

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

COUNTY OF SAN MATEO
PLANNING AND BUILDING

County Government Center
455 County Center, 2nd Floor
Redwood City, CA 94063
650-363-4161 T
650-363-4849 F
www.planning.smcgov.org

January 29, 2016

Brian Brinkman
648 Navarre Drive
Pacifica, CA 94044

Dear Mr. Brinkman:

SUBJECT: Coastside Design Review
439 Vermont Avenue, Moss Beach
APN 037-133-170; File No. PLN 2015-00289

At its meeting of November 12, 2015, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review permit to allow construction of a 1,091 sq. ft., first and second-story addition to an existing 1,411 sq. ft. one-story single-family residence, with an existing 576 sq. ft. attached two-car garage, on a 7,800 sq. ft. legal parcel. No trees are proposed for removal.

The CDRC found that, although the style and scale of the house is consistent with several other houses in the area, the location of the proposed addition, the simplicity of its forms, and proposed color causes the residence to appear massive and bulky. The placement of the addition above one portion of the house appears imbalanced. The proposed balconies and decks mitigate the mass and bulk of the structure, but are absent in the front elevation of the residence. Also, the proposed windows are not proportional to each other. Finally, the proposed colors and materials do not elevate the project to a higher level of design and/or construction.

The CDRC was unable to make the findings for design review approval based on certain design deficiencies, as described in this letter. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required, with emphasis on, but not limited to, Section 6565.20(D)2.a(1),(2) and (3), Section 6565.20(D)2.b, Section 6565.20(D)c(1)(a), Section 6565.20(D)1.d and e, and Section 6565.20(D)4. As such, recommendations and requirements from the CDRC for further project redesign are as follows:

1. Develop a consistent architectural style.
2. Mitigate the massing of the second-story addition over the garage by positioning it toward the center of the residence.

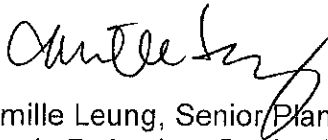


3. Increase the wall articulation by sculpting the walls.
4. Reduce massing by improving/adding exterior materials and colors.
5. Adjust the size and location of the windows.
6. Add grids to the two front facing windows on the first floor.
7. Modify the front porch for compatibility with the remodeled home.

At the meeting, you were presented the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented; or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867 if you have any questions.

Sincerely,



Camille Leung, Senior Planner, for
Dennis P. Aguirre, Design Review Officer

DPA:fc – DPAAA54_WFN.DOCX

cc: Dianne Whitaker, Member Architect
Kris Lannin-Liang, Moss Beach Community Representative
Andrew and Melanie Yee

439 VERMONT AVENUE, MOSS BEACH, CA 94038
ADDITION TO EXISTING SINGLE STORY, SINGLE FAMILY HOME
EXTERIOR FRONT PERSPECTIVE & MATERIALS/COLOR LIST

Roofing: Black composition Asphalt Shingles

Gutters: Copper

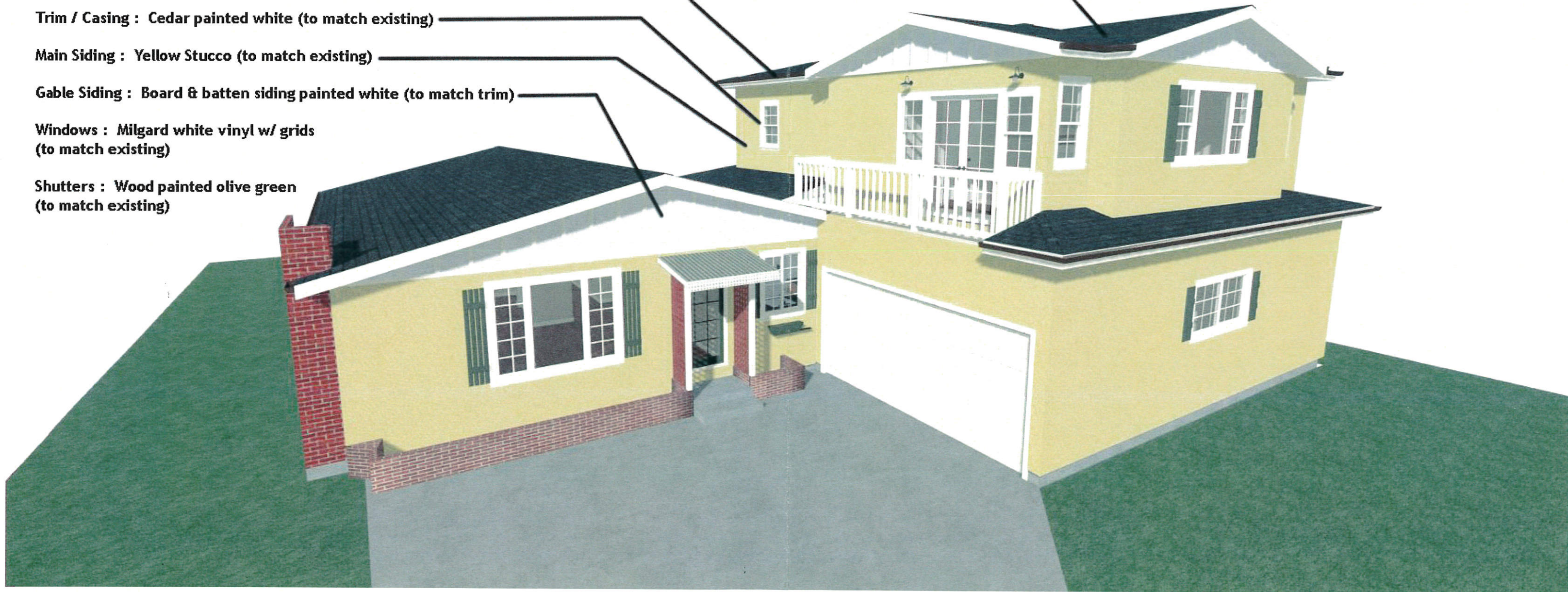
Trim / Casing : Cedar painted white (to match existing)

Main Siding : Yellow Stucco (to match existing)

Gable Siding : Board & batten siding painted white (to match trim)

Windows : Milgard white vinyl w/ grids
(to match existing)

Shutters : Wood painted olive green
(to match existing)

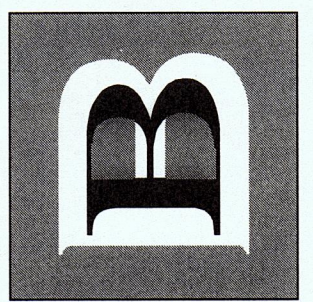


PLN2015-00289

ADDITION TO (E) SINGLE FAMILY HOME: YEE RESIDENCE

439 VERMONT AVENUE, MOSS BEACH, CA

BRIAN BRINKMAN
DRAFTING & DESIGN
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Pacifica, CA 94044
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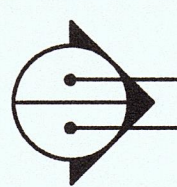
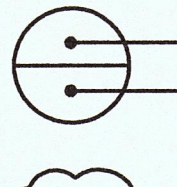
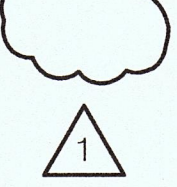
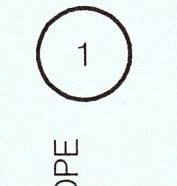
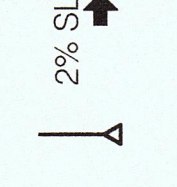
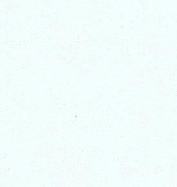
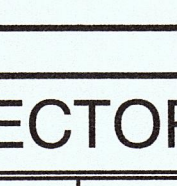
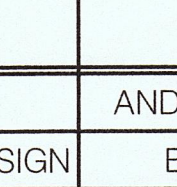
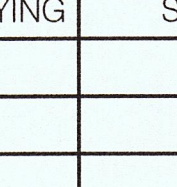


ABBREVIATIONS			
@	AT	N	NORTH
#	NUMBER	(N)	NEW
AB	ANCHOR BOLT	N/A	NOT APPLICABLE
A/C	AIR CONDITIONER	NA	NOT AVAILABLE
AFF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NOM	NOMINAL
ASF	ABOVE SUBFLOOR	NR	NON-RATED
AS	ABOVE SLAB	NSF	NET SQUARE FEET
		NTS	NOT TO SCALE
BLDG	BUILDING	O	OVEN
BLK	BLOCK	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BM	BEAM	OD	OUTSIDE DIAMETER OR OVERFLOW DRAIN
BOT	BOTTOM	OFF	OFFICE
CAB	CABINET	OPNG	OPENING
CB	CATCH BASIN	OH	OVERHANG
CL	CENTERLINE	O/H	OVERHEAD
CLG	CEILING	OPP	OPPOSITE
CLST	CLOSET	PL	PLATE OR PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
CO	CLEAN OUT	PR	PAIR
COL	COLUMN	PT	POINT OR PRESSURE TREATED
CONC	CONCRETE	R	RADIUS
CONT	CONTINUOUS	RAG	RETURN AIR GRILLE
D	DRYER	RD	ROOF DRAIN
DBL	DOUBLE	REF	REFRIGERATOR
DEPT	DEPARTMENT	REINF	REINFORCED OR REINFORCEMENT
DEG	DEGREES	REQD	REQUIRED
DIA	DIAMETER	REV	REVISION
DIM	DIMENSION	RHB	RADIANT HEATING BOILER
DN	DOWN	RM	ROOM
DR	DOOR	RO	ROUGH OPENING
DS	DOWNSPOUT	ROW	RIGHT-OF-WAY
DW	DISHWASHER	S	SOUTH
DWG	DRAWING	SB	SETBACK
(E)	EXISTING	SCHED	SCHEDULE
EA	EACH	SD	SMOKE DETECTOR OR STORM DRAIN
ELEC	ELECTRICAL	SF	SQUARE FEET OR SQUARE FOOT
ELEV	ELEVATION	SH	SHOWER HEAD
ENG	ENGINEER	SHT	SHEET
EQPT	EQUIPMENT	SHWR	SHOWER
EXT	EXTERIOR	SHTG	SHEATHING
FAU	FORCED AIR UNIT	SIM	SIMILAR
FAR	FLOOR AREA RATIO	SL	SLIDING
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FF	FINISHED FLOOR	SQ	SQUARE
FIN	FINISH	SS	SANITARY SEWER
FL	FLOOR	STL	STEEL
FLUOR	FLUORESCENT	STOR	STORAGE
FOUND	FOUNDATION	STRUCT	STRUCTURAL
FP	FIREPLACE	SUB	SUBCONTRACTOR
FT	FOOT OR FEET	SUBFLR	SUBFLOOR
FTG	FOOTING	SW	SHEAR WALL
FURN	FURNACE	SYM	SYMMETRICAL
G	GAS	T	TILE, TREAD, TOP, OR TRANSFORMER
GA	GAUGE	T & G	TONGUE AND GROOVE
GALV	GALVANIZED	TBD	TO BE DETERMINED
GC	GENERAL CONTRACTOR	TEL	TELEPHONE
GD	GARBAGE DISPOSAL	THK	THICK
GL	GLASS	TO	TOP OF
GR	GRADE	TOC	TOP OF CURB
GYP BD	GYPSUM BOARD	TOP	TOP OF PLATE
HC	HANDICAP	TOS	TOP OF SUBFLOOR
HDR	HEADER	TOW	TOP OF WALL
HDWD	HARDWOOD	TP	TOP OF PAVEMENT
HT	HEIGHT	TV	TELEVISION
HORIZ	HORIZONTAL	TYP	TYPICAL
HR	HOUR	UNO	UNLESS NOTED OTHERWISE
INSUL	INSULATION	VERT	VERTICAL
INT	INTERIOR	W	WEST, WASHER, OR WATER
JT	JOINT OR JOINT TRENCH	W/	WITH
LINEN	LINEN CLOSET	WC	WATER CLOSET
LAM	LAMINATE	WD	WOOD
LAV	LAVATORY	WH	WATER HEATER
LT	LIGHT	W x H	WIDTH BY HEIGHT
MAX	MAXIMUM	WNDW	WINDOW
MECH	MECHANICAL	W/O	WITHOUT
MFR	MANUFACTURER	WP	WATERPROOF
MH	MANHOLE	WR	WATER RESISTANT
MIN	MINIMUM	WT	WEIGHT
MISC	MISCELLANEOUS		
MLDG	MOULDING		
MTD	MOUNTED		
MTL	METAL		

PROJECT SCOPE
SINGLE STORY ADDITION BEHIND (E) GARAGE, AND PARTIAL 2-STORY ADDITION OVER (E) GARAGE, AT (E) SINGLE STORY, SINGLE FAMILY HOME.

PLANNING DATA
PROJECT COMMON ADDRESS: 439 VERMONT AVENUE MOSS BEACH, CA 94038
ASSESSOR'S PARCEL NUMBER: 037-133-170
ZONING: R-1/S-17 COMBINING DISTRICT (MIDCOAST)

BUILDING CODE DATA
TYPE OF OCCUPANCY: R3/U
CONSTRUCTION TYPE: VB
BEARING AND NON-BEARING WALLS (LESS THAN 5' FROM PROPERTY LINE): 1-HOUR
OPENINGS NOT PERMITTED LESS THAN 3' FROM PROPERTY LINE
NUMBER OF STORIES: 2
ALL WORK TO CONFORM TO 2013 CRC, CBC, CFC, CPC, CMC, CEC, 2013 CALIFORNIA ENERGY CODE, AND 2013 CGBC

SYMBOLS	
	SECTION CUT, DETAIL NUMBER
	SHEET ON WHICH IT OCCURS
	DETAIL NUMBER
	SHEET ON WHICH IT OCCURS
	REVISION CLOUD
	REVISION NUMBER
	GRIDLINE IDENTIFICATION
	DOWNSLOPE INDICATION
	SHOWER HEAD

PROJECT DIRECTORY			
SERVICE	COMPANY	CONTACT	TELEPHONE
APPLICANT / OWNER	-	ANDREW / MELANIE YEE	(650) 728-7805
DRAFTING / DESIGN	BRIAN BRINKMAN DRAFTING & DESIGN	BRIAN BRINKMAN	(650) 922-7993
SURVEYOR	SAVIOR P MICALLEF LAND SURVEYING	SAVIOR MICALLEF	(805) 709-2423

PROJECT NOTES

PROJECT INFORMATION	
LOT SIZE	7,800 SF
(E) LOT COVERAGE	1,987 SF / 7,800 SF = 25.47%
(N) LOT COVERAGE	2,524 SF / 7,800 SF = 32.36%
(E) 1ST FLOOR (TOTAL) LIVING AREA	1,411 SF (CONDITIONED)
(E) FLOOR AREA RATIO (F.A.R.)	1,411 + 576 = 1,987 1,987 / 7,800 = 0.2547 (0.53 MAX)
(N) 1ST FLOOR LIVING AREA	1,999 SF (CONDITIONED)
(N) 2ND FLOOR LIVING AREA	769 SF (CONDITIONED)
(N) TOTAL LIVING AREA	2,768 SF (CONDITIONED)
ADDED LIVING AREA	2,768 - 1,411 = 1,357 SF (CONDITIONED)
(E) GARAGE AREA	576 SF (UN-CONDITIONED)
(N) GARAGE AREA	494 SF (UN-CONDITIONED)
(N) FLOOR AREA RATIO (F.A.R.)	1,999 + 769 + 494 = 3,262 3,262 / 7,800 = 0.4182 (0.53 MAX)

DRAWING INDEX	
ARCHITECTURAL	
A0.0	TITLE SHEET
A1.0	ORIGINAL SITE SURVEY
A1.1	SITE PLAN
A2.1	EXISTING FLOOR PLAN
A2.2	EXISTING ROOF PLAN
A3.1	PROPOSED 1ST FLOOR PLAN
A3.2	PROPOSED 2ND FLOOR / LOWER ROOF PLAN
A3.3	PROPOSED UPPER ROOF PLAN
A4.1	EXISTING AND PROPOSED FRONT (SOUTHEAST) ELEVATIONS
A4.2	EXISTING AND PROPOSED LEFT (SOUTHWEST) ELEVATIONS
A4.3	EXISTING AND PROPOSED REAR (NORTHWEST) ELEVATIONS
A4.4	EXISTING AND PROPOSED RIGHT (NORTHEAST) ELEVATIONS

REV	DATE	DESCRIPTION
0	07/01/15	PRE-APPLICATION MEETING
1	07/15/15	PLANNING SUBMITTAL
2	04/12/16	PLANNING RESUBMITTAL

PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE**

PROJECT ADDRESS:
**439 VERMONT AVENUE
MOSS BEACH, CA 94038**

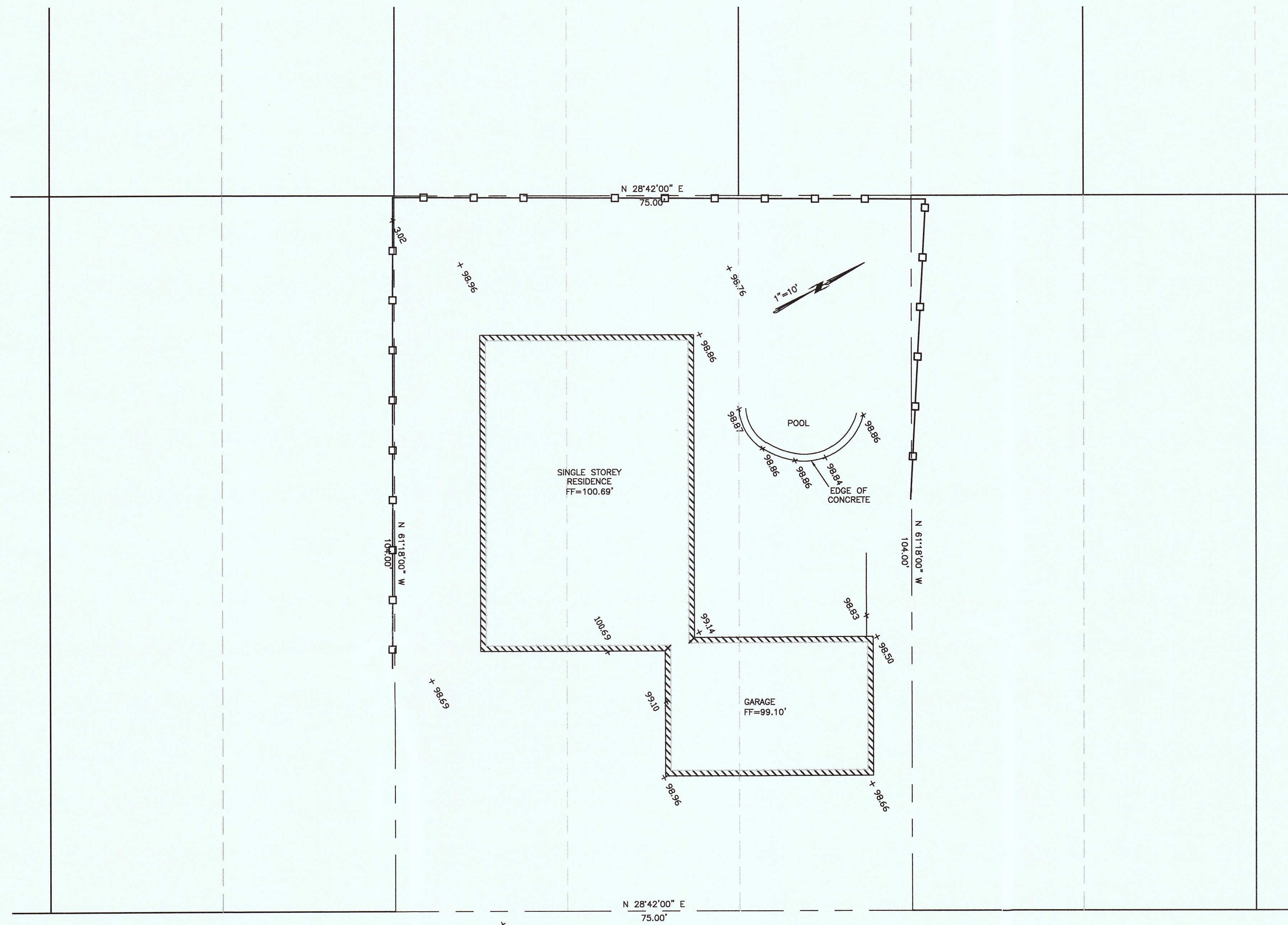
PROJECT SCOPE:
**1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE**

SHEET TITLE:
TITLE SHEET

RECEIVED
MAY 23 2016
San Mateo County
Planning and Building Department

SHEET:
A0.0

PLN2015-00289



VERMONT AVENUE
(50' WIDE)

BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS SITE SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MAY 2015. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN OR PLOTTED. EASEMENTS MAY EXIST.



SAVOR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

DATE

SAVOR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/709-2423

SITE SURVEY OF 439 VERMONT AVENUE
(APN 037-133-170, DOC. NO. 98-036706)

CALIFORNIA

SAN MATEO COUNTY

CITY OF MOSS BEACH

Revisions

No.

Date 05-08-15

Scale 1"=10'

Design SPM

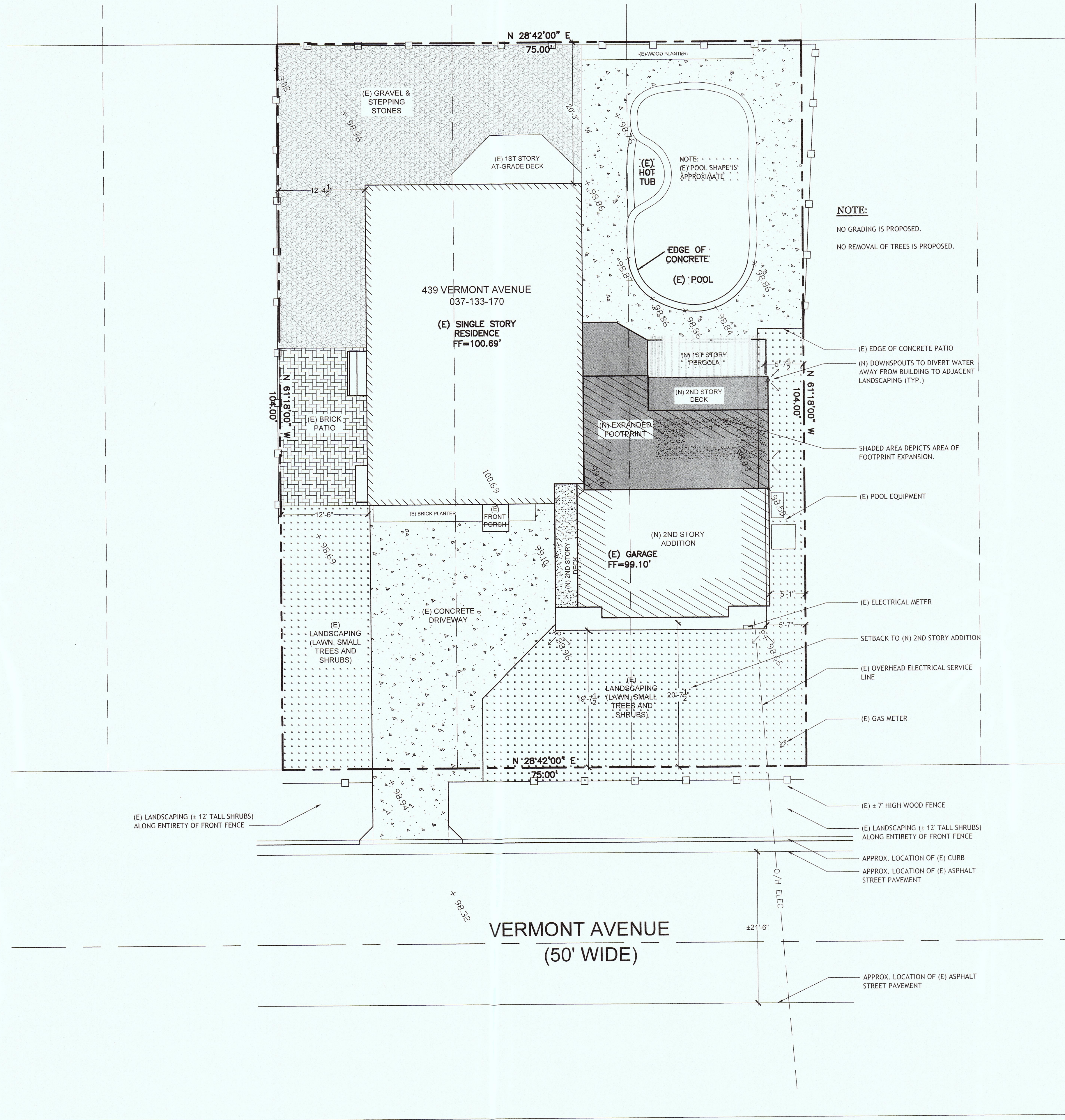
Drawn SPM

Approved SPM

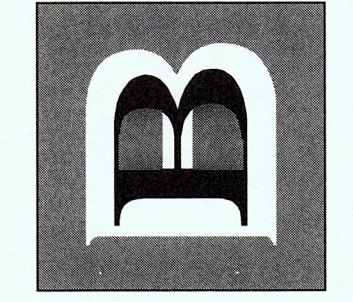
Job No.

Drawing Number:

1 OF 1



BRIAN BRINKMAN
DRAFTING & DESIGN
648 Navarre Drive
Pacific, CA 94044
(650) 922-7993



REV	DATE	DESCRIPTION
0	07/01/15	PRE-APPLICATION MEETING
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PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE**

PROJECT ADDRESS:
**439 VERMONT AVENUE
MOSS BEACH, CA 94038**

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
**NEW SITE
PLAN**

SHEET:
A1.1


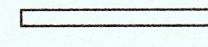


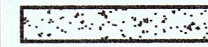
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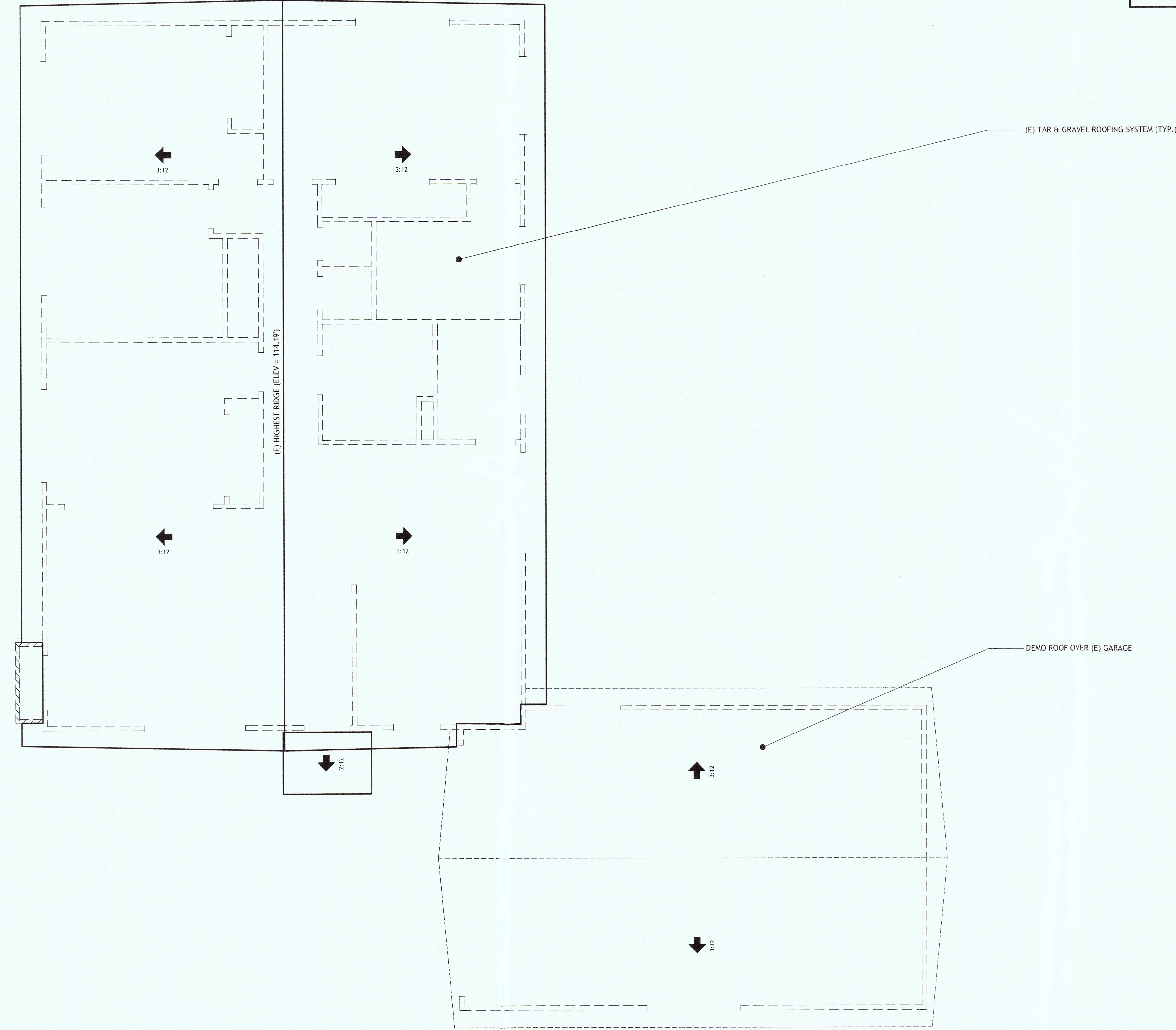
- MAX FLOW RATE OF SHOWERHEADS SHALL BE 2.0 GPM
- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.5 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
- ALL TOILETS SHALL BE MAX 1.28 GPF

EGRESS NOTE:

AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:

- MIN. 5.7 SF IN OVERALL SIZE
- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL OR DECK RAILING TO REMAIN
	PROPOSED STUD WALL
	PROPOSED 42" HIGH STUD WALL
	EXISTING / PROPOSED CONCRETE WALL



REV	DATE	DESCRIPTION
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PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE**

PROJECT ADDRESS:
439 VERMONT AVENUE
MOSS BEACH, CA 94038

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
**EXISTING
ROOF PLAN**

SHEET:
A2.2

NEW PLUMBING FIXTURE NOTES:

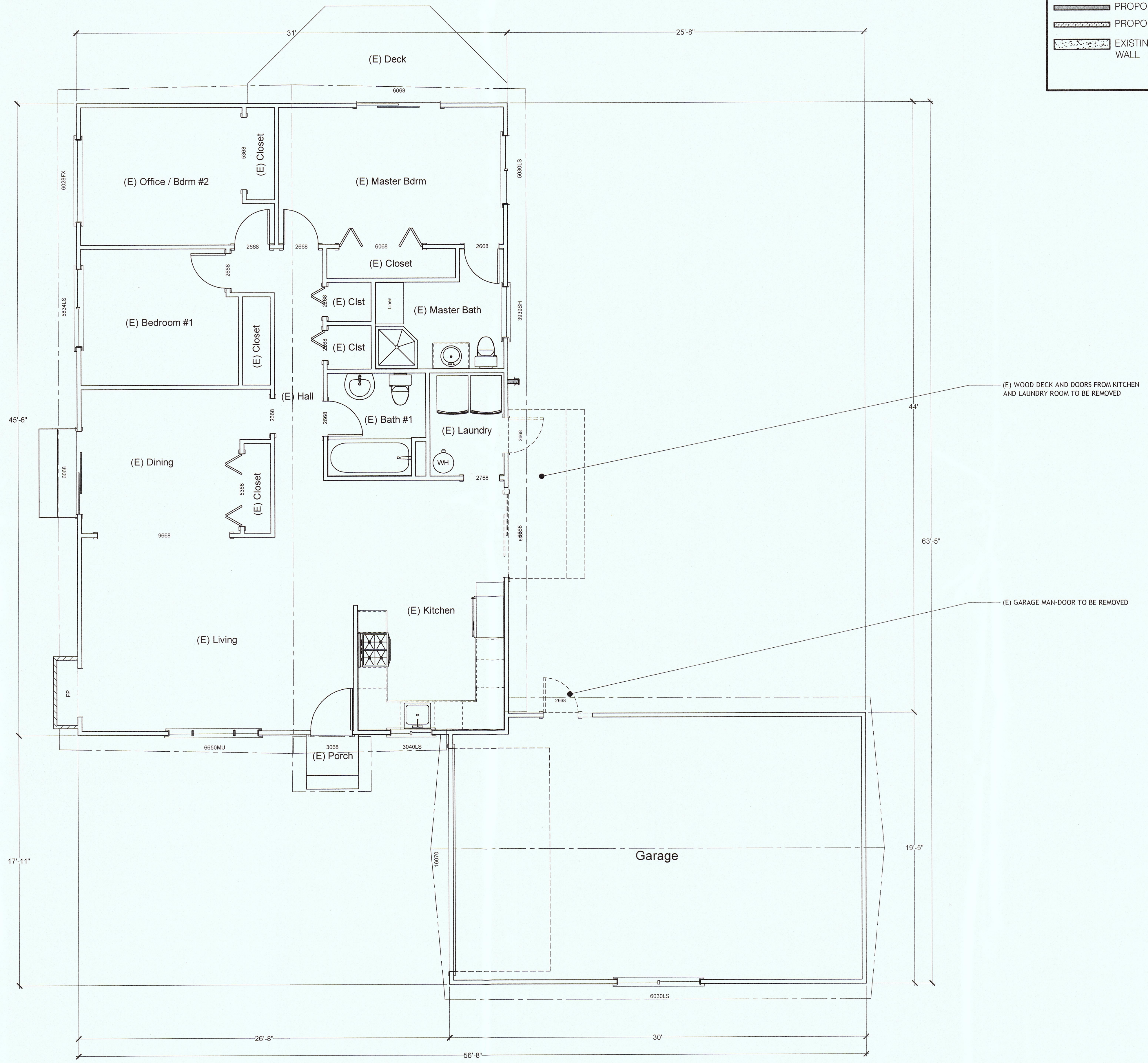
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PROJECT NAME:
ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE

PROJECT ADDRESS:
 439 VERMONT AVENUE
 MOSS BEACH, CA 94038

PROJECT SCOPE:
 1-STORY ADDITION BEHIND (E)
 GARAGE AND 2ND STORY
 ADDITION ABOVE (E) GARAGE

SHEET TITLE:
EXISTING FLOOR PLAN

SHEET:
A2.1

1
A2.1 **EXISTING FLOOR PLAN**
 SCALE: 1/4" = 1'-0"

BRIAN BRINKMAN
 DRAFTING & DESIGN

648 Navarre Drive
 Pacifica, CA 94044
 (650) 922-7993

NEW PLUMBING FIXTURE NOTES:

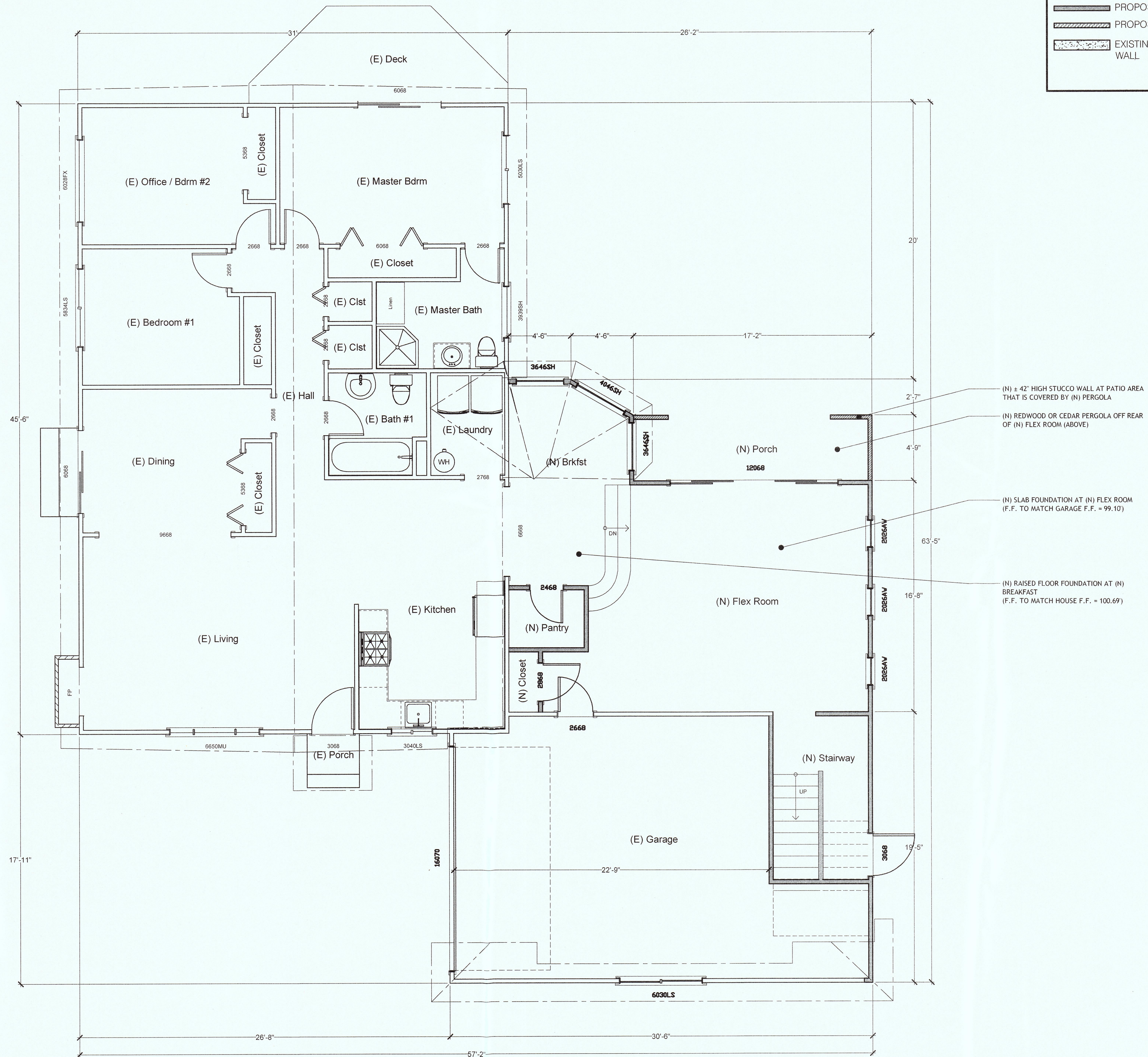
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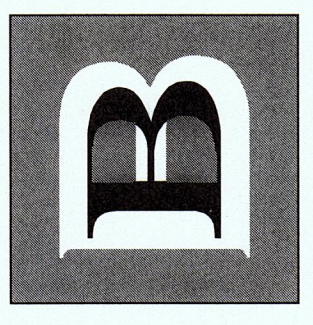
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PROJECT NAME: **ADDITION TO SINGLE FAMILY HOME : YEE RESIDENCE**

PROJECT ADDRESS: **439 VERMONT AVENUE MOSS BEACH, CA 94038**

PROJECT SCOPE: **1-STORY ADDITION BEHIND (E) GARAGE AND 2ND STORY ADDITION ABOVE (E) GARAGE**

SHEET TITLE: **PROPOSED 1ST FLOOR PLAN**

SHEET: **A3.1**

1 **PROPOSED 1ST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

NEW PLUMBING FIXTURE NOTES:

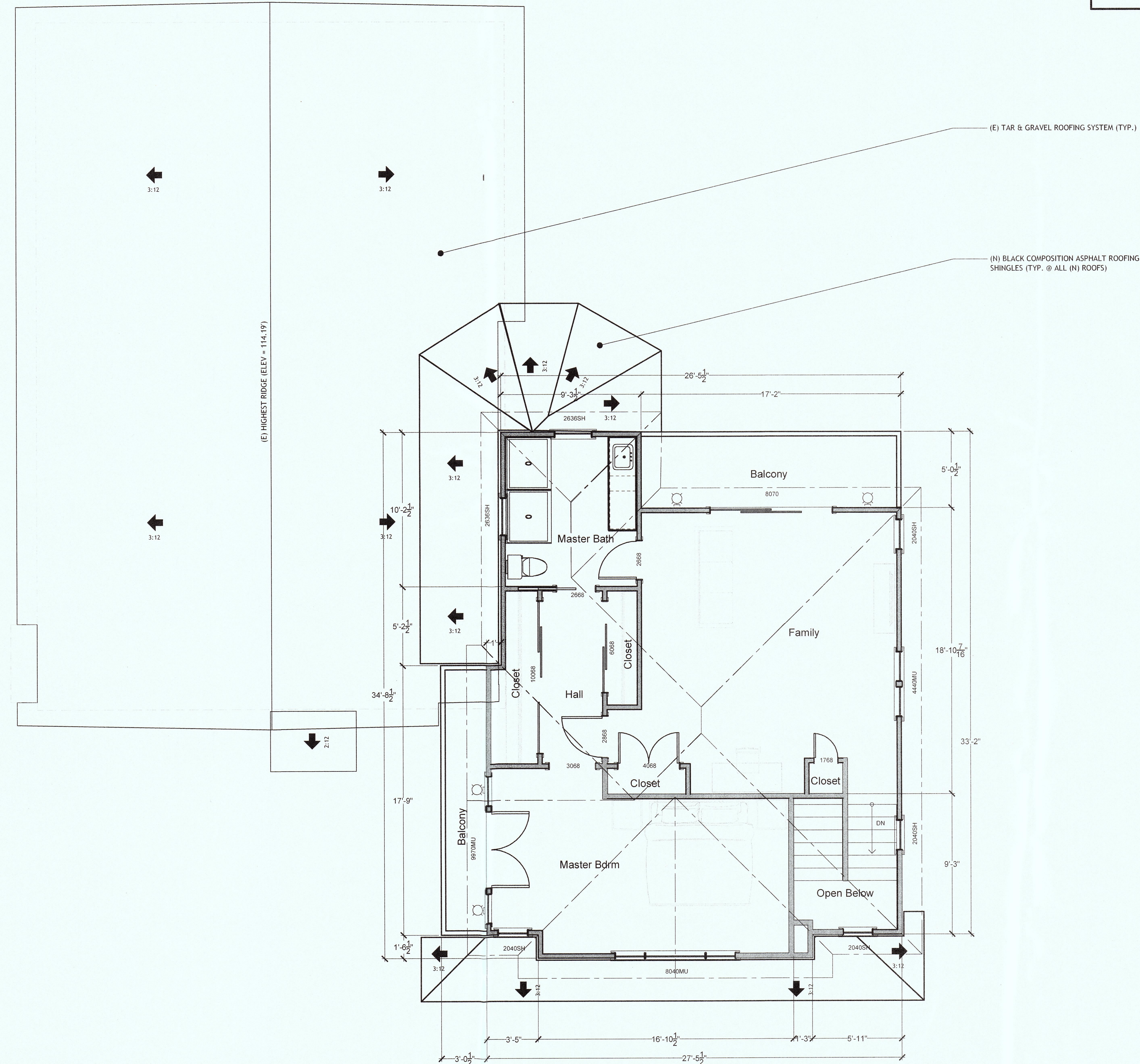
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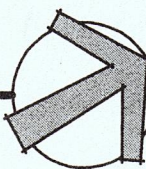
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	PROPOSED 42" HIGH STUD WALL
	EXISTING / PROPOSED CONCRETE WALL



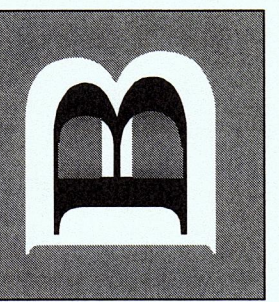
PROPOSED 2ND FLOOR / LOWER ROOF PLAN

1
A3.2



SCALE: 1/4" = 1'-0"

BRIAN BRINKMAN
DRAFTING & DESIGN
648 Navarre Drive
Pacifica, CA 94044
(650) 922-7993



REV	DATE	DESCRIPTION
0	07/01/15	PRE-APPLICATION MEETING
1	07/15/15	PLANNING SUBMITTAL
2	04/12/16	PLANNING RESUBMITTAL

PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE**

PROJECT ADDRESS:
439 VERMONT AVENUE
MOSS BEACH, CA 94038

SHEET TITLE:
**PROPOSED
2ND FLOOR /
LOWER ROOF
PLAN**

SHEET:
A3.2

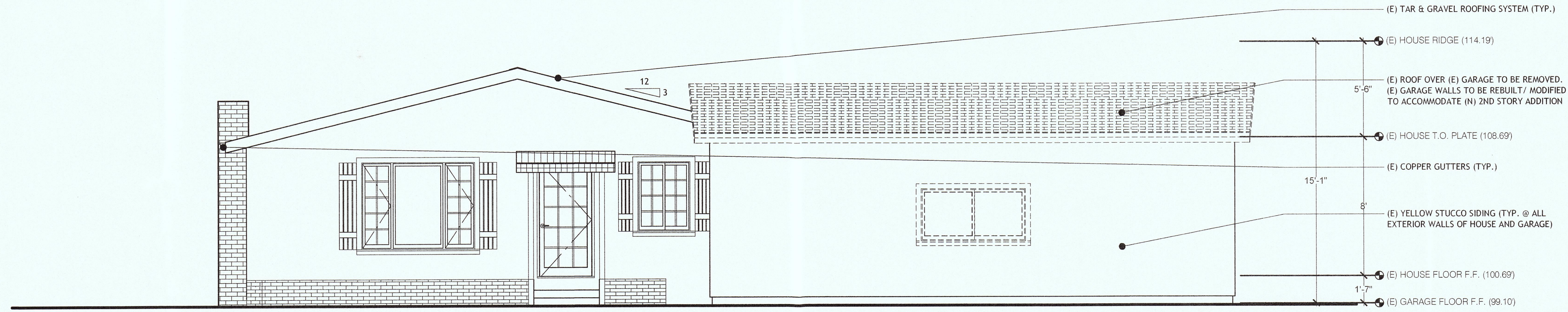
PLUMBING FIXTURE NOTES:

- MAX FLOW RATE OF SHOWERHEADS SHALL BE 2.0 GPM
- MAX FLOW RATE OF LAVATORY FAUCETS SHALL BE 1.5 GPM
- MAX FLOW RATE OF KITCHEN FAUCETS SHALL BE 1.8 GPM
- ALL TOILETS SHALL BE MAX 1.28 GPF

EGRESS NOTE:

AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:

- MIN. 5.7 SF IN OVERALL SIZE
- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR



1
A4.1 EXISTING FRONT (SOUTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"



2
A4.1 PROPOSED FRONT (SOUTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE**

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

PROJECT ADDRESS:
439 VERMONT AVENUE
MOSS BEACH, CA 94038

SHEET TITLE:
**EXISTING AND
PROPOSED
FRONT
(SOUTHEAST)
ELEVATIONS**

SHEET:
A4.1


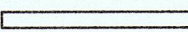
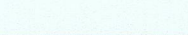
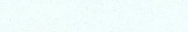

NEW PLUMBING FIXTURE NOTES:

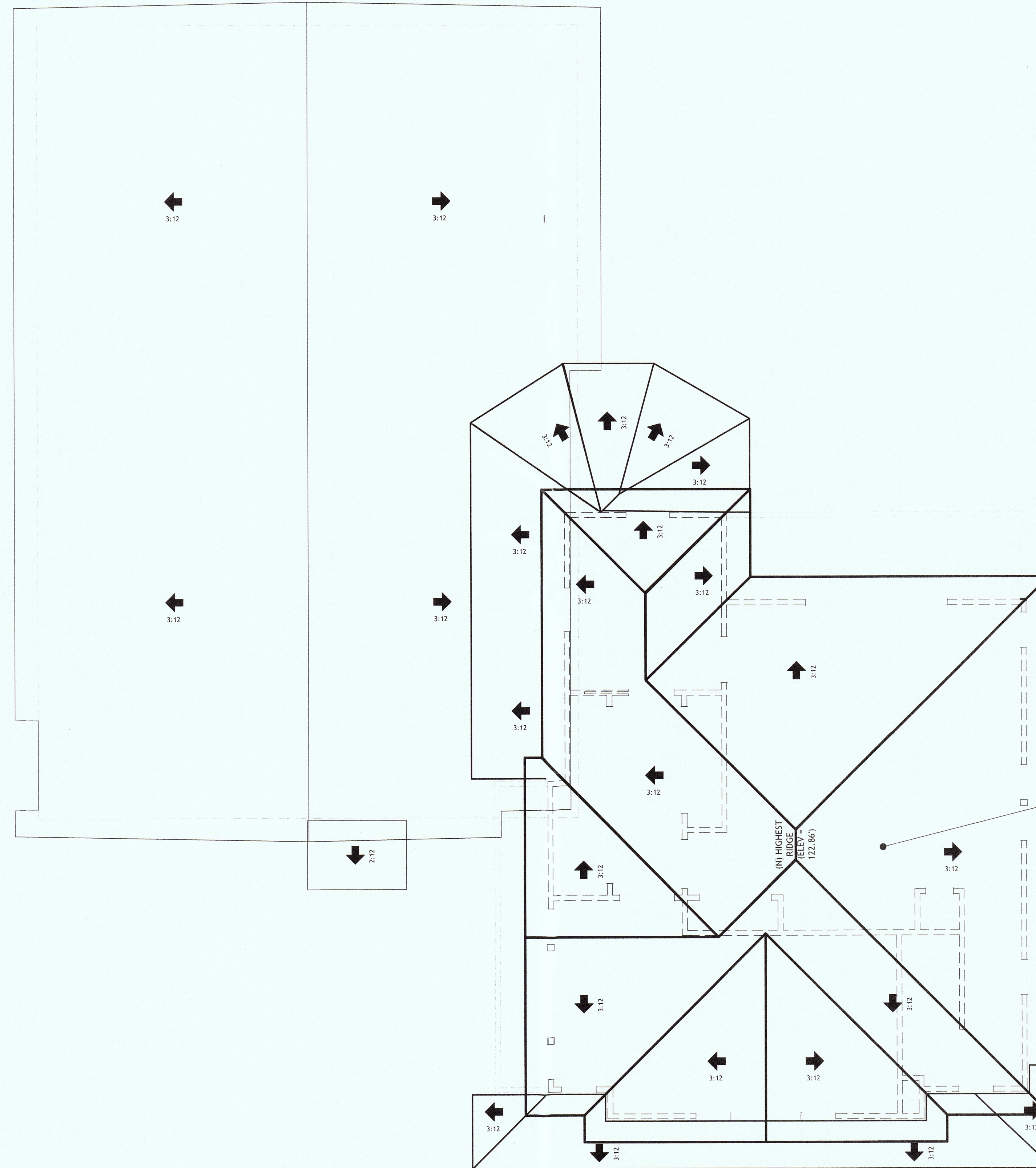
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EGRESS NOTE:

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- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL OR DECK RAILING TO REMAIN
	PROPOSED STUD WALL
	PROPOSED 42" HIGH STUD WALL
	EXISTING / PROPOSED CONCRETE WALL

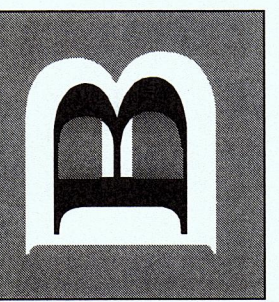


1
A3.3

PROPOSED UPPER ROOF PLAN

SCALE: 1/4" = 1'-0"

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PROJECT NAME:
**ADDITION TO SINGLE FAMILY HOME :
YEE RESIDENCE**

PROJECT ADDRESS:
439 VERMONT AVENUE
MOSS BEACH, CA 94038

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
**PROPOSED
UPPER ROOF
PLAN**

SHEET:
A3.3

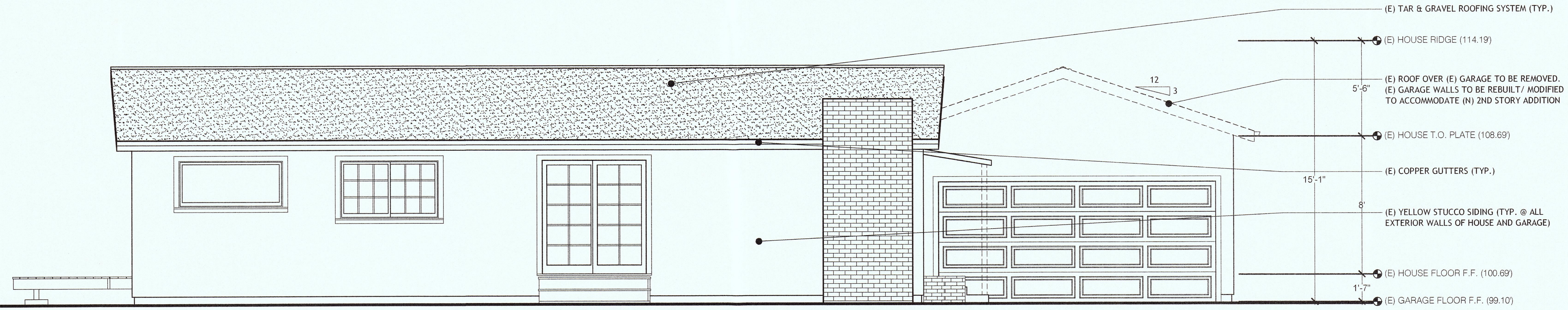
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EGRESS NOTE:

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- MIN. 24" CLEAR OPENING HEIGHT
- MIN. 20" CLEAR OPENING WIDTH
- SILL A MAX. OF 44" ABOVE FINISHED FLOOR



1
A4.2 EXISTING LEFT (SOUTHWEST) ELEVATION
SCALE: 1/4" = 1'-0"



2
A4.2 PROPOSED LEFT (SOUTHWEST) ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
**EXISTING AND
PROPOSED
LEFT
(SOUTHWEST)
ELEVATIONS**

SHEET:
A4.2

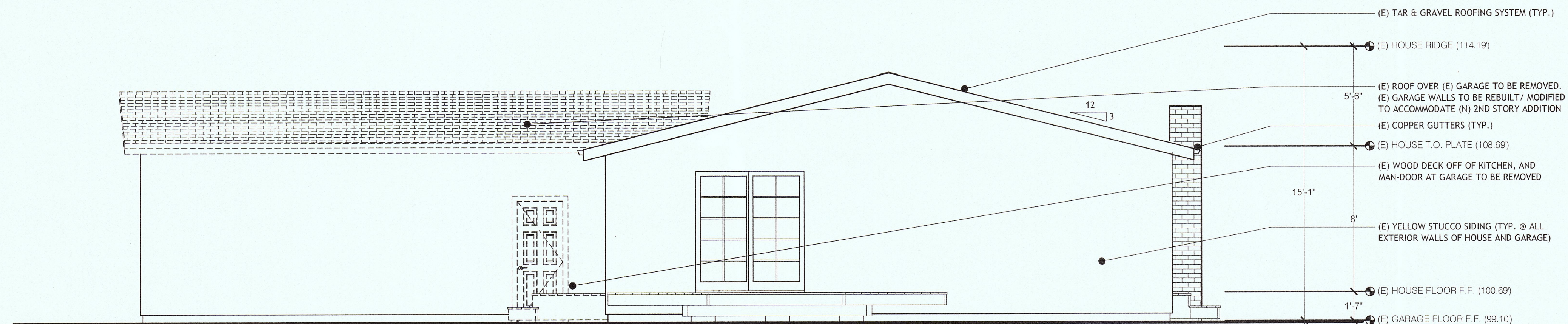
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EGRESS NOTE:

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- SILL A MAX. OF 44" ABOVE FINISHED FLOOR



1
A4.3 EXISTING REAR (NORTHWEST) ELEVATION
SCALE: 1/4" = 1'-0"



2
A4.3 PROPOSED REAR (NORTHWEST) ELEVATION
SCALE: 1/4" = 1'-0"

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MOSS BEACH, CA 94038

PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
**EXISTING AND
PROPOSED
REAR
(NORTHWEST)
ELEVATIONS**

SHEET:
A4.3

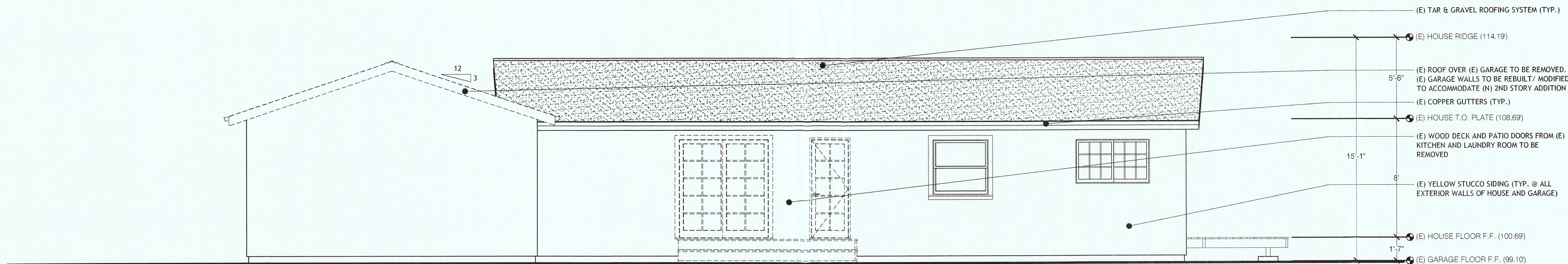
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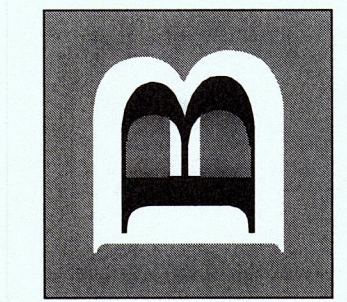


1
A4.4 EXISTING RIGHT (NORTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"



2
A4.4 PROPOSED RIGHT (NORTHEAST) ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT SCOPE:
1-STORY ADDITION BEHIND (E)
GARAGE AND 2ND STORY
ADDITION ABOVE (E) GARAGE

SHEET TITLE:
**EXISTING AND
PROPOSED
RIGHT
(NORTHEAST)
ELEVATIONS**

SHEET:
A4.4