

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4349

Permit #: PLN 2016-00007

Other Permit #: _____

Applicant:

Name: Anthony & Aulanda Stoloski

Address: ~~729~~ 729 MAIN ST

Half Moon Bay Zip: 94019

Phone, W: 650-823-0101 H: _____

Email: _____

Owner (if different from Applicant):

Name: SAME

Address: _____

Zip: _____

Phone, W: _____ H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: Anne Eustis Design, Inc

Address: 3414 Scenic Dr NAPA, CA Zip: 94558

Phone, W: 707-251-9500 H: _____ Email: anne_eustis@yahoo.com

Project location:

APN: 037-065-100

Address: 425 Sierra St.

Moss Beach CA Zip: 94038

Zoning: R-1/S17/DR/CD

Parcel/lot size: 7,500 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

Project:

- New Single Family Residence: 2208 sq. ft
- Addition to Residence: _____ sq. ft
- Other: Garage & Workshop 1023 SF

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

New Single Family Res,
Garage & Workshop.

Fill in Blanks:

Material

Color/Finish

Check if matches existing

(If different from existing, attach sample)

a. Exterior walls	Hardie Siding, Board & Bolt	Blue Nova	<input type="checkbox"/>
b. Trim	2x4	white	<input type="checkbox"/>
c. Windows	Vinyl - white	white	<input type="checkbox"/>
d. Doors			<input type="checkbox"/>
e. Roof	Comp shingle	Slate Gray	<input type="checkbox"/>
f. Chimneys			<input type="checkbox"/>
g. Decks & railings	Wood		<input type="checkbox"/>
h. Stairs	Wood		<input type="checkbox"/>
i. Retaining walls	CMU		<input type="checkbox"/>
j. Fences	Cedar		<input type="checkbox"/>
k. Accessory buildings	/		<input type="checkbox"/>
l. Garage/Carport	/		<input type="checkbox"/>

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Anthony Stoloski

Owner:



Applicant:

1-7-16

Date:

1-7-16

Date:

Design Review Application Submittal Checklist

During the Design Stage, this checklist is intended to be used by the Applicant up to the time of the submittal of a complete application to the Current Planning Staff. This checklist is used to certify Pre-application Conference Attendance and to help the Applicant compile all the materials and information required for complete application submittal. At the time of project submittal, the Applicant should bring this checklist to the Planning Counter Staff, as this checklist will be used to review the completeness of the application submittal.

DESIGN STAGE

1. DESIGN SHALL CONFORM TO APPLICABLE REGULATIONS AND STANDARDS

The following samples are enclosed in this packet to illustrate materials required for application (see application requirements):

- a. *Maximum Building Heights in Unincorporated San Mateo County*
- b. *Survey Sample*
- c. *Sample Primary Building Elevation (Guidance for Presentation of Color and Exterior Material Samples)*

Other regulations and standards are available at the Planning and Building Department's Website and at the Planning Counter:

- a. *Midcoast Design Review Standards*
- b. *Design Review (DR) Zoning District Regulations (includes Bayside DR Standards and Required Findings for Permit Approval)*
- c. *Coastside Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications*

2. PRE-APPLICATION CONFERENCE REQUIREMENT

Prior to finalizing the design of a project in the Design Review District and submitting an application for Design Review, the project designer (which can be the owner) must participate in a pre-application conference with a planner. The purpose of the pre-application conference is to assure that the designer and owner are aware of the design standards, expectations, and application requirements of the County prior to finalizing the design of a project. Applications which have not been signed for certification of pre-application attendance are considered incomplete and will not be accepted by the Current Planning Section. Pre-application conferences may be arranged by appointment by calling 650/363-1825.

CERTIFICATION OF CONFERENCE ATTENDANCE

On Dec. 15, 2015, the project designer/architect attended a pre-application conference in relation to the development project located at 455 County Center, 2nd floor

M. Schell

Planner

PRE 2015 - 00066

Pre-Application Case No.

Notes:

Note: Staff, please add pre-application project review notes as a parcel tag to the property.

APPLICATION STAGE

3. APPLICATION REQUIREMENTS

The following items are necessary for submittal of a complete application:

- a. Proof of owner's interest in property (copy of deed, tax bill, etc.).
- b. Completed Design Review Application Form.
- c. Owner's concurrence shall be provided if owner does not sign application.
- d. C.3 and C.6 Development Review Checklist (if project will result in 2,500 sq. ft. or more of impervious surface).
- e. Completed Environmental Information Form.
- f. Any required supplemental forms.
- g. Fees as set by resolution of the Board of Supervisors.
- h. A brief written explanation of how the design of the project conforms to the Design Review standards.
- i. Four (4) 8 1/2" x 11" color copies of exterior color/material (wall, trim, windows, accent). Include color chips from paint stores or manufacturers. Fire-rated materials are required in State Responsibility Areas (SRA) or Local Responsibility Areas (LRA). If specific materials are proposed, they must comply with this requirement.
- j. Five (5) full-scaled sets of preliminary drawings (not construction plans, minimum 18" x 24" paper size).
- k. One (1) set of 8 1/2" x 11" paper reproductions of site plan, floor plans, building elevations and cross section.

one signed
5
6

- I. Coastside Design Review Districts: Electronic file of plans (prefer PDF of vector drawings) on disc.

PLAN SETS SHALL INCLUDE THE FOLLOWING INFORMATION:

SURVEYS

- o A stamped topographical and boundary survey prepared by a licensed land surveyor or a registered civil engineer (minimum scale of 1 inch = 10 feet). A stamped boundary survey is required for additions located less than 5 feet from a minimum setback line.
- o Survey(s) shall show baseline elevation datum point and its elevation as established by a licensed land surveyor or engineer. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural grade of the site or finished grade depending on the applicable zoning district; garage slab, finished first floor, peak roof elevation.

SITE PLAN (Based on Survey)

- o Information Table on Title Sheet showing: Assessor's Parcel Number/Address, Zoning District, parcel size, square footage of structures (existing and proposed), lot coverage with calculations (maximum allowed and proposed), and floor area ratio (FAR) with calculations (maximum allowed and proposed).
- o Property Lines: Clearly defined and accurate, including their respective linear lengths.
- o All existing and proposed improvements (clearly differentiated), including buildings, structures, decks, paving, fences, walls, etc. If, in the case of additions, minimum setback compliance is proposed, a focused boundary survey shall be submitted confirming the exact location of the existing and proposed addition's distance to the closest property line.
- o Dimensions of all setbacks from the structure to the property line.
- o Any easements (public and private) and utility lines. Access easement should be deducted from lot area for purposes of lot coverage and floor area ratio (FAR).
- o Existing grade and proposed grade contour lines as they relate to finished floor levels. Define grading and areas of disturbance by shading.
- o Height and location of all existing and new fences and walls.
- o Location and type of new and existing utility lines (this may be provided on a separate Utility Plan).
- o Tree Plan showing:
 - ◇ Bayside DR Districts (Emerald Lake Hills, Palomar Park, Devonshire): All existing trees 6" in diameter or 19" in circumference (significant trees). Number trees on plans and identify species/type.
 - ◇ Outside of Bayside DR Districts: All existing trees 12" in diameter or 38" in circumference (significant trees). Number trees on plans and identify species/type.

- ◇ Trees to be removed, as marked with an "X." List type and size here or attach a list:

- ◇ An arborist report is required for trees proposed for removal on the basis of poor health, potential hazard, or when a tree is proposed to remain and within 5 feet of a proposed structure.

- o New houses in Emerald Lake Hills: The location of two (2) guest parking stalls is required. Guest parking stalls are recommended elsewhere. If the garage/carport is located less than 20 feet from front property line, site plan shall be expanded to show how guest parking will be accommodated on- and/or off-site to the satisfaction of the Department of Public Works.

BUILDING ELEVATIONS

- o Minimum scale of 1/4 inch = 1 foot.
- o Natural grade clearly indicated on elevation plans in relation to all exterior walls.
- o Building heights (in feet with benchmark as the base reference) of all elevations, including garage, first floor and roof ridgelines.
- o Front, sides, and rear building elevations: In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.
- o Show decks, exterior lights, and other structures or fixtures.
- o Daylight Planes.
- o Identify type of roof and exterior materials to be used. Include manufacturer's brochure, if available. Fire-rated materials are required in fire hazard severity zones (a list of approved materials is available at the Planning Counter).

FLOOR PLANS

- o Show dimensions and floor area calculations of each floor.
- o In cases of additions/alterations to existing buildings, the existing and proposed development shall be clearly differentiated.

- BUILDING CROSS SECTION:** Short and long cross sections showing maximum height, with elevation callouts of first floor, finished grade, and ridge height. Elevation callouts shall be consistent with the datum point provided on survey.

GRADING PLAN:

- o Include amounts of cut and fill in cubic yards. Total = Cut + Fill.
- o A soils report is required for grading permits. See Grading Regulations.

- ROOF PLAN:** Include ridgeline elevations.

ACCESS AND DRAINAGE PLANS (Required by the Department of Public Works):

- o Driveway profile (stipulating driveway slope), from centerline of roadway to garage slab: Minimum 20-foot wide access from the public road and driveway profile with a maximum slope of 20%.
- o Site Distance Study by civil engineer (required on a case-by-case basis).
- o Drainage Plans.

ADDITIONAL SUBMITTAL REQUIREMENTS:

LIGHTING:

- o Exterior lighting shall be minimized and designed with a specific activity in mind so that outdoor areas will be illuminated no more than necessary to support the activity designed for that area.
- o Include manufacturer's brochure(s) of all exterior light fixtures: Exterior lighting should be subdued and indirect, and glaring fixtures should be avoided. Low-level lighting directed at the ground is preferred.

LANDSCAPE PLAN:

- o Landscape/tree replacement plan, including the location, size and type of replacement trees to be planted. (Removal of any significant tree shall be replaced at a 1:1 ratio on the Coastsides and up to 3:1 in the Bayside Design Review Districts.)
- o Coastsides Design Review Districts: All landscaping shall be drought-tolerant, and either native or non-invasive plant species. This requirement does not apply to fruit or vegetable gardens. Landscape plans shall include provisions for watering plants as needed to ensure initial plant growth. Plantings appropriate for the coastal climate should be selected. Placement of landscaping shall present a natural appearance (e.g., avoid linear configurations) and provide a smooth transition between development and open areas (e.g., planting of various heights).

PROJECT NOTICING STAGE (10 DAYS PRIOR TO HEARING)

4. NOTICING REQUIREMENTS

Applicant will be mailed a "NOTICE OF DESIGN REVIEW" cards which SHALL be posted on your parcel, visible from the street beginning ten (10) calendar days prior to and remaining posted through the date of your confirmed Design Review Committee hearing.

Please indicate party responsible for posting the sign here: _____

5. STORY POLES

Story Poles are required for Coastsides projects. See "*Coastsides Design Review Committee (CDRC) Policies on the Story Pole Installation and Major/Minor Modifications*," which outlines story pole requirements.

San Mateo County Planning & Building Department

Maximum Building Heights in Unincorporated San Mateo County

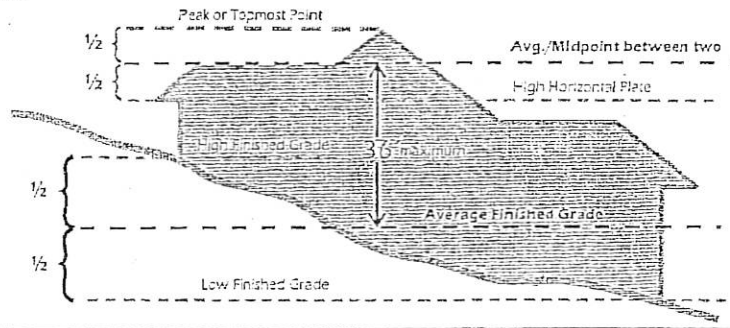
Heights Verification, per County procedures, is required for all homes, designed within 2 feet of the maximum height limit, and is required for all homes in Design Review Districts, regardless of proposed height. See Planner for additional information.

NOTE: All elevation exhibits shown below are intended only as examples to illustrate how height is generally calculated for the cited zoning districts; height compliance confirmation is applicable to all elevation plans (critical with variable topography). Always refer to the respective building height regulations for the applicable zoning district.

Zoning/Combining Districts: S-1 thru S-11, S-81, S-83, SS-103, S-108, RM RM-CZ, TPZ, TPZ-CZ, PAD:

35 ft./36 ft. Height Limit

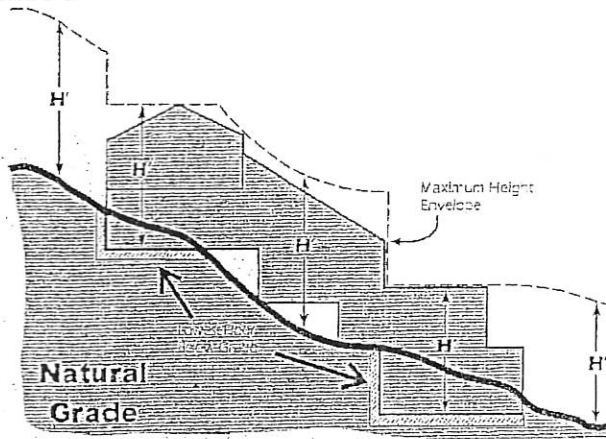
(Average Finished Grade to Average Roofline)



Zoning/Combining Districts: S-71, S-91, S-102, RH

28 ft. to 30 ft. Height Limit

(Natural Grade² (or lowest floor below grade) to topmost point of the building immediately above).



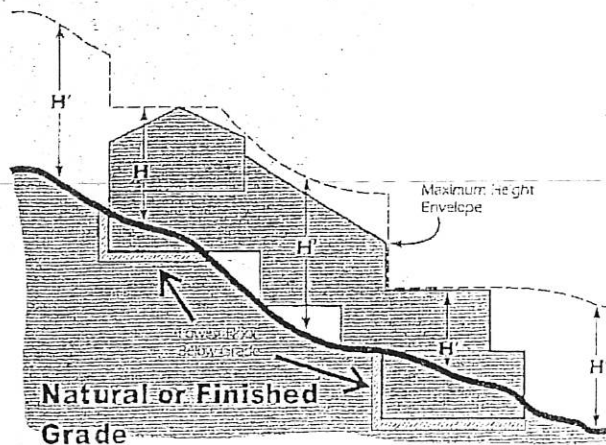
Zoning/Combining Districts: S-17, S-50, S-72 thru S-74, S-82, S-90, S-92 thru S-94, S-100, S-105

(Natural Grade² to topmost point of building immediately above).

28 ft. to 33 ft. Height Limit

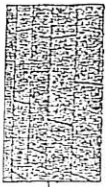
Zoning/Combining Districts: S-95, S-101, S-104, S-106, S-110

(Natural Grade² or Finished Grade¹ to topmost point of building immediately above, whichever is lower).



28 ft. to 30 ft. Height Limit

¹ Finished Grade (pursuit to sec. 6102.14) is defined as the topographic contours which result after completion of construction on the site. Average finished grade is the average level of the finished grade adjacent to building walls. The outer edges of projecting decks & balconies shall not be counted as "walls" if they are unenclosed below (supporting posts OK) & uncovered above. The average grade shall be calculated by topographic elevations noted at all building wall corners, noted both on the site plan & corresponding elevation plans.
² Natural Grade is defined as the topographic contours which exist prior to any disturbance related to construction on the site.



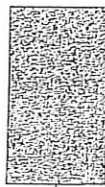
ROOFING: Asphalt composition shingles
Elk Presetique II Weathered wood color



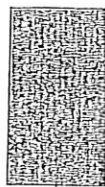
EXTERIOR TRIM: Painted wood
Kelly Moore "Graystone" KM-230



WINDOWS: Painted wood sash casements
Kolbe-Stolbe Heritage series-Kelly Moore "Graystone" KM-230



EXTERIOR WALLS: Cement Plaster-smooth finish
Western Blended Products, Sacramento Stucco - "Prairie Sage" #1017



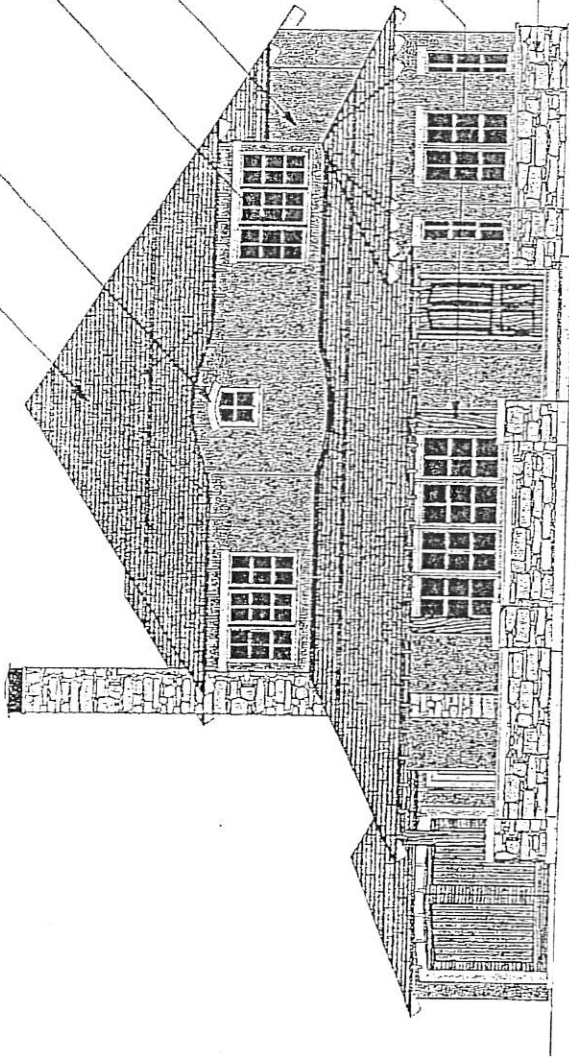
GARAGE DOORS: Natural wood roll-up doors
Douglas Fir rich top door - Clear polyurethane finish



PORCH POSTS: Natural wood
12X12 Douglas Fir #1-Walco natural linseed oil finish



CHIMNEY/MASONRY BASE: Natural stone veneers
Bonquet Canyon Ledgerslone-Patinsola Building Materials



SAMPLE PRIMARY BUILDING ELEVATION; Project Location

ABC Architects, Any Town, CA (650) 123-4567

The colors and materials represented here have been approved by the San Mateo County Design Review Board. Please call (650) 363-4161 with any questions, comments, or concerns.

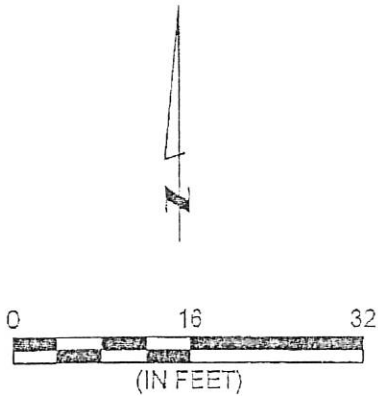
This is project #2003-0001. (psd/design review colors (dark wood).psd 7-12-04 sa)

San Mateo County Planning & Building Department

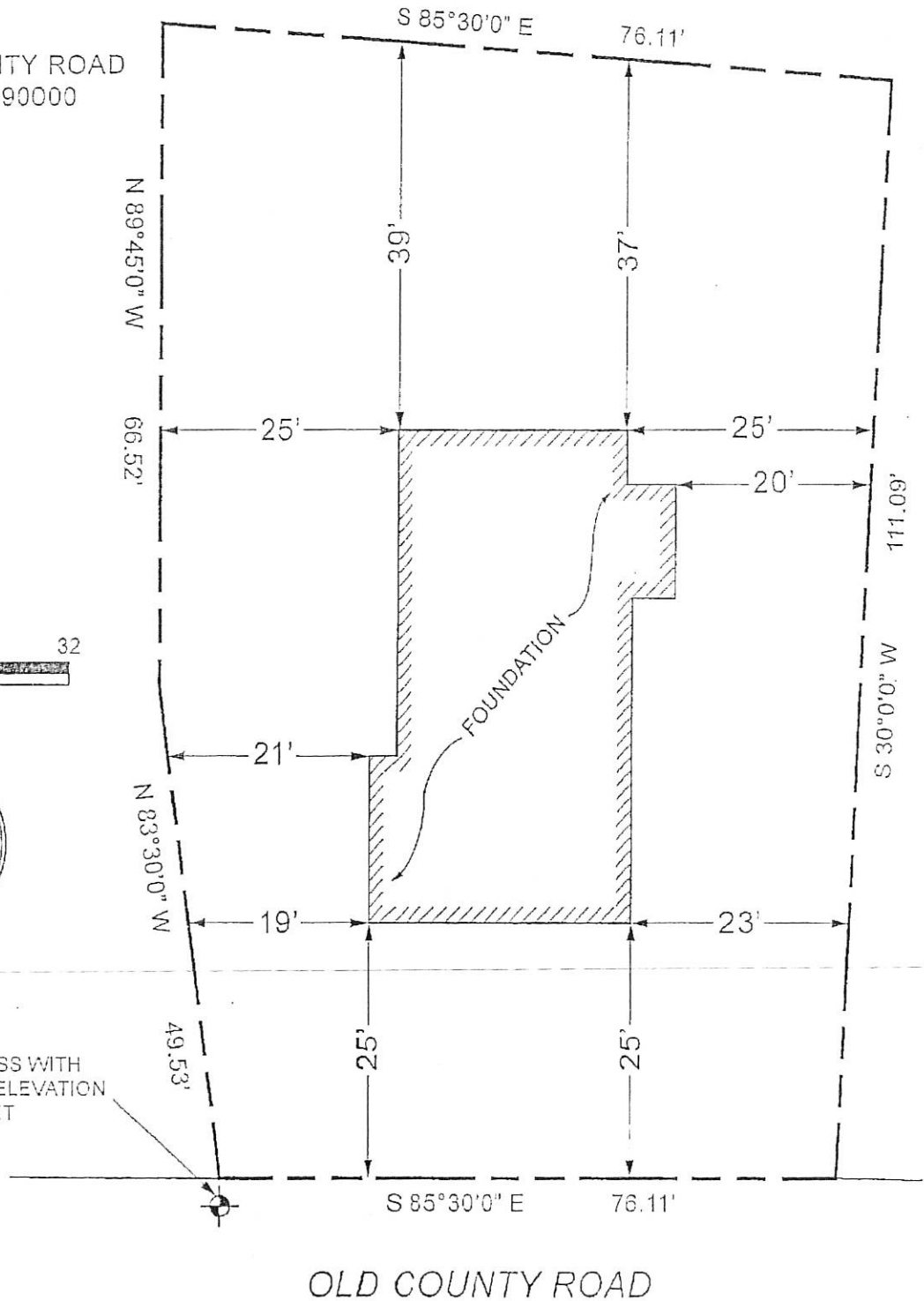
SURVEY SAMPLE

PROJECT SITE
12345 OLD COUNTY ROAD
ANYWHERE, CA 90000

APN
100-010-001



SCRIBED CROSS WITH
AN ASSUMED ELEVATION
OF 100.00 FEET



COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT

Survey Requirements
(For: Survey Professional)

Project Address: _____

Assessor's Parcel Number: _____

The front of this property for survey purposes is:

A Survey is always required for new construction within 5 feet of a required setback. For other cases of when a Survey is required, please contact Planning and Building staff.

The minimal information needed on a Site Planning Survey varies depending on the project. Below is to help define the minimal information needed by the Planning and Building Department based on the type of project proposed, and can be passed to the appropriate licensed professional for clarification.

REQUIRED		
Yes	No	
		PROPERTY LINES
		Front
		Rear
		Right Side
		Left Side
		Other
		EXISTING DEVELOPMENT - A minimum of 2 dimensions must be clearly indicated from each property line required above to the nearest existing development.
		Residence: <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory building (garage, carport, storage shed, playhouse, other): <input type="checkbox"/> front wall <input type="checkbox"/> rear wall <input type="checkbox"/> right wall <input type="checkbox"/> left wall <input type="checkbox"/> other
		Detached accessory structure (gazebo, trellis, fence, retaining wall, play structure, swimming pool, other).
		Driveways, paved areas (e.g., patios, parking areas).
		Well and/or septic system.
		NATURAL ENVIRONMENT
		Trees ($\geq 6"$ d.b.h. in Emerald Lake Hills area or $\geq 12"$ d.b.h. in any residential zoning district), show actual diameter at breast height and dripline
		Waterways
		Topographical contours, extent of topographical contours on-site.
		OTHER
		Benchmark with elevation identified (for height verification purposes). See <i>Height Verification Handout</i> for further details.

Please contact the San Mateo County Planning Department at 650/363-1825 with questions.

Environmental Information Disclosure Form

PLN 2016-00007
BLD _____

Project Address: 625 SIERRA ST
Moss Beach, CA 94031

Name of Owner: Anthony & Amanda Stobski

Address: 729 Main St.
Half Moon Bay Phone: (650) 823-010

Assessor's Parcel No.: 037-065-100

Name of Applicant: Anne Custer

Address: 3414 Scenic Dr.
Napa, CA 94558 Phone: 707-251-9500

Zoning District: R-1/S17/DR/CO

Existing Site Conditions

Parcel size: 7,500 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). No E. STRUCTURE

Medium Steep Lot. Poss. E Well Pad
E. Vegetation Crosses.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6' d.b.h. in Emerald Lake Hills area or ≥ 12' d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>305</u> c.y. Fill: <u>10</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Project Requires Grading

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

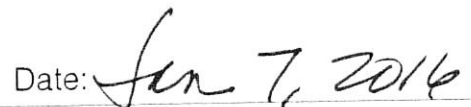
I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:



(Applicant may sign)

Date:



Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Certificate of Exemption
or Exclusion from a Coastal
Development Permit

Permit #: PLN 2016 - 00007
Permit #: BLD _____

Permanent Record
Microfilming Required

1. Basic Information

Owner
Name: Anthony & Amanda Stoloski
Address: 729 Main Street
Half Moon Bay
Zip: 94019
Phone, W: 650-823-010 H: _____
Email Address: _____

Applicant
Name: Anne Austin Design
Address: 3414 Scenic Dr
Napa, CA
Zip: 94558
Phone, W: 707-251-9500 H: _____
Email Address: anne_austin@yahoo.com

2. Project Information

Project Description:
New SF Res - 2208 St
Plus Garage & Workshop

Assessor's Parcel Number(s):
037-065-100

Existing water source:
 Utility connection _____
 Well _____
Proposed water source:
 Utility connection _____
 Well _____
Staking of well location and property lines are required.
 Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No
If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Owner Date Applicant Anne Austin Date 1-5-16

Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Application for a Grading Permit

Land Clearing Companion Page

Grading

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Applicant's Name: Anthony Soloski
Primary Permit #: PLN 2016-00007

Please fill out the general Planning Permit Application Form and this form when applying for a Grading Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information - Land Clearing

Land Clearing Operator

Name: SG Stoloski & Gonzalez
Address: 727 Main St
Half Moon Bay Zip: 94019
Phone: 650-726-7119
License #: 489175

Disposal Site: Soil Farm
Hwy 1
Half Moon Bay, CA 94019

Purpose of removal:
Grading for grazee & workshop pad.

- Area to be cleared: 305 sq. ft.
Average slope of area to be cleared:
Type of vegetation to be removed: Weeds & grasses

3. Land Clearing Plan Requirements

The land clearing plans must show:

- (1) Property lines.
(2) Location of area to be cleared.
(3) Existing structures
(4) Erosion control measures.

4. Grading Operator

Grading Operator

Name: same as above
Address:
Zip:
Phone:
License #:

Geotechnical Consultant

Name: SigmaPrime Geo
Address: 332 Princeton Ave
Half Moon Bay CA
Zip:
Phone: 650-728-3593
License #: C 62264

Civil Engineer

Name: _____

Address: _____

Zip: _____

Phone: _____

License #: _____

- ◆ Engineer's estimate of the quantity of materials to be moved:

cut: _____ cubic yards

fill: _____ cubic yards

Depth of cut: _____ ft.

Depth of fill: _____ ft.

- ◆ Haul site: _____

- ◆ Purpose of grading: _____

- ◆ List Assessor's parcel numbers of any adjacent property owned by the owner or applicant, now or in the past:

— —

— —

— —

Grading Plan Requirements

The grading plans, 24"x36", **prepared and signed by a civil engineer** shall contain the following:

- (1) All of the proposed uses for which the proposed grading is necessary.
- (2) Boundary lines of the site.
- (3) If there is a proposed subdivision, each lot or parcel of land into which the site is proposed to be divided.
- (4) The location of any existing buildings, structures, easements or underground utilities on the property where the work is to be performed and the location of any buildings or structures on adjacent land within 50 feet of the proposed work.
- (5) Accurate contours showing the topography of the existing ground extending at least 10 feet outside all boundary lines of the project site.
- (6) Elevations, locations, extent and slope of all proposed final grading shown by contours. Location of any rock disposal areas, buttress fills, subdrains, or other special features to be included in the work.
- (7) A statement of the quantities of material to be excavated and/or filled and the amount of such material to be imported to, or exported from, the site.

(8) Location and nature of known or suspected soil or geologic hazard areas.

(9) Specifications, cross-sections, profiles, elevations, dimensions and construction details based on accurate field data.

(10) Construction details for roads, watercourses, culverts, bridges and drainage devices, retaining walls, gabion walls, cribbing, dams, and other improvements existing or to be constructed, together with supporting calculations and maps.

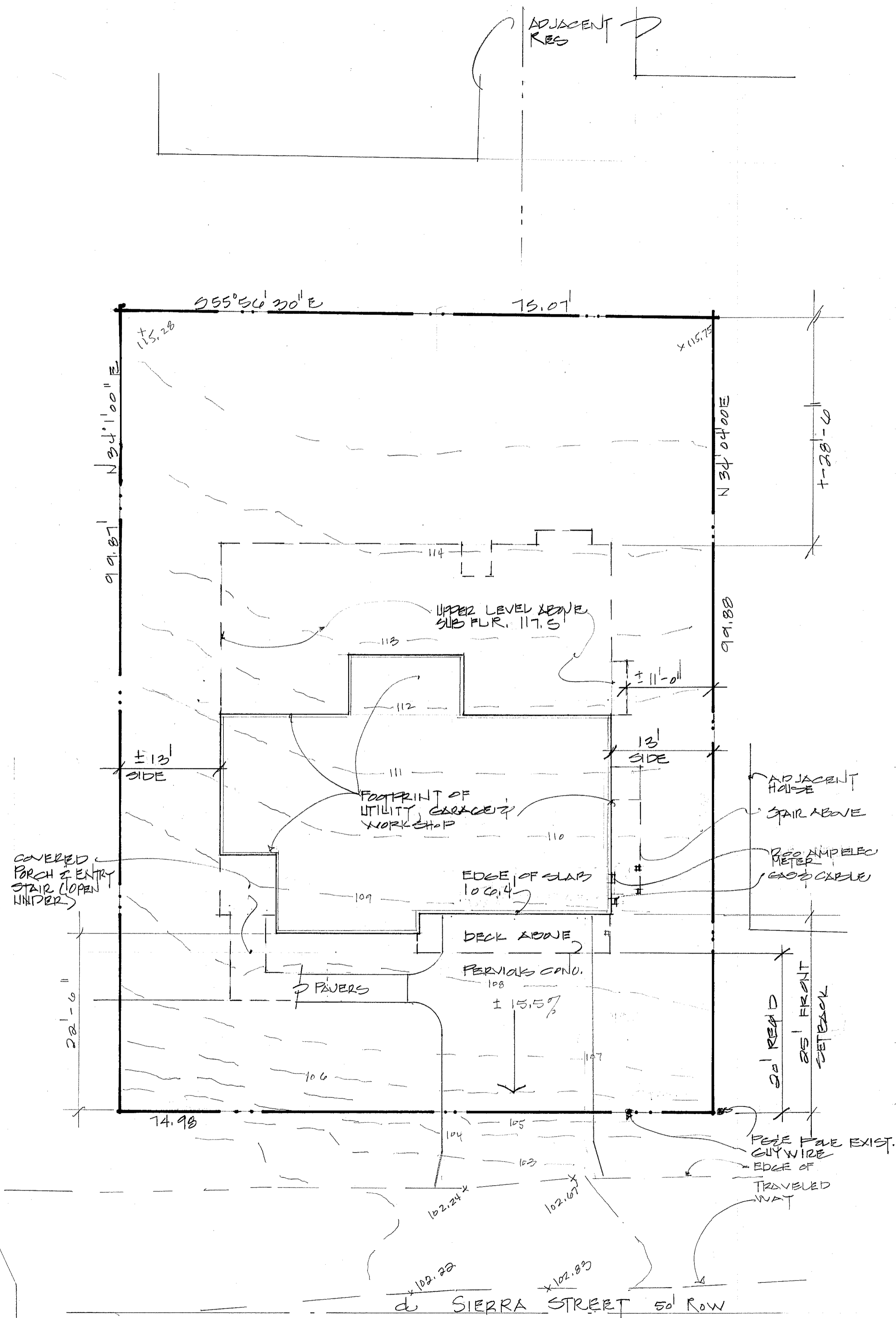
(11) Approximate boundaries of any areas with a history of flooding.

(12) Location, width, direction or flow and approximate location of top and toes of banks or any watercourse.

(13) General location and character of vegetation covering the site, including all trees proposed to be removed and all trees 12" dbh within 20 feet of the area to be disturbed.

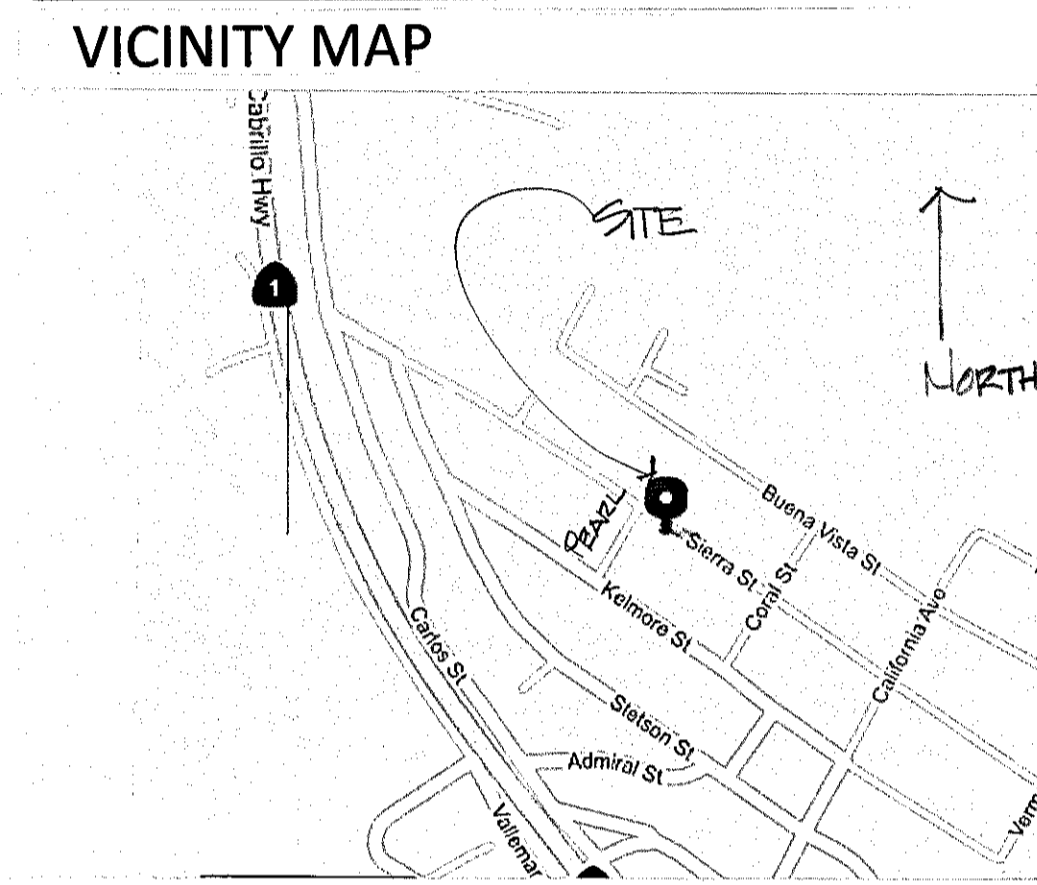
(14) Name and registration number of the registered California civil engineer under whose direction the grading plan is prepared.

DE PEARL ST. UNIMPROVED
50' R.O.W.



SITE PLAN SCALE 1/8" = 1'-0"

TABULATIONS		
Zone	R1/S17/DR/CD	
Lot Size		7,493 SF
Garage and Shop		1,023 SF
Utility		109 SF
2 nd Floor Plan	1,176 SF Lot coverage	2,208 SF
Covered Front Porch (34 SF)		53 SF
Covered Back Porch (8 SF)		17 SF
Bay Windows		26 SF
Deck Area		186 SF
Deck and Stair Area for Lot Coverage		242 SF
Lot Coverage* (35% = 2,622.5 SF)	34.9%	2,537 SF
Total FAR (.53% = 3,971 SF)	Actual .45%	3,382 SF
1,023+109+2,208+34+8		
Setbacks Proposed		
20'	Front	
28'-6"	Rear	
13'-0"	+ Right Side	
13'-0"	+ Left Side	
Height limit 28'		
Daylight Plane method used		
Construction Type V-B Sprinkled		
Occupancy R-3/U		
*Lot coverage SF are in Italics		



A NEW RESIDENCE FOR:
ANTHONY AND AMANDA STOLOSKI
625 SIERRA STREET
MOSS BEACH, CA. 94038 APN: 037-065-100

Plans Prepared By:
Anne Gustin Design, Inc.
3414 Scenic Drive
Napa, CA 94458
Phone: (707)251-9500
Fax: (707)251-9125
anne.gustin@yahoo.com

PRINTED
DR SET 28, 15
JAN 7, 16

SHEET NO
A.1 OF

A COLOR STUDY FOR:

425 SIERRA ST.
MOSS BEACH

ROOFING GAE: TIMBERLINE -
SLATE GRAY.

BODY - BENJAMIN MOORE -
825 BLUE NOVA

TRIM, GARAGE & EXTERIOR DOORS -
BEN MOORE - PM19 WHITE DOVE

STONE - STUCCO STONE
GRAY MIX

WALKWAYS - PAVER STONE
GRAY MIX

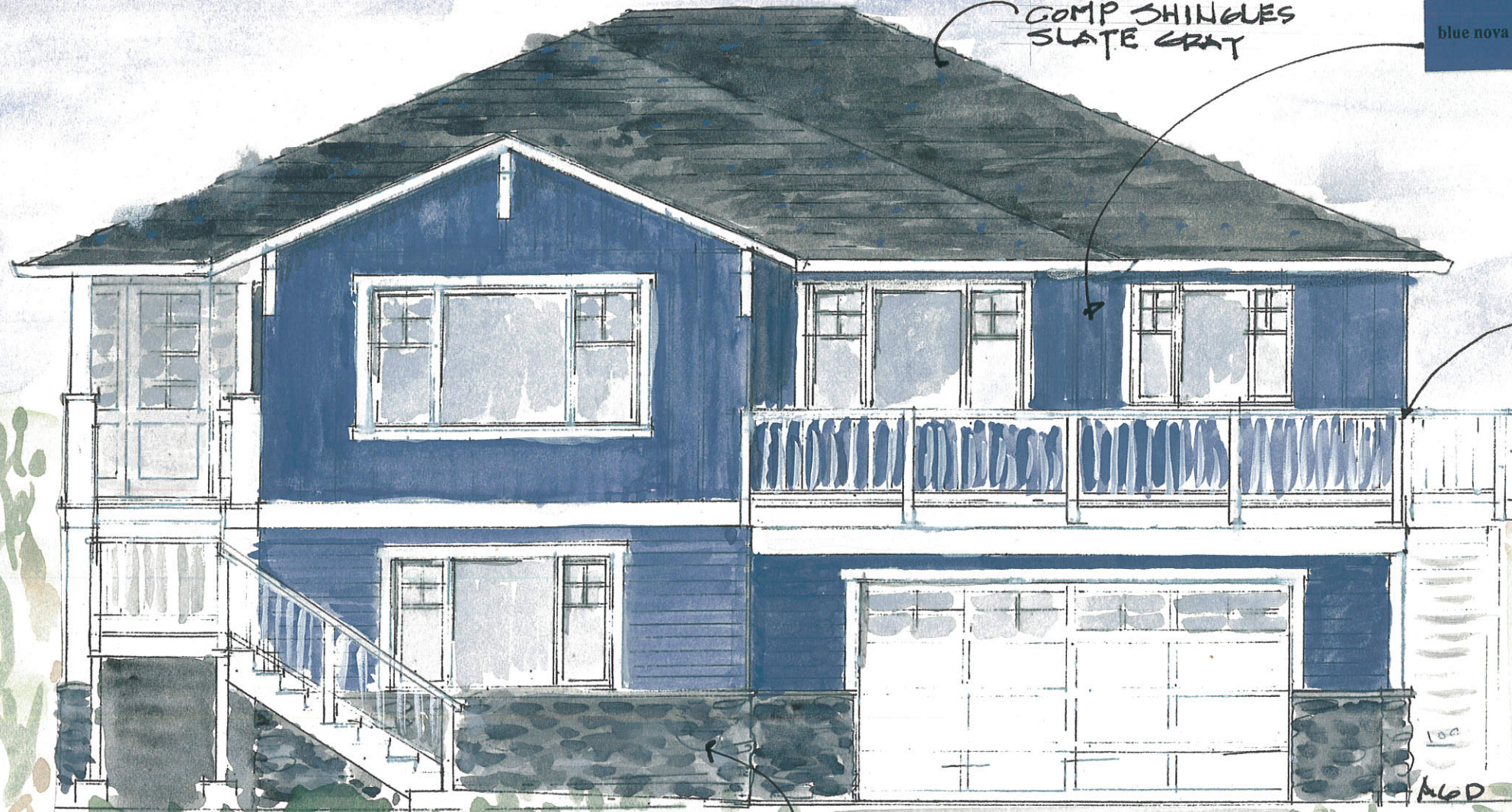
DRIVEWAY - PERVIOUS CONC.
GRAY

blue nova

825

white dove

OC-17



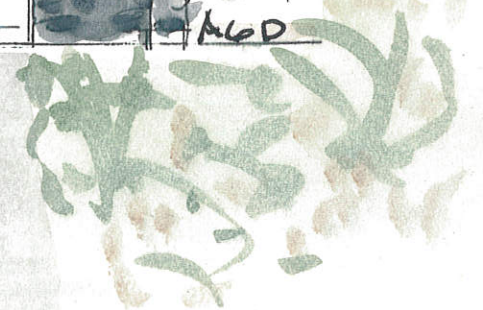
COMP SHINGLES
SLATE GRAY

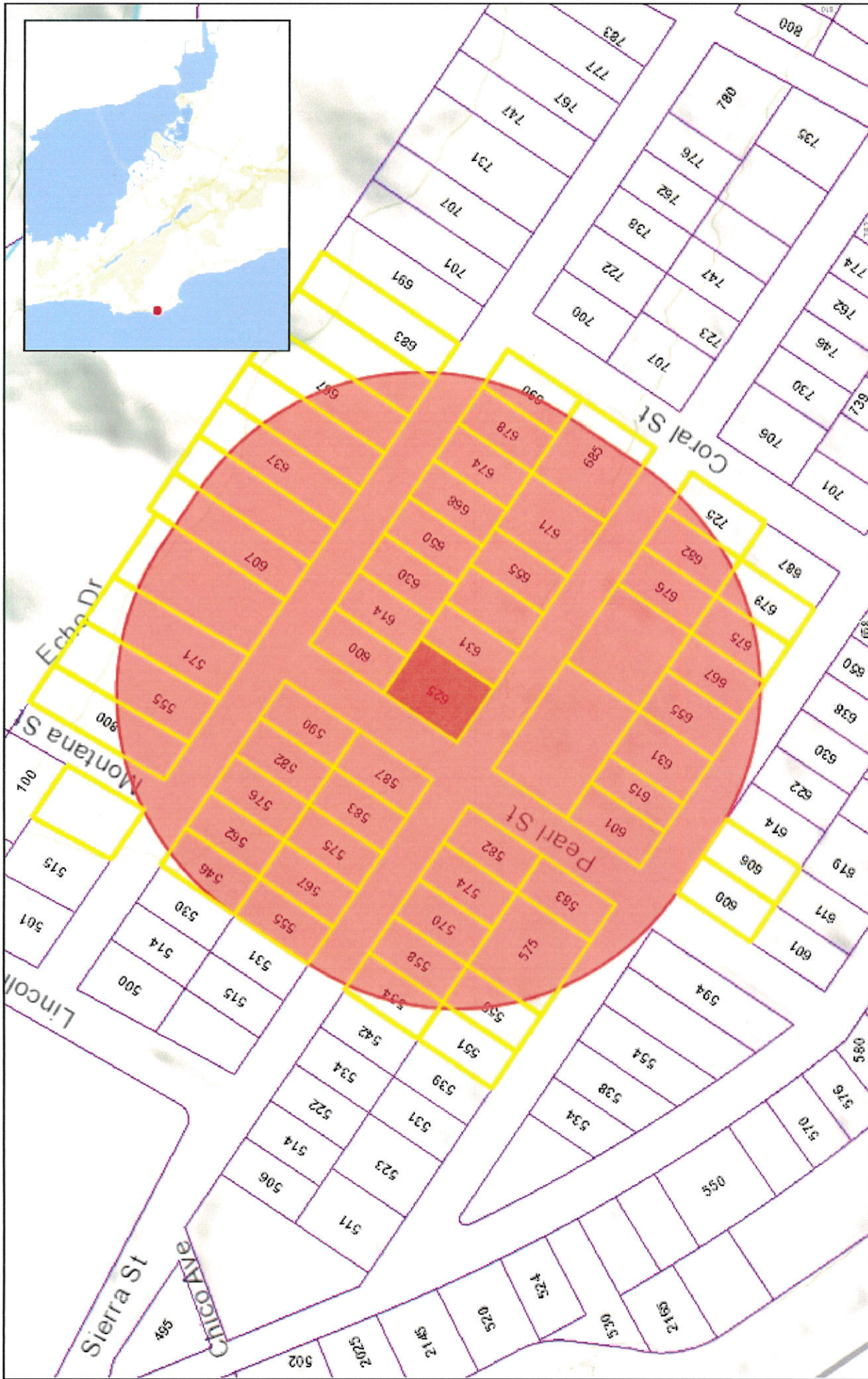
blue nova 825

white dove
PM-19

STICKY STONE
GRAY MIX

625 SIERRAST
MOSS BEACH, CA.





1:2,256



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