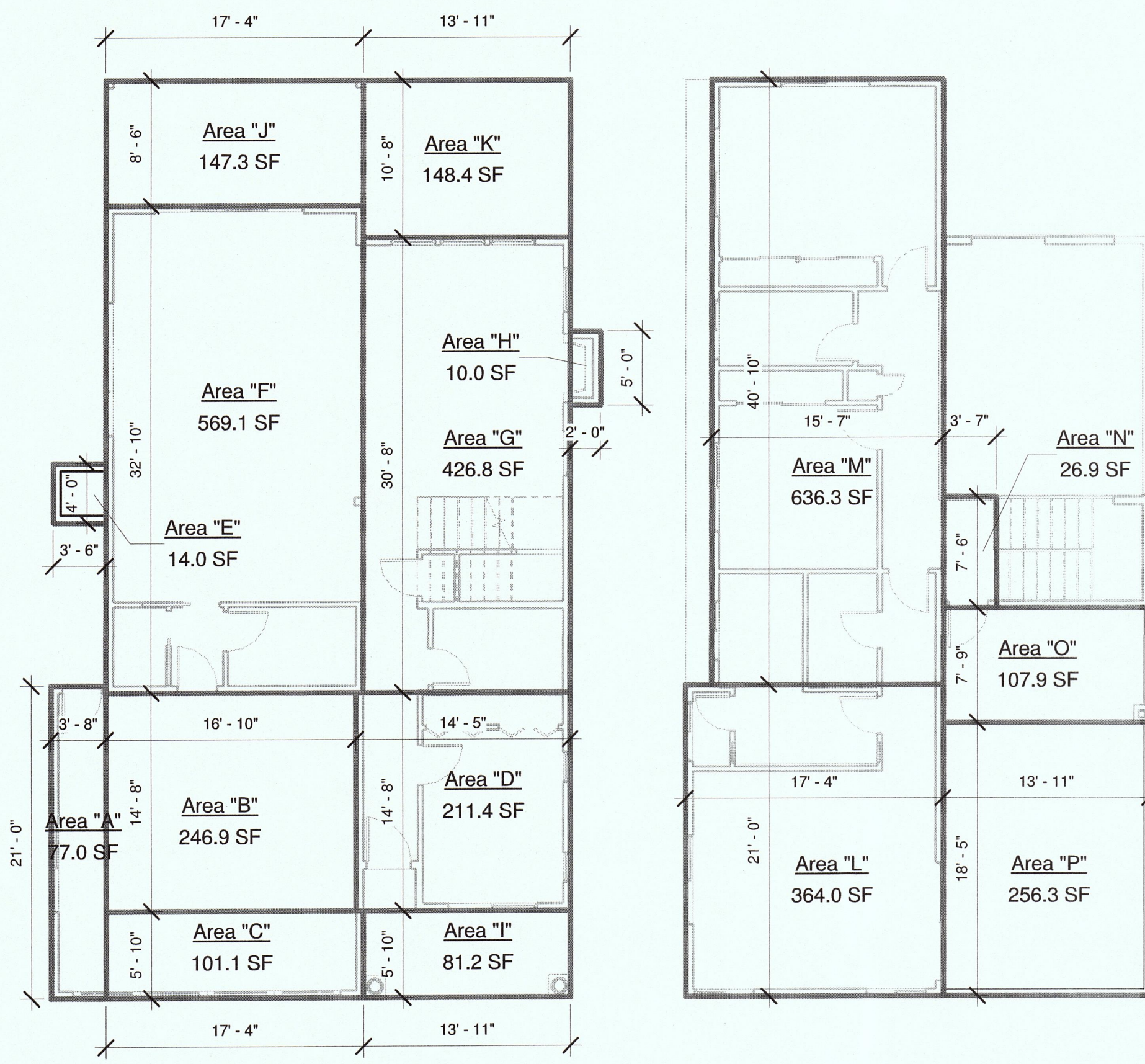




No.	Description	Date
<b>FAST CAD DRAFTING</b> 1610 BLOSSOM HILL ROAD., SUITE "7A", SAN JOSE, CA 95124 CELL: 408-806-7912 EMAIL: bkdrafting@comcast.net		
DESIGN BY:		
<b>FIRST &amp; SECOND FLOOR PLANS</b>		
Owner 951 MALAGA STREET, EI GRANADA CA		
DATE	01/20/17	
SCALE	1/4" = 1'-0"	
DRAWN	Author	
JOB NUMBER		
SHEET		
<b>A1</b>		OF SHEETS

4/27/2017 1:06:32 PM



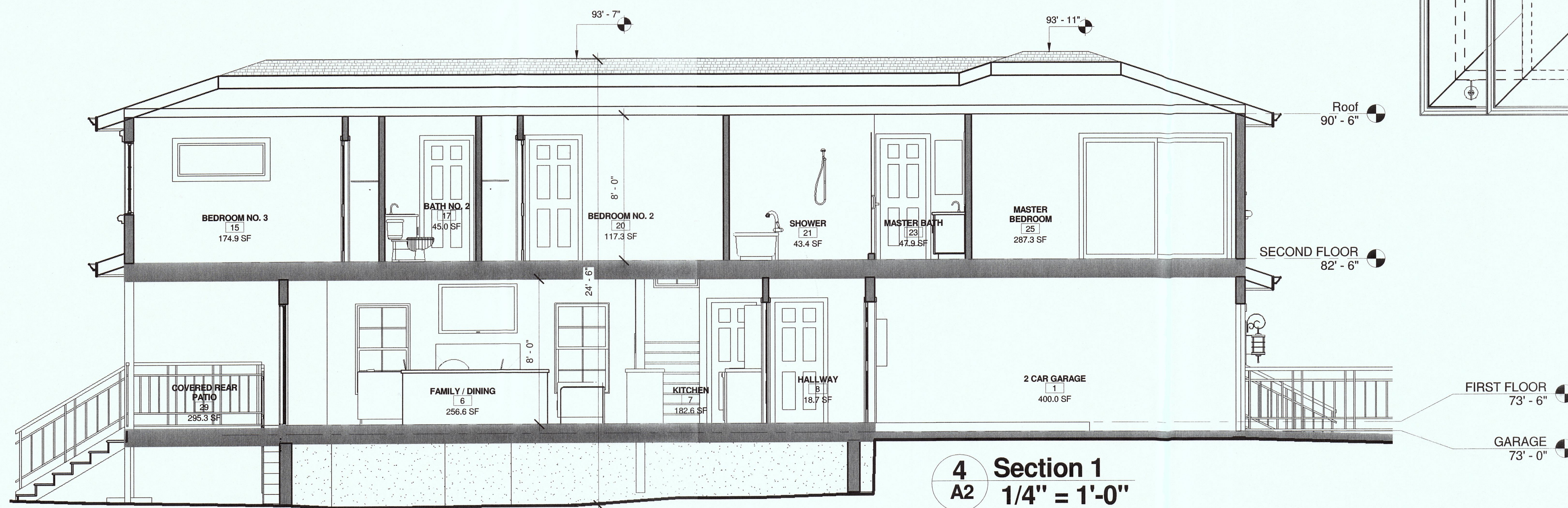


**2 FIRST FLOOR**  
A2 1/8" = 1'-0"

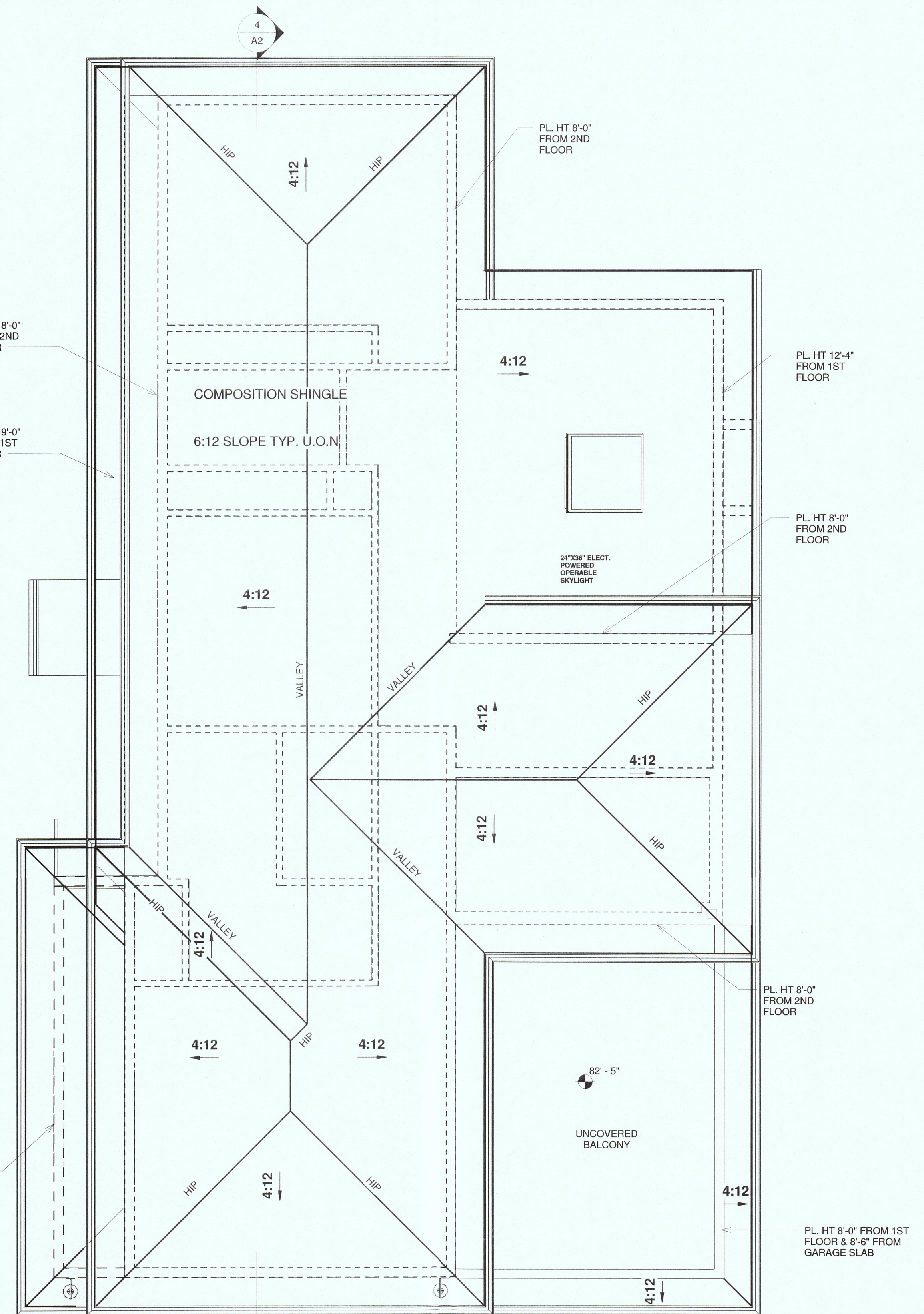
**3 SECOND FLOOR**  
A2 1/8" = 1'-0"

		AREA	DIMENSIONS	SQ. FT.	TOTAL SQ. FT.
1ST FLR.	GARAGE	"A"	3'-8" x 21'-0"	77.0	425.0
		"B"	16'-10" x 14'-8"	246.9	
		"C"	17'-4" x 5'-10"	101.1	
	HABITABLE	"D"	14'-5" x 14'-8"	211.4	1,231.3
		"E"	4'-0" x 3'-6"	14.0	
		"F"	17'-4" x 32'-10"	569.1	
		"G"	13'-11" x 30'-8"	426.8	
		"H"	5'-0" x 2'-0"	10.0	
	COVERED BALCONY	"I"	13'-11" x 5'-10"	81.2	228.5
"J"		17'-4" x 8'-6"	147.3		
UNCOVERED BALCONY	"K"	13'-11" x 10'-8"	81.2	148.4	
2ND FLR.	HABITABLE	"L"	17'-4" x 21'-0"	364.0	1,027.2
		"M"	40'-10" x 15'-7"	636.3	
		"N"	3'-7" x 7'-6"	26.9	
	COVERED BALCONY	"O"	13'-11" x 7'-9"	107.9	107.9
		"P"	13'-11" x 18'-5"	256.3	

TOTAL HABITABLE AREA = 1,231.3 + 1,027.2 = 2,258.5 SQ. FT.  
 TOTAL COVERED BALCONY & DECK = 228.5 + 107.9 = 336.4 SQ. FT.  
 TOTAL UNCOVERED BALCONY = 148.4 + 256.3 = 404.7 SQ. FT.



**4 Section 1**  
A2 1/4" = 1'-0"



**1 ROOF PLAN**  
A2 1/4" = 1'-0"

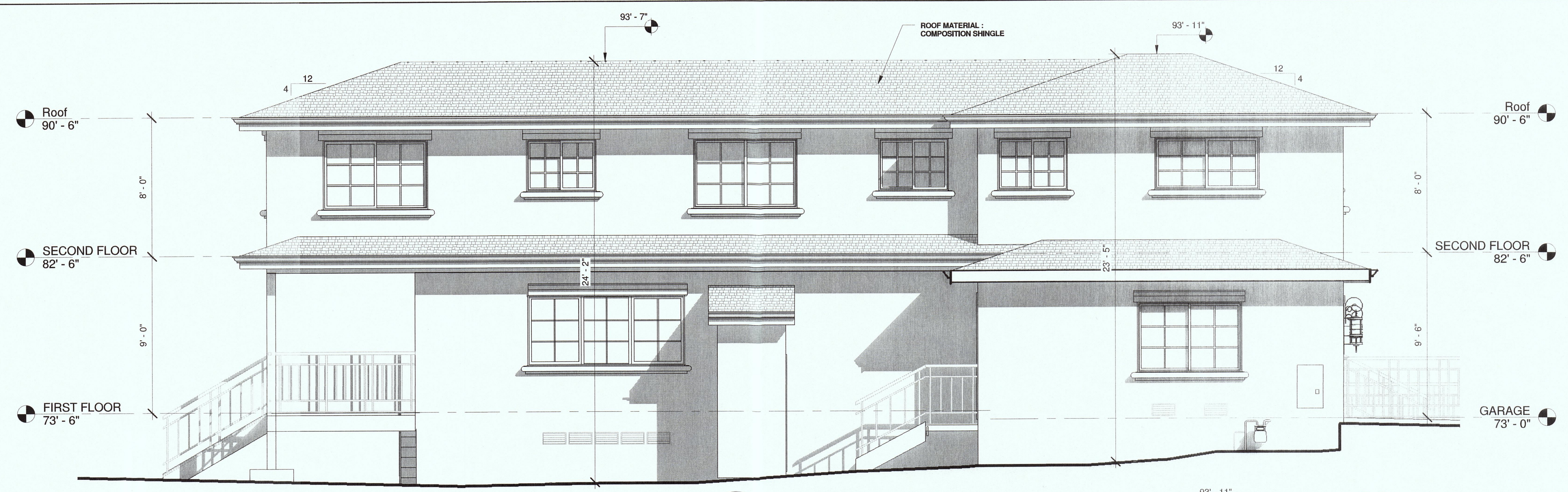
No.	Description	Date

DESIGN BY: **FAST CAD DRAFTING**  
 1610 BLOSSOM HILL ROAD., SUITE "7A", SAN JOSE, CA 95124  
 CELL: 408-806-7912  
 EMAIL: bkdrafting@comcast.net

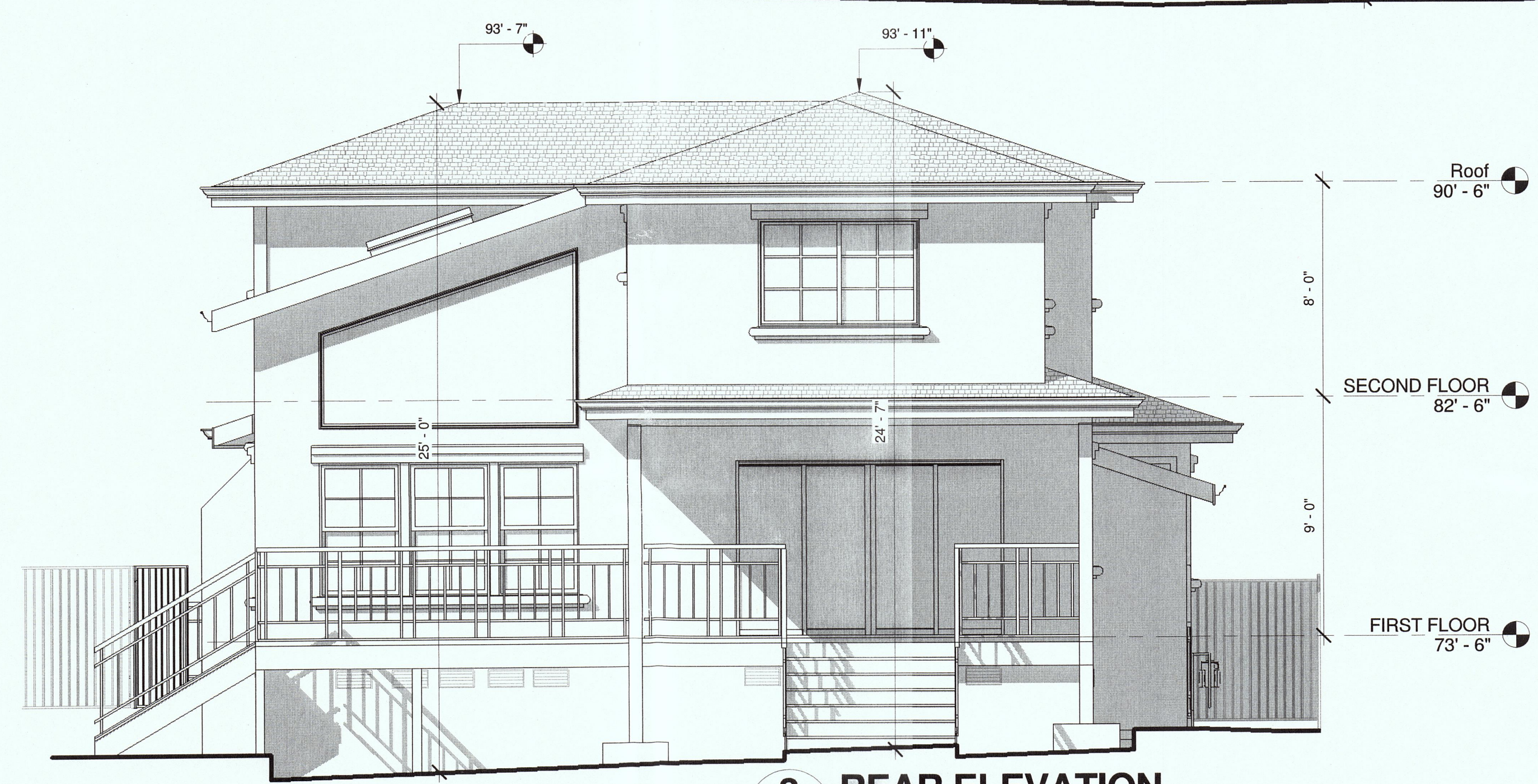
OWNER: 951 MALAGA STREET, EI GRANADA CA

DATE: 01/20/17  
 SCALE: As indicated  
 DRAWN: Author  
 JOB NUMBER:   
 SHEET: **A2**  
 OF SHEETS:

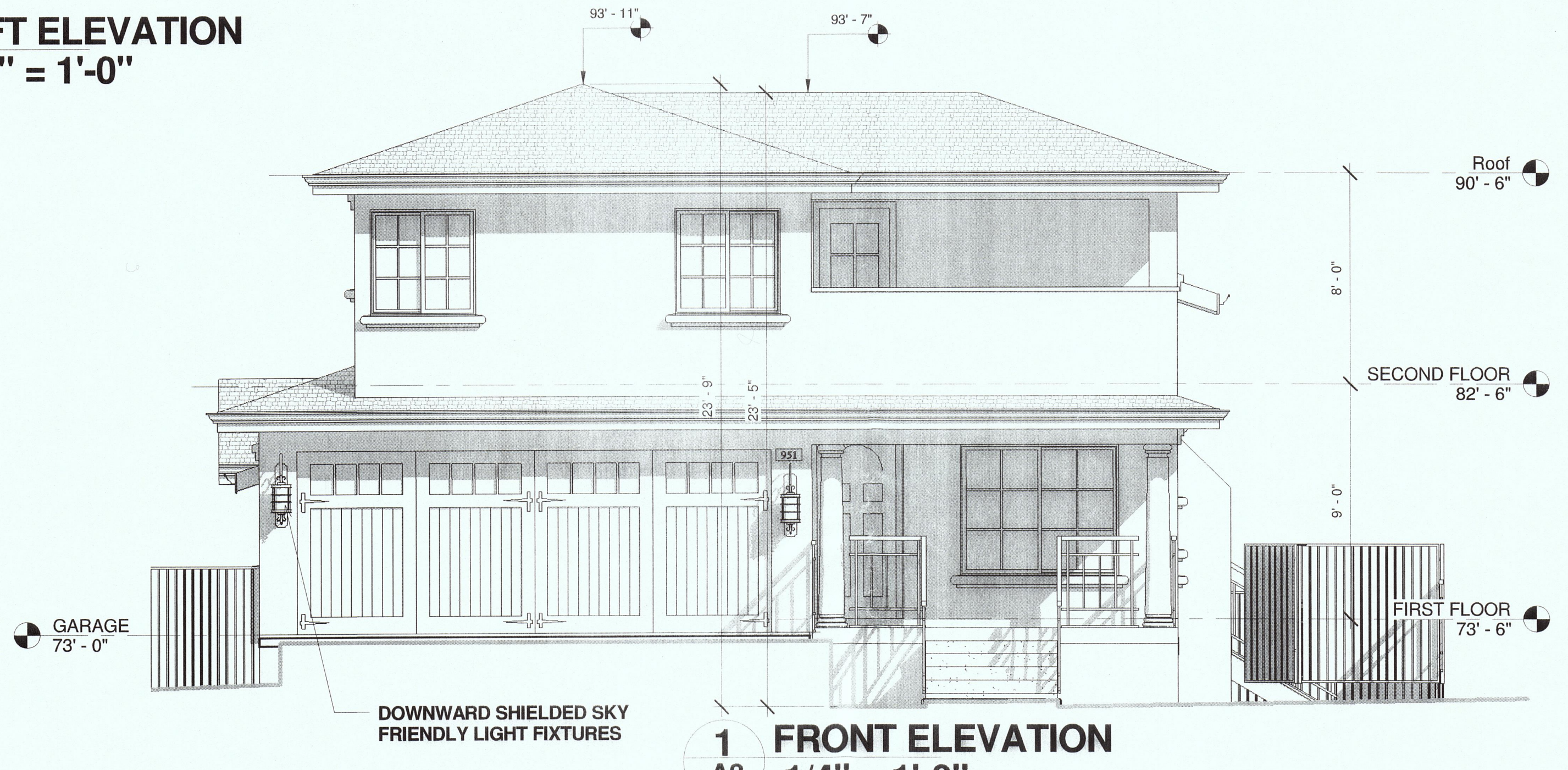




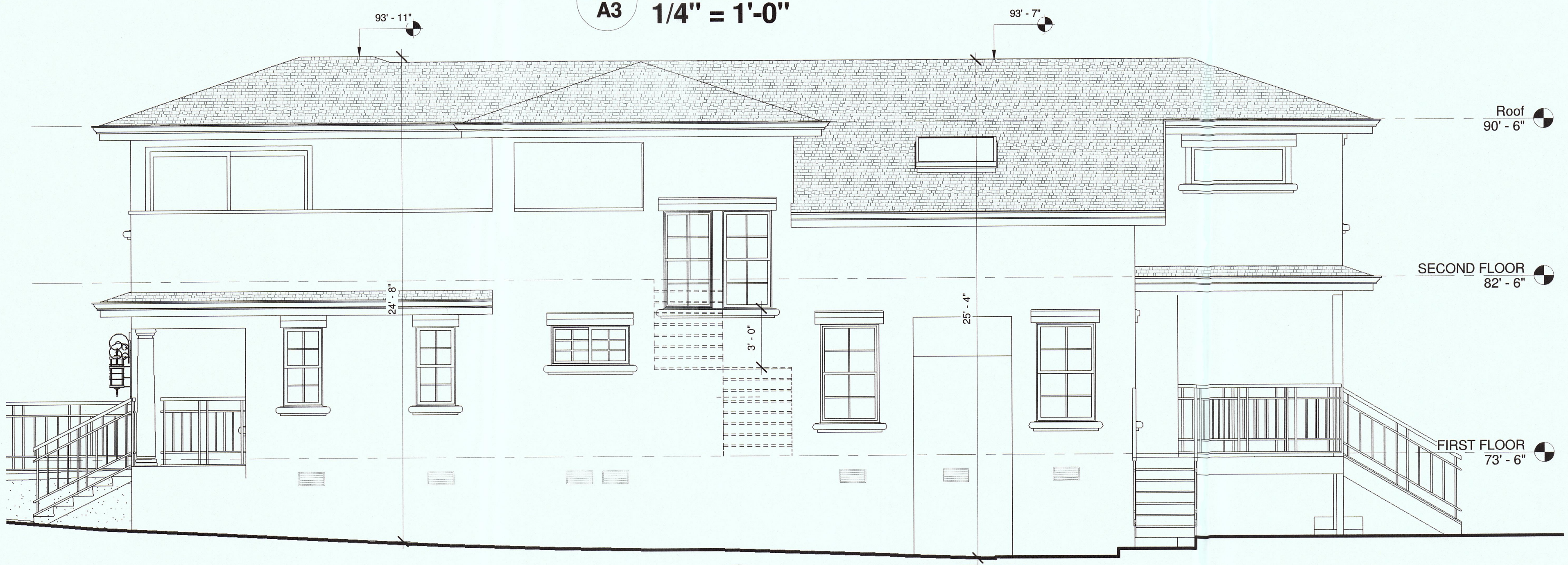
**2 LEFT ELEVATION**  
**A3 1/4" = 1'-0"**



**3 REAR ELEVATION**  
**A3 1/4" = 1'-0"**

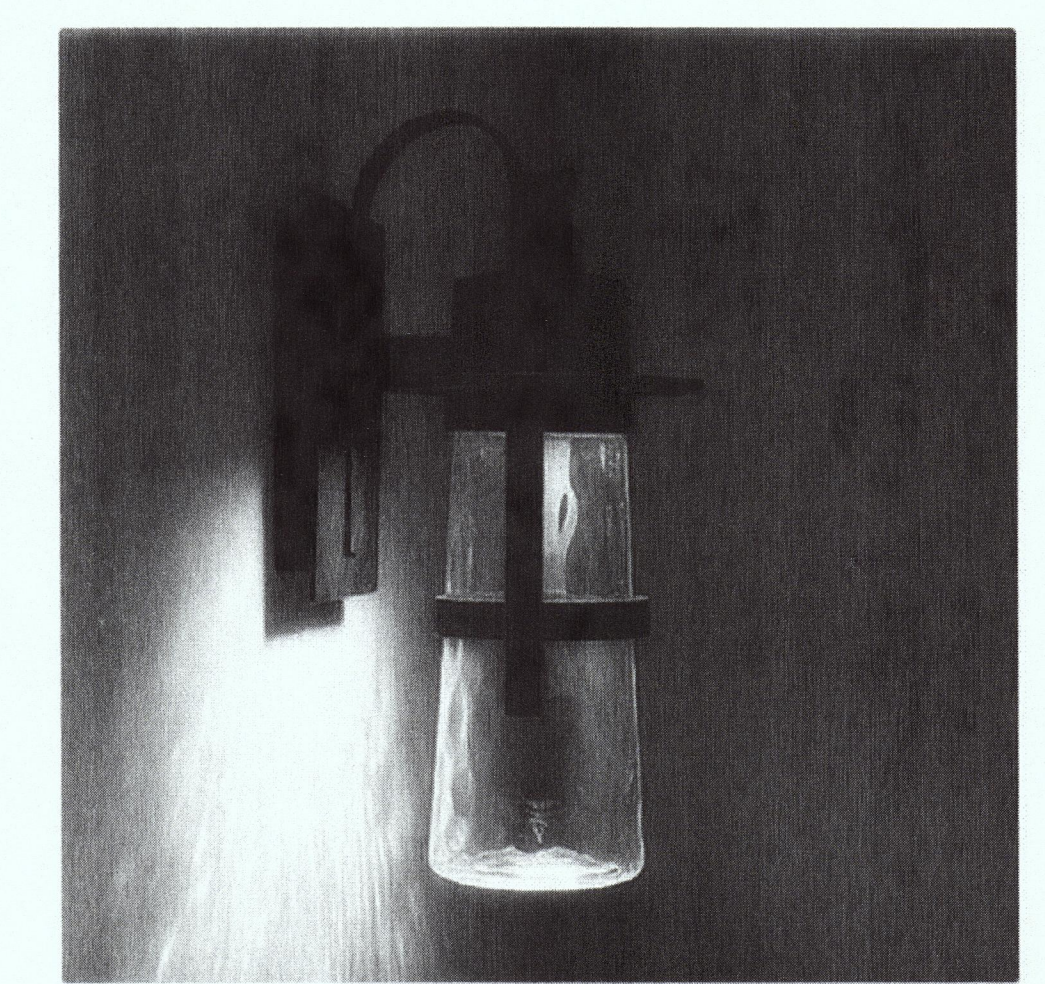


**1 FRONT ELEVATION**  
**A3 1/4" = 1'-0"**



**4 RIGHT ELEVATION**  
**A3 1/4" = 1'-0"**

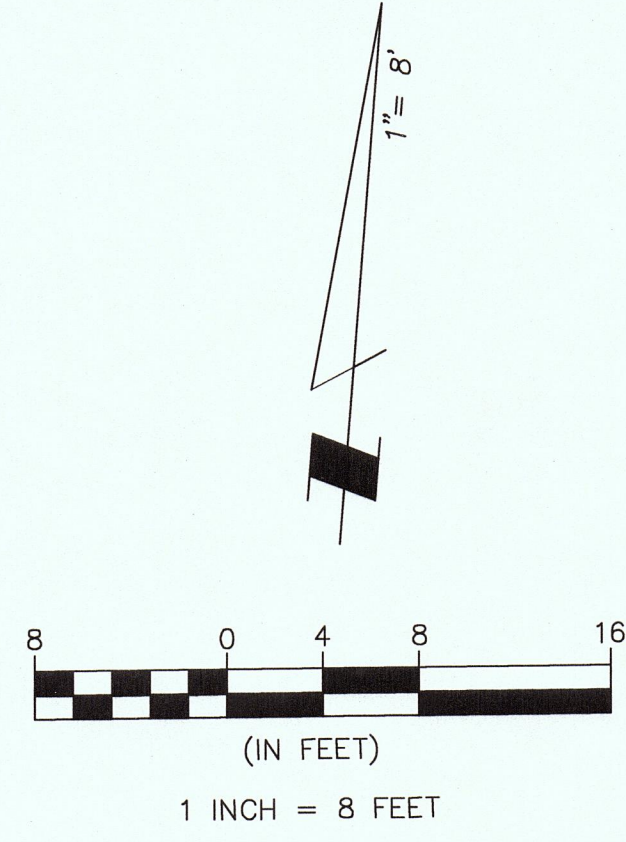
**Color Matters**



Balthus 16 inch LED Outdoor Wall Light from Modern Forms

Blue light is known to be harmful to not only nature and the wildlife in it, but also to humans. While LEDs are great energy efficient lights, they tend to contain larger amounts of blue light. Therefore, lights should have a color temperature of no more than 3000 Kelvins. Look for "warm" lighting, or bulbs with an amber color, that's lower in color temperature like low-spectrum LEDs





**SITE BENCHMARK**  
SSMH  
LID: 72.67  
INV: 66.9

**BASIS OF BEARINGS**  
BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 31 OF LLS MAPS PAGE 73 ON JUNE 24, 2008, SAN MATEO COUNTY RECORDS.

**BENCHMARK**  
ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 DATUM ("MEAN SEA LEVEL"). BENCHMARK USED WAS THE NGS DISK IN CAST IRON CASING "TIDAL 5" WITH AN ELEVATION OF 11.45 FEET.

TBM TO USE FOR SITEWORK IS THE CENTER OF THE SEWER MANHOLE LID WITH AN ELEVATION OF 72.67 FEET.

**NOTES:**  
BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 4104-4510568, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

THE LOCATION OF THE SEWER CLEANOUT WAS NOT FOUND BY THE FIELD CREW. THEREFORE, THE CLEANOUT(S), AND THE PROBABLE LOCATION OF THE SEWER LATERAL COULD NOT BE VERIFIED. VERIFICATION TO BE DONE BY OTHERS.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: OCTOBER 08, 2014  
JOB NUMBER: 14-190



Assessor Parcel Number:  
047-293-330

Prepared For:  
SCOTT YAMAMOTO  
P.O. Box 3130  
Moss Beach, CA 94038

LOT 40

LOT 15

LOT 14

LOT 13

LOT 12

LOT 11

LOT 10

PLAT OF SUBDIVISION NO. 1 OF GRANADA  
BOOK 5 MAPS 43  
BLOCK 8

LOT 41

LOT 42

LOT 43

**PARCEL AREA**  
6,000 SQ. FT.±

**LEGEND**

AC	ASPHALT CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CI	CAST IRON PIPE
CO	CLEAN OUT BOX
CP	SURVEY CONTROL POINT
CPP	CORRUGATED PLASTIC PIPE
CTV	CABLE TELEVISION LINE
DI	DROP INLET
EM	ELECTRIC METER
EV	ELECTRIC VAULT
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GRD	GROUND
GUY	GUY ANCHOR
GV	GAS VALVE
HCR	HANDICAP RAMP
HVE	HIGH-VOLT ELECTRIC
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
KV	KILOVOLT
LAT.	LATERAL
LG	LIP OF GUTTER
MH	MH (TYPE UNKNOWN)
MON-MON	MONUMENT TO MONUMENT DISTANCE
PBV	PACBELL/SBC VAULT
PGE	PGE VAULT
PIV	POST INDICATOR VALVE
PP	POWER POLE
SDMH	STORM DRAIN MANHOLE
SL	STREET LIGHT
SLB	STREET LIGHT BOX
SLV	STREET LIGHT VAULT
SSMH	SANITARY SEWER MANHOLE
SSV	SANITARY SEWER VAULT
TBC	TOP BACK OF CURB
TBM	TEMPORARY BENCHMARK
TS	TRAFFIC SIGNAL
TSB	TRAFFIC SIGNAL BOX
UNK	UNKNOWN TYPE
VCP	VITRIFIED CLAY PIPE
WBF	WATER BACK FLOW VALVE
WM	WATER METER BOX
WV	WATER VALVE
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

FRANCISCO ST.  
COLUMBUS ST.

MALAGA STREET  
[50' WIDE]

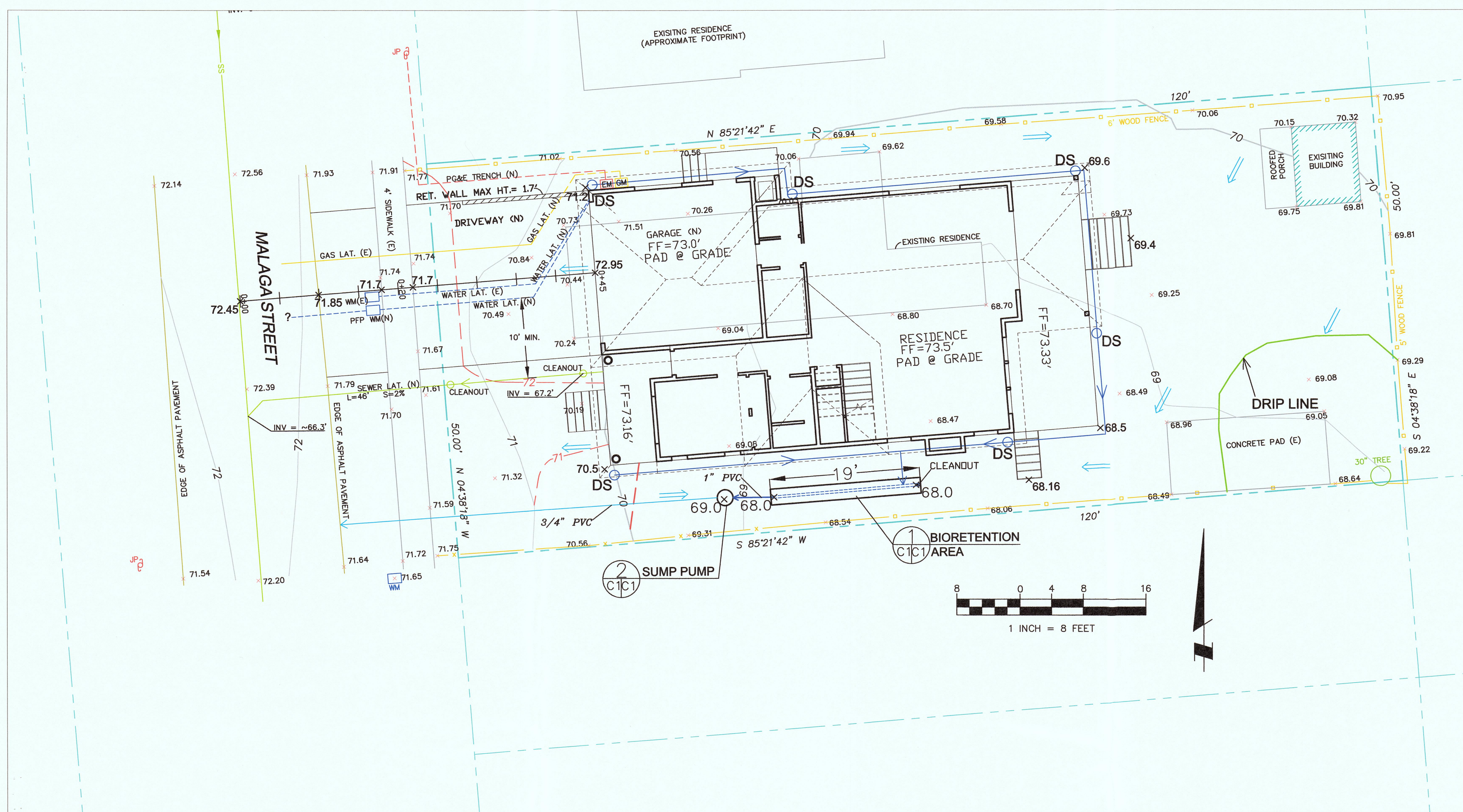
SANTIAGO AVENUE

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
LOTS 12-13, BLOCK 8, "PLAT OF SUBDIVISION NO. 1 OF GRANADA" (BOOK 5 MAPS 43)

**951 MALAGA STREET**  
EL GRANADA, SAN MATEO COUNTY, CALIFORNIA

Date: OCT. 2014  
Scale: 1" = 8'  
Contour Interval: 1'  
Drawn: LHL  
Drawing Number:  
**SU-1**  
SHEET 1 OF 1  
Job No. 14-190





**LEGEND**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- 69.4 PROPOSED SPOT ELEVATION
- DS DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE FLOW
- 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.

**GENERAL NOTES**

1. PLANS PREPARED AT THE REQUEST OF: SCOTT YAMAMOTO, OWNER
2. SURVEY AND TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED OCTOBER 8, 2014.
3. ELEVATION DATUM ASSUMED.
4. THIS IS NOT A BOUNDARY SURVEY.

**GRADING NOTES**

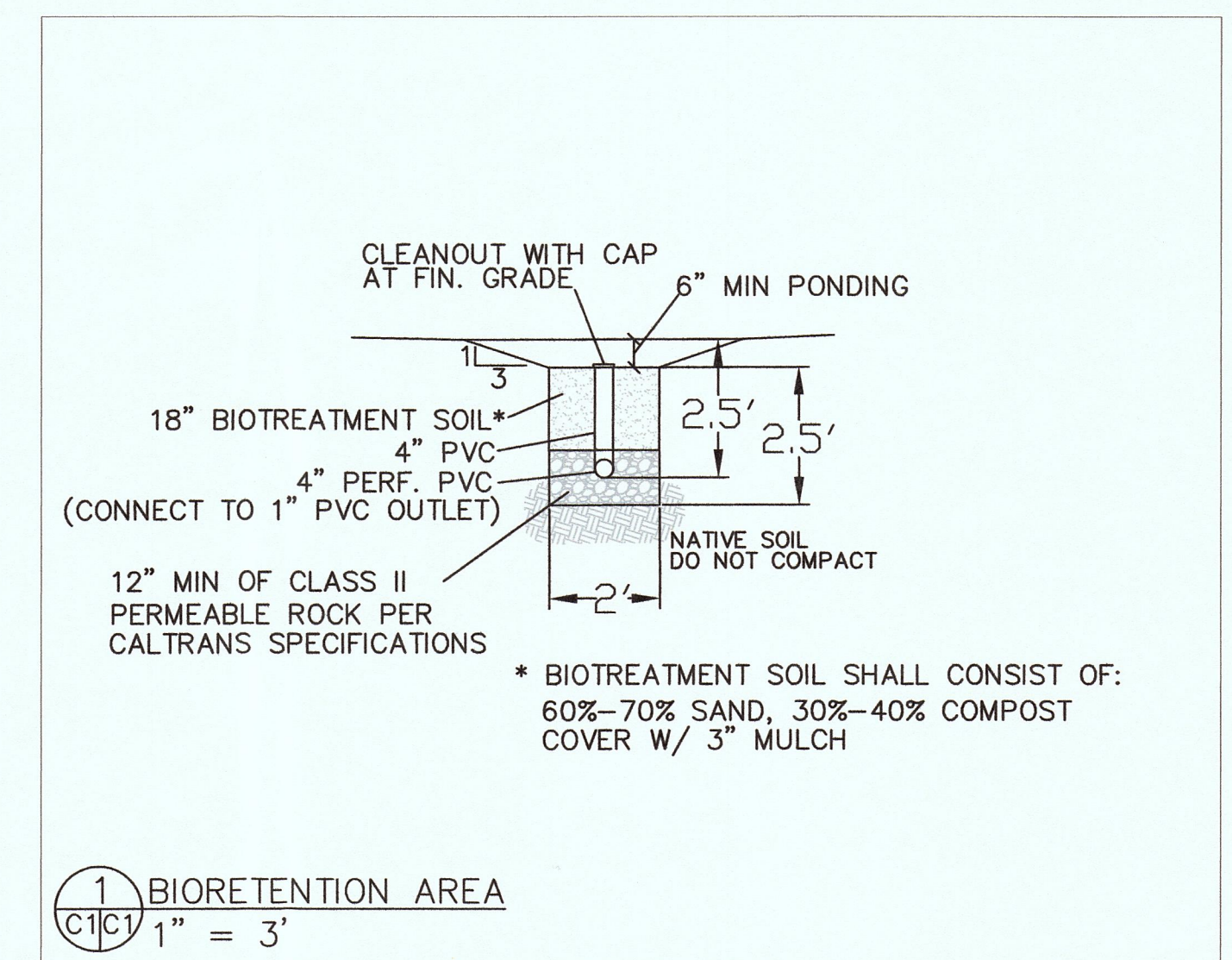
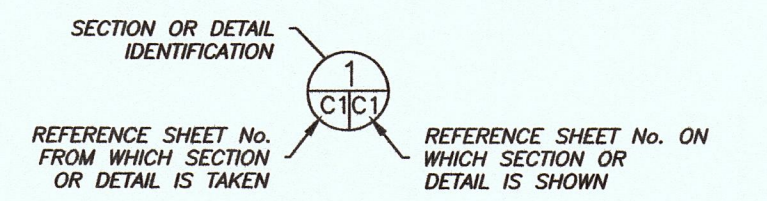
CUT VOLUME : 30 CY (FOR FOUNDATION)  
 FILL VOLUME : 30 CY (UNDER DRIVEWAY, FOR DRAINAGE)

1. ABOVE VOLUMES ARE APPROXIMATE.
2. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
3. ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**DRAINAGE NOTES**

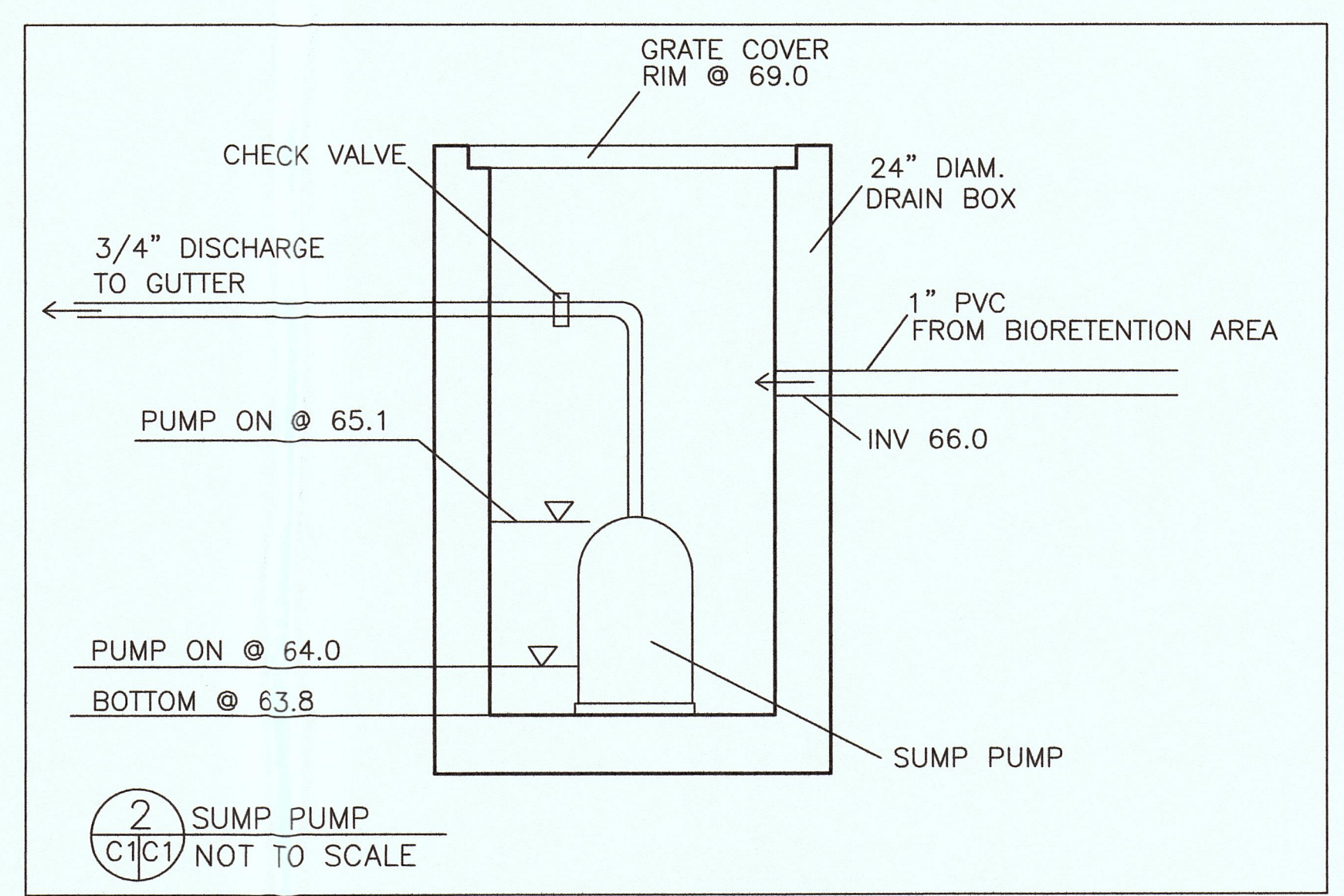
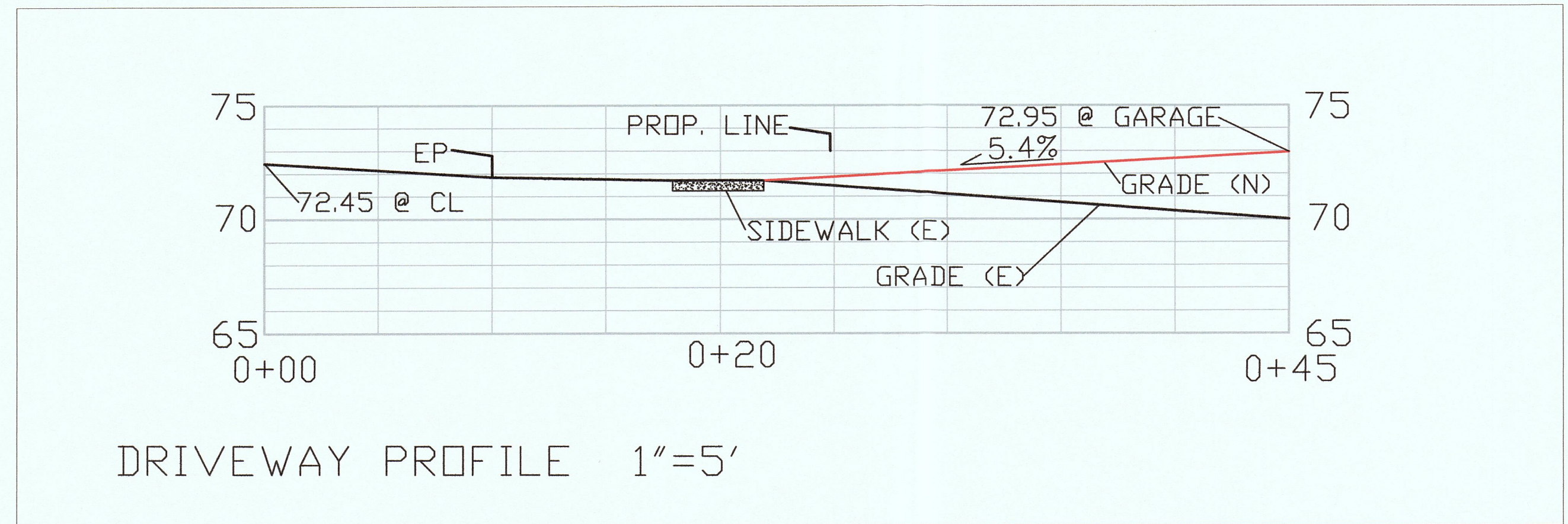
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES AND DRIVEWAY DRAIN SHALL LEAD TO DRY WELLS SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. RUNOFF FROM COURTYARD ON SOUTH SIDE OF HOUSE SHOULD BE DIRECTED TO AREA DRAN, AS SHOWN.

**SECTION AND DETAIL CONVENTION**



**TRAFFIC CONTROL NOTES**

1. TRAFFIC CONTROL WILL BE TEMPORARY, ONLY WHEN TRUCKS ARE ENTERING AND EXITING PROPERTY DURING LOADING/UNLOADING OF SUPPLIES AND EQUIPMENT.
2. CONTRACTOR PARKING SHALL NOT BLOCK FIRE HYDRANTS OR DRIVEWAYS AT ANY TIME.
3. THE PARKING OF ANY CONSTRUCTION-RELATED VEHICLES OR STORAGE OF ANY MATERIAL IS NOT ALLOWED ON A PUBLIC STREET UNLESS APPROVED IN ADVANCE BY THE COUNTY ENGINEER.
4. DURING CONSTRUCTION, TRASH/RECYCLING/YARD WASTE VEHICLES MUST HAVE ACCESS TO COLLECTION ROUTE STREETS IN ORDER TO FACILITATE COLLECTION ACTIVITIES. DELAYS OR DISRUPTIONS TO COLLECTION SERVICES MAY NOT OCCUR AS A RESULT OF CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR SHALL DETERMINE ULTIMATE PROJECT PHASING, ACTUAL DURATION OF EACH PHASE, AND SHALL COMMUNICATE SUCH CONSTRUCTION OPERATIONS TO THE COUNTY PUBLIC WORKS INSPECTOR, AS NECESSARY.



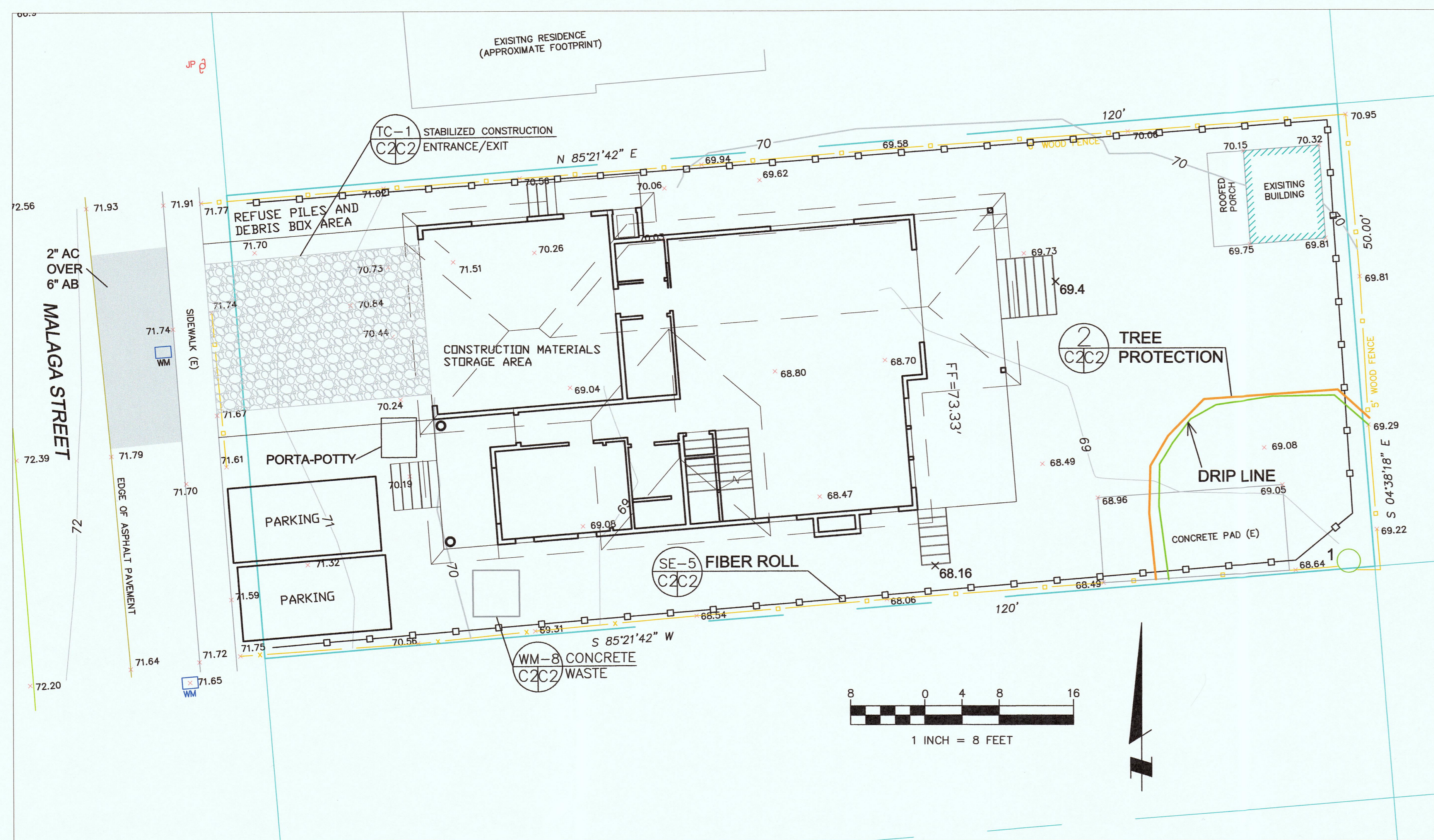
**GRADING AND DRAINAGE PLAN**

YAMAMOTO PROPERTY  
 951 MALAGA STREET  
 EL GRANADA

**SHEET C-1**

DATE: 5-20-17	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593					



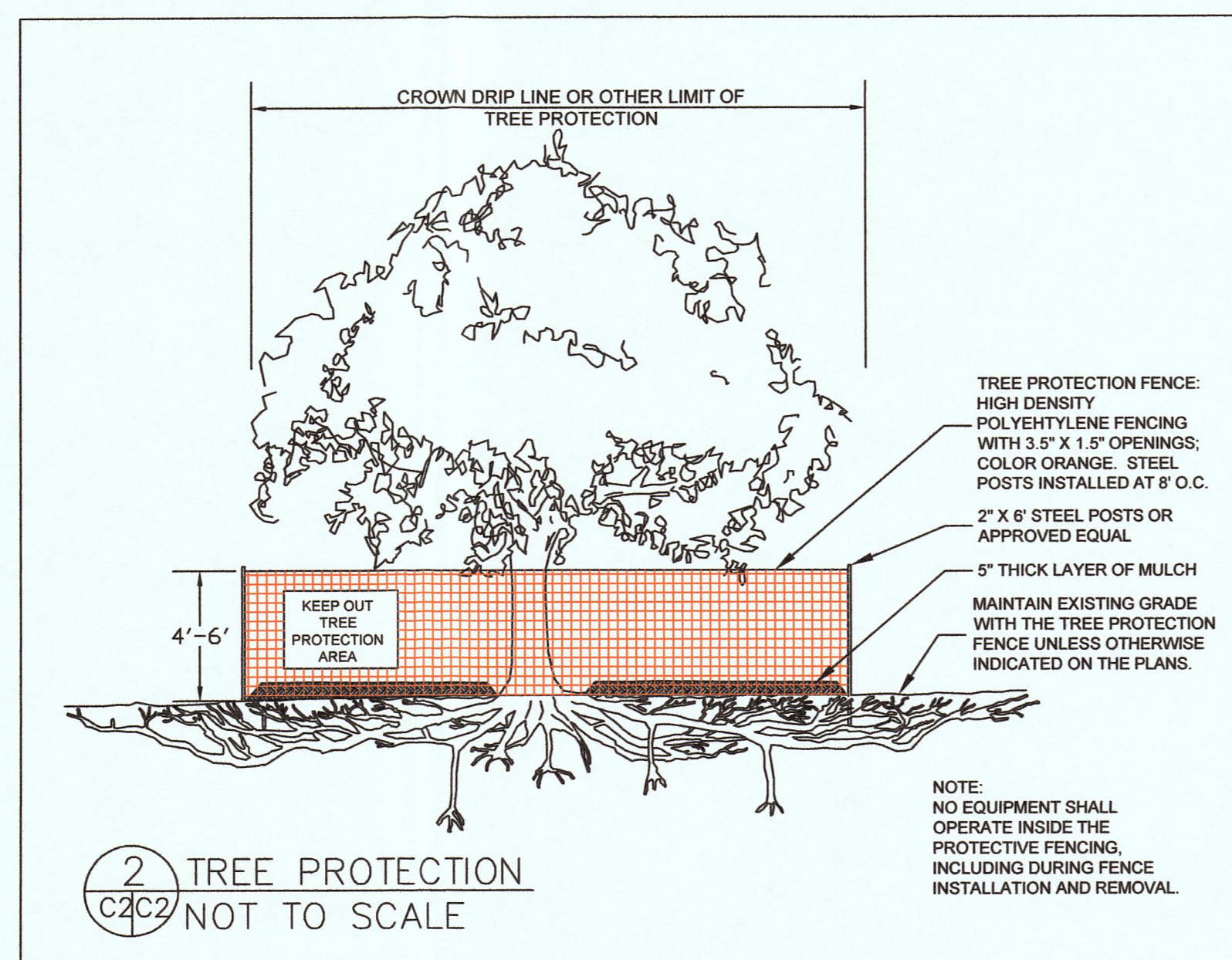


GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.

TREE PROTECTION NOTES

- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
- TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
- OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
- ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
- ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
- PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



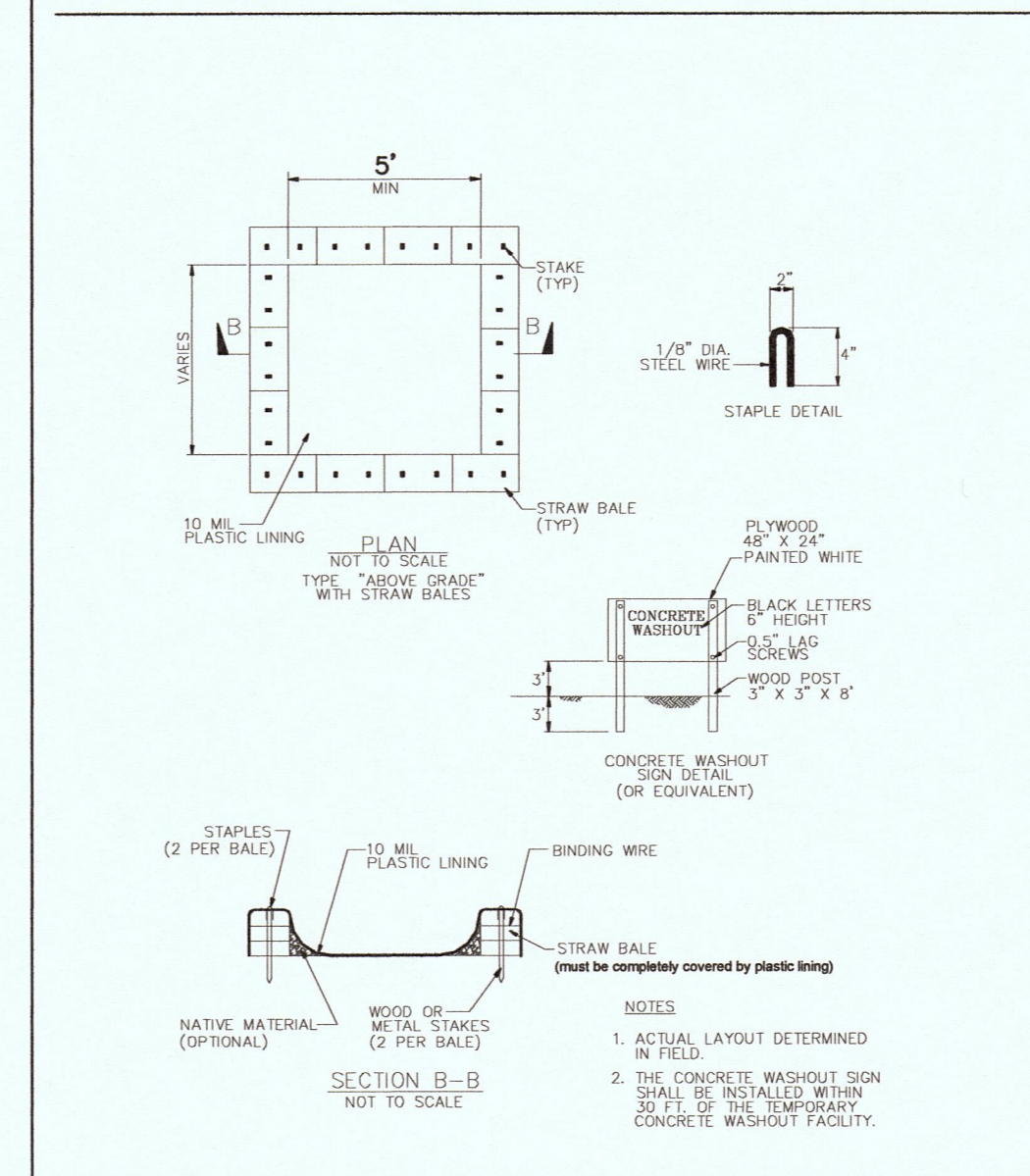
TREE LIST

NO.	TRUNK DIAM.	NAME
1	30"	BLACK WALNUT

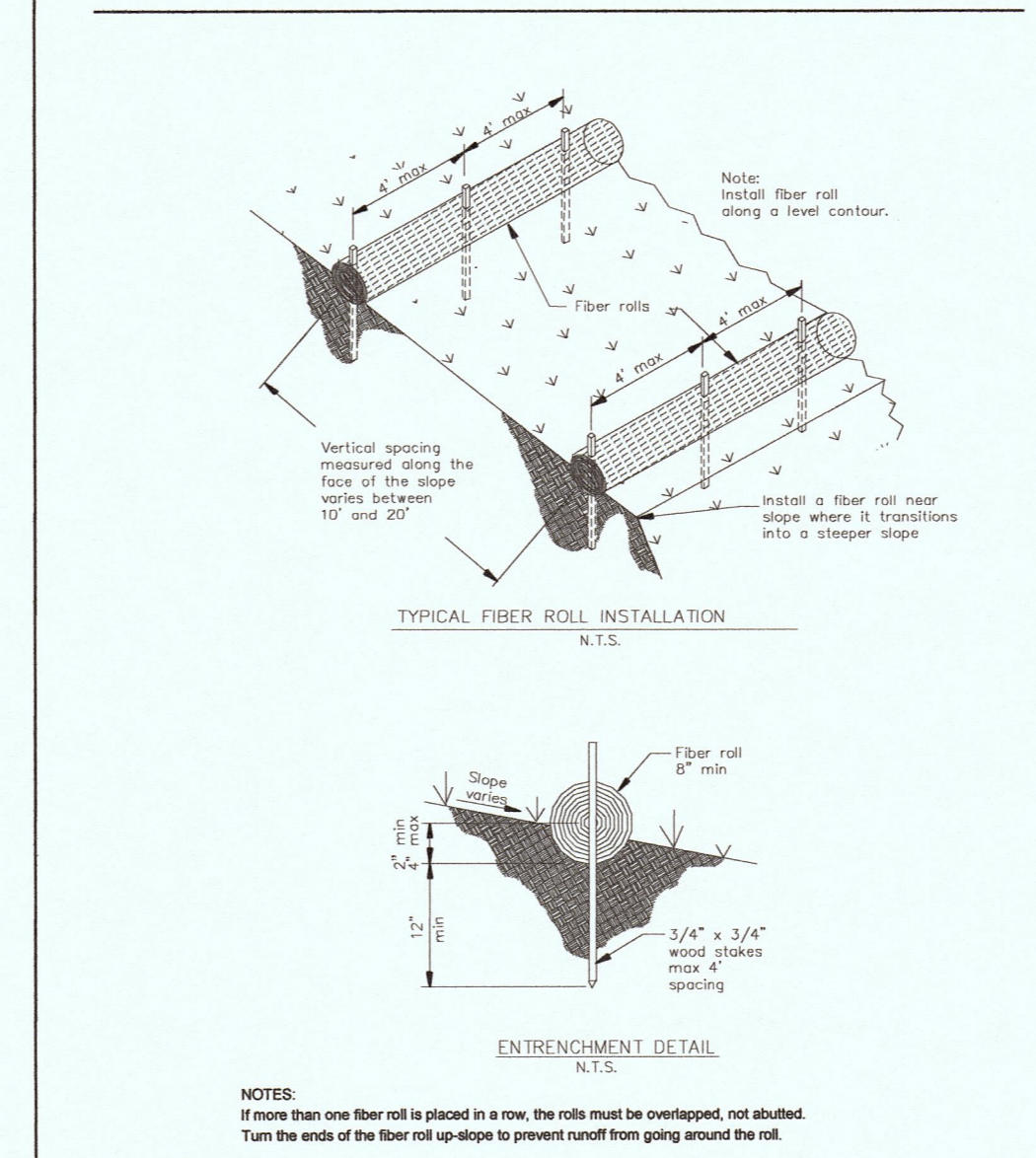
EROSION CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5
- GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
  - NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
  - ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
  - ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
  - ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
  - ROCKED CONSTRUCTION ENTRANCE SHALL BE 23 FEET LONG BY 18 FEET WIDE AND CONFORM TO THE FOLLOWING:
    - THE MATERIAL FOR THE PAD SHALL BE 4 TO 6 INCH STONE.
    - PAD SHALL BE NOT LESS THAN 12" THICK.
    - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
    - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
  - CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

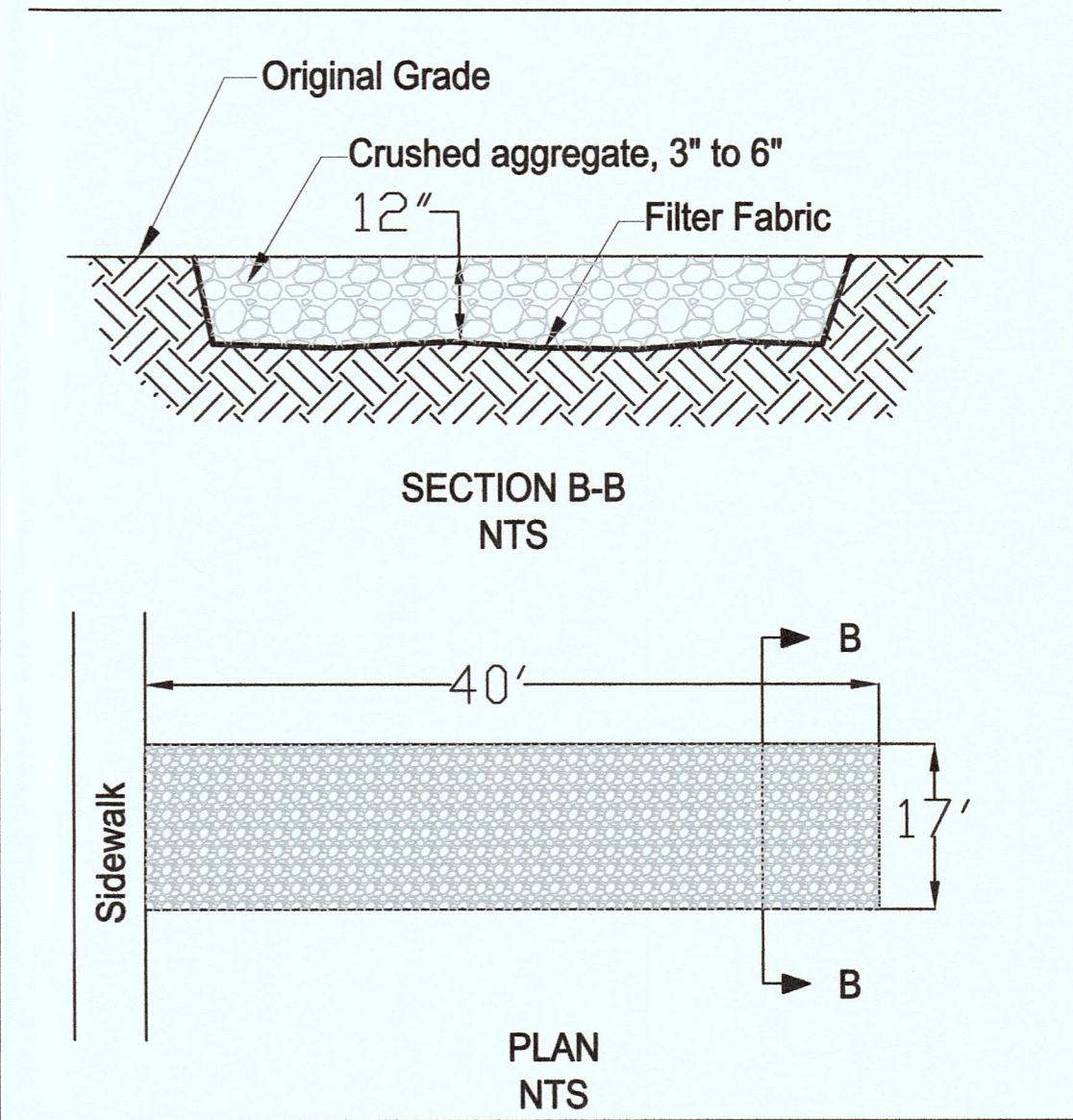
NAME: SCOTT YAMAMOTO  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 650-270-4446  
 PHONE:  
 E-MAIL: ARLYNE1@PACBELL.NET

USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.



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 SIGMA PRIME GEOSCIENCES, INC.  
 392 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3580  
 FAX 728-3583

STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



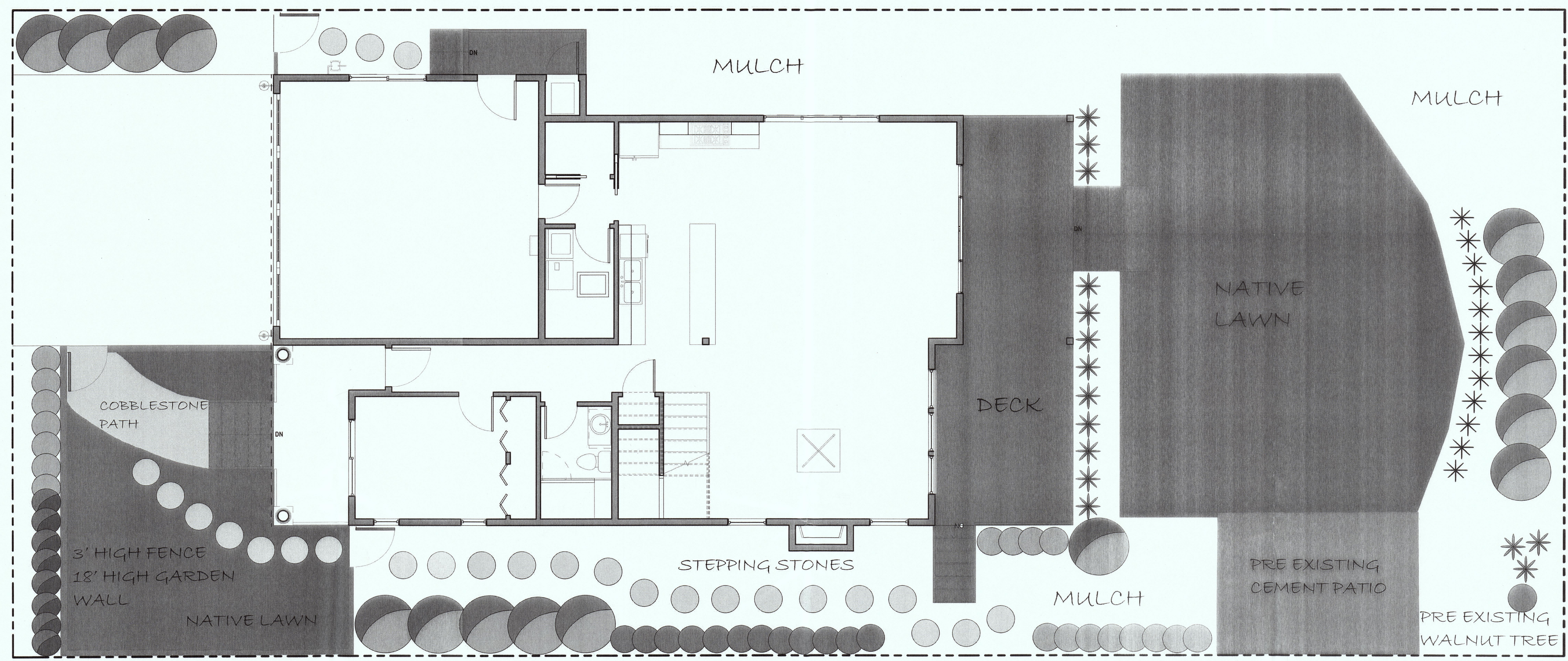
DATE: 3-20-17  
 DRAWN BY: CNK  
 CHECKED BY: AZG  
 REV. DATE:  
 REV. DATE:  
 REV. DATE:

EROSION AND SEDIMENT CONTROL AND TREE PROTECTION PLAN  
 YAMAMOTO PROPERTY  
 951 MALAGA STREET  
 EL GRANADA

SHEET  
 C-2



No.	Description	Date



### SCHEMATIC PLANT LIST

SHRUBS

LATIN NAME	COMMON NAME	NATIVE	WATER USE
ARBUTUS UNEDO 'ELF IN KING'	STRAWBERRY BUSH	X	LOW
BAMBUSA MULTIFLEX 'ALPHONSE KARR'	ALPHONSE KARR BAMBOO		LOW
CARISSA MACROCARPA	NATAL PLUM	X	LOW
CITRUS 'IMPROVED MEYER SHRUB FORM'	MEYER LEMON		REGULAR
COPROSMA 'MARBLE QUEEN'	MIRROR PLANT		LOW
CORREA REFLEXA 'CARPENTER ROCKS'	AUSTRALIAN FUSCHIA		LOW
ESCALLONIA 'COMPAKTA'	ESCALLONIA		MODERATE
HEBE ANDERSONII 'VARIEGATA'	HEBE		REGULAR
LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	ENGLISH LAVENDER		MODERATE
PHYLLOSTACHYS NIGRA (IN BAMBOO DARRUCI)	BLACK BAMBOO		LOW
PITTOSPORUM TOBIRA 'VARIEGATA'	PITTOSPORUM		MODERATE
ROSMARINUS OFFICINALIS 'BARBECUE'	ROSEMARY		LOW
SARCOCOCCA RUSCIFOLIA	FRAGRANT SARCOCOCCA		MODERATE

PERENNIALS

LATIN NAME	COMMON NAME	NATIVE	WATER USE
ACHILLEA MILLEFOLIUM 'STRAWBERRY SEDUCTION'	YARROW	X	LOW
ARGYRANTHEMUM FRUTESCENS 'SILVER LADY'	MARGUERITE DAISY		LOW
CAREX DIVULSA	BERKELEY SEDGE		LOW
ECHIUUM CANDICANS	PRIDE-OF-MADEIRA	X	LOW
LIMONIUM PEREZII	STATICE		MODERATE
PENNISETUM ORIENTALE 'KARLEY ROSE'	FOUNTAIN GRASS		MODERATE
TULBAGHIA VIOLACEA	SOCIETY GARLIC		MODERATE
WOODWARDIA FIMBRIATA	GIANT CHAIN FERN	X	MODERATE

JAPANESE ENTRY GARDEN

LATIN NAME	COMMON NAME	NATIVE	WATER USE
FAMILY JAPANESE MAPLE FROM POT	JAPANESE MAPLE		REGULAR
HAKONECHLOA MACRA 'AUREOLA'	JAPANESE FOREST GRASS		REGULAR

GROUND COVER

LATIN NAME	COMMON NAME	NATIVE	WATER USE
AGROSTIS PALLENS SOD	NATIVE BENTGRASS LAWN	X	LOW
ARMERIA MARITIMA	SEA PINK	X	LOW
COTYLEDON ORBICULATA 'PIG'S EAR'	COTYLEDON		LOW
DYMONDIA MARGARETAE	DYMONDIA		MODERATE
ECHEVERIA ELEGANS	HEN AND CHICKS		MODERATE
ERIGERON GLAUCUS 'CAPE SEBASTIAN'	SEASIDE DAISY	X	LOW
SEDUM RUPESTRE 'ANGELINE'	STONECROP		LOW

1 SCHEMATIC LANDSCAPE PLAN  
1/4" = 1'-0"

DESIGN BY:

### SCHEMATIC LANDSCAPE PLAN

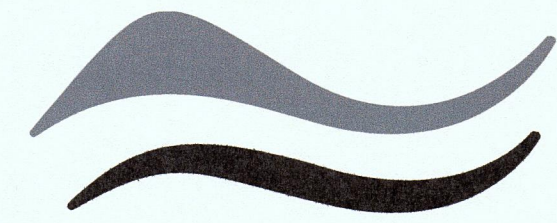
Owner

951 MALAGA STREET,  
EI GRANADA CA

DATE	01/20/17
SCALE	1/4" = 1'-0"
DRAWN	Author
JOB NUMBER	
SHEET	L1
OF SHEETS	

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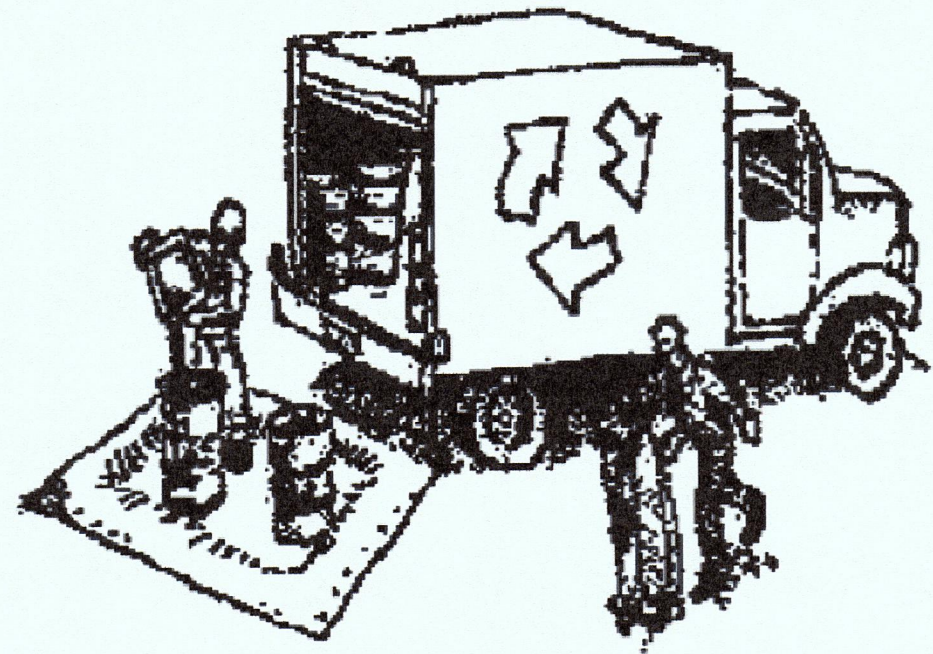
SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving

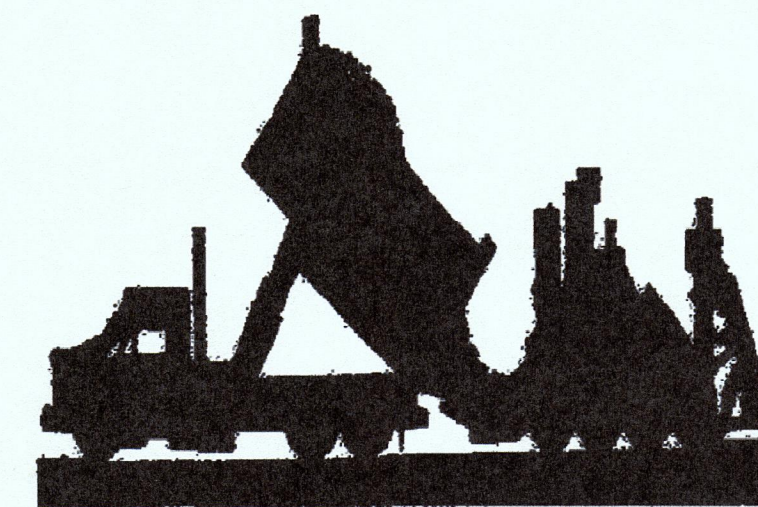


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

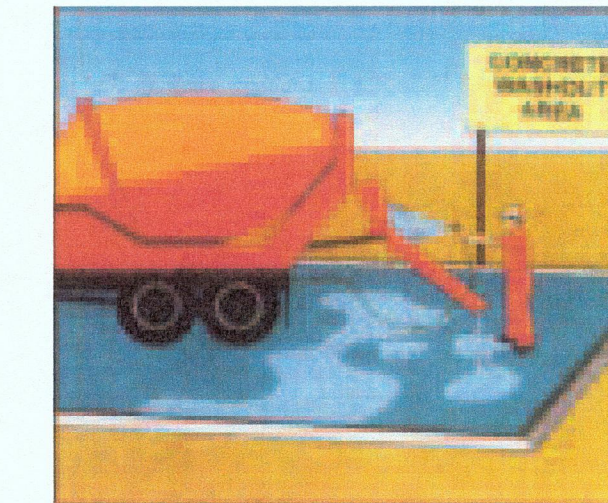


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



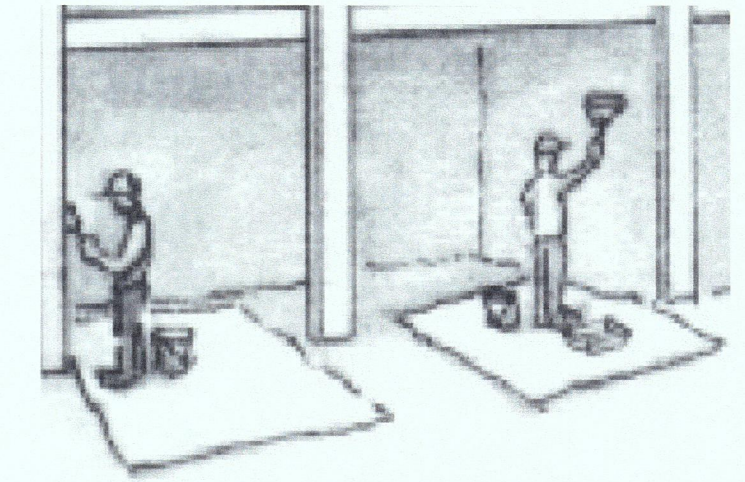
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

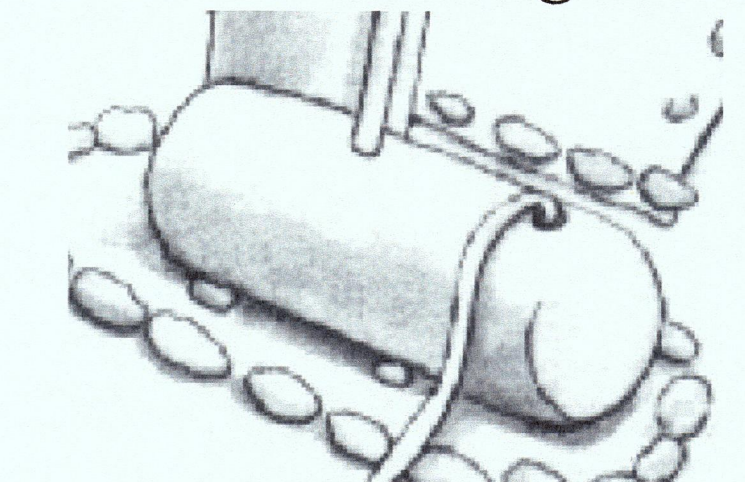
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**