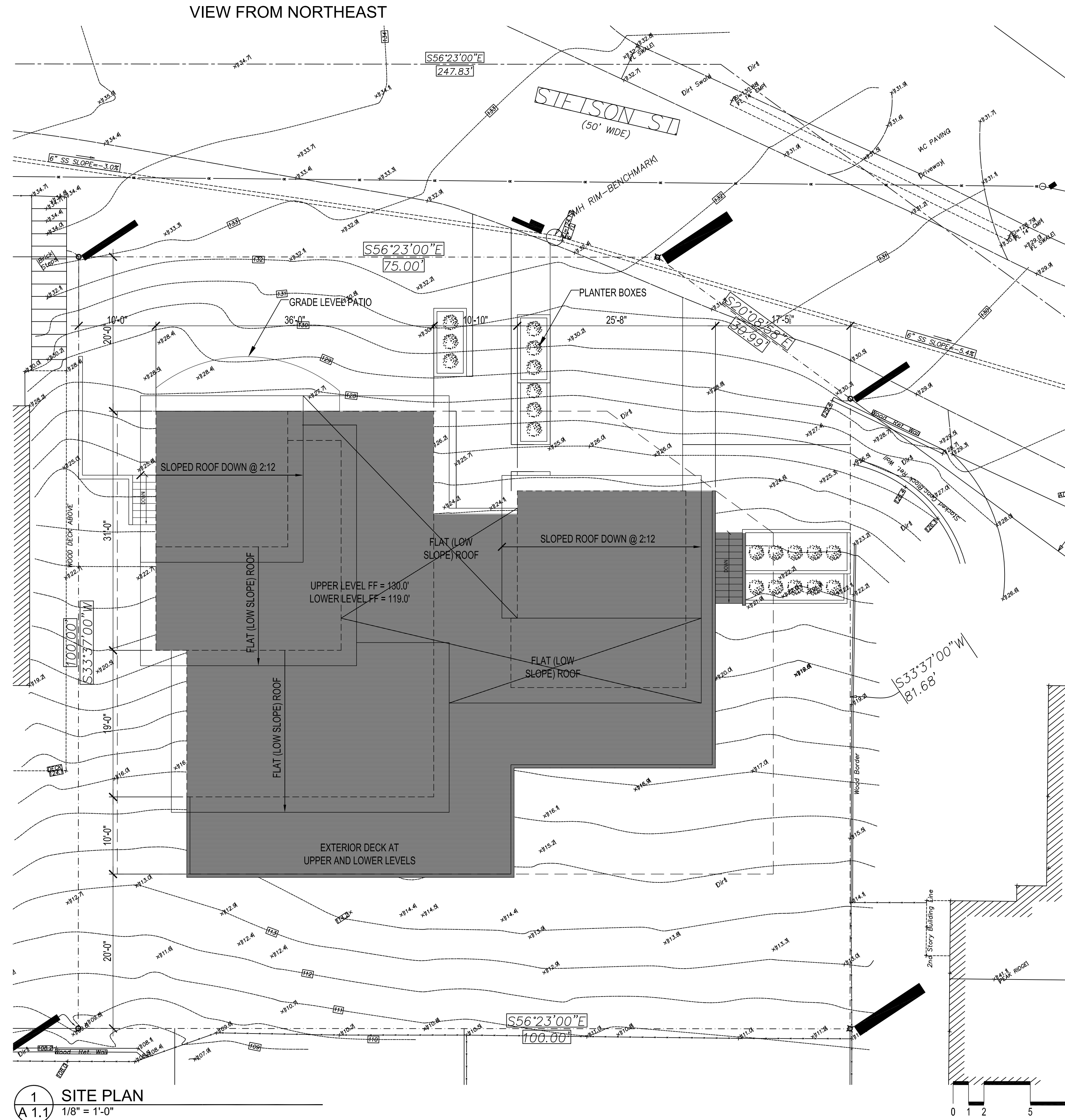


GENERAL NOTES

- Scope: These notes apply to all drawings and govern unless noted or specified for more detailed requirements applicable to particular divisions of the work. See specifications and sheet notes contained in the subsections of these drawings.
- Applicable Codes: The intent of the drawings and specifications is to construct the building in the project scope in accordance with the 2013 California Building Code (CBC), Mechanical Code (CMC), Electrical Code (CEC), Plumbing Code (CPC); and Energy Code, and California Green Building Standards (CalGreen), all as amended by San Mateo County.
- Construction Documents: The General Conditions of the Contract for Construction, (AIA Document A201), latest edition, and the Specifications supplement these drawings and are part of the construction documents. By accepting and using the construction documents, including but not limited to the drawings and specifications, the Contractor agrees to be solely and completely responsible for the accuracy of said construction documents: architectural, structural, civil, mechanical, plumbing, electrical and fire protection.
- Copyright: These drawings and all ideas, arrangements and plans, either indicated or represented by these drawings are owned by, and are the property of VanMechelen Architects, and were created, evolved and developed for use on and in connection with the project designated in the title block. None of these designs, arrangements, or plans shall be used by, or disclosed to, any person, firm, or corporation for any purpose whatsoever, nor shall any changes be made on this drawing without the written permission from VanMechelen Architects. These drawings are not valid for any use unless they bear the original seal and signature of the Architect. Upon completion of the project, all plans shall be returned to the Architect.
- Document Coordination: The Contractor shall be responsible for coordination between architectural, structural, civil, mechanical, plumbing, and electrical drawings. This includes reviewing existing conditions and requirements of individual systems before ordering and installation of any work. Verify all architectural details and all finish conditions, whether depicted in drawings or not, with same disciplines.
- Dimensions: On drawings only written dimensions shall be used. Do not scale the drawings. The Contractor shall review and assume responsibility for all dimensions of building and site and notify the architect in writing of any suggested or required discrepancies before proceeding with construction.
- Site Conditions: The Contractor shall visit the site and be fully cognizant of all field conditions, delivery methods and storage facilities, and consult with potential suppliers and subcontractors prior to submitting bid or cost estimate. He or she shall verify all site conditions, delivery methods and storage facilities and assumes all risk associated with field conditions.
- Site Restrictions: The site will be used by the owners throughout the construction process. The contractor shall maintain safe access to the existing residence and existing accessory structure during the construction process.
- Project Conditions: The Contractor shall also notify the Architect, before proceeding with work, of any conditions which are different than those indicated on the Drawings.
- Job Site Conditions: The Contractor agrees to be solely and completely responsible for the job site conditions during the course of construction for the project; including the safety of all persons and property and that this requirement shall apply continuously and not be limited to normal working hours.
- Protection of Existing Facilities: Contractor shall protect all existing infrastructure, utilities, landscaping and other site elements. Contractor shall replace or compensate the Owner for damage to any elements.
- Indemnification: The Contractor shall defend, indemnify, and hold the Owner, the Architect, its employees and consultants, harmless from any and all liability, real or alleged, in connection with the performance of work on this Project, excepting for liability arising from the sole negligence of the Owner, the Architect, its employees and consultants.
- Errors, Omissions & Conflicts: Any errors, omissions, or conflicts found in the various parts of the construction documents or between the construction documents and existing site conditions shall be immediately brought to the attention of the Architect and the Owner before submitting cost estimates, bids or proceeding with the Work.
- Changes: Should any conditions develop which suggest or require changes to the work, including but not limited to errors, omissions, conflicts, alternates or code compliance, the Contractor shall submit to the Architect a written Request for Change Order detailing the required work and associated costs changes. A written Change Order shall be prepared by the Architect and signed by the Contractor before proceeding with the work. No claim shall be allowed for work already started or completed. No claim shall be allowed for difficulties encountered that could have reasonably been inferred from examination of the site and the construction documents prior to submitting the bid. No claim shall be allowed for adjustments which could be reasonably expected based on the Contractor's general experience in this type of construction.
- A full sprinkler system shall be provided for this project, sprinkler heads locations are indicated on Sheet A-2.3 and A-2.4. The sprinkler system shall fully cover all interior space and the vented attic space. The system shall be per San Mateo County Building Standards and Coastside Fire District Ordinance 2013-03, and shall include an exterior bell and interior horn/ strobe hardwired into a separate circuit breaker.
- See Sheet A4.2 for additional CalGreen compliance notes.
- Utilities, including electrical service, shall be installed underground.



1 SITE PLAN
A 1.1 1/8" = 1'-0"

VIEW FROM NORTHEAST

SUMMARY OF WORK

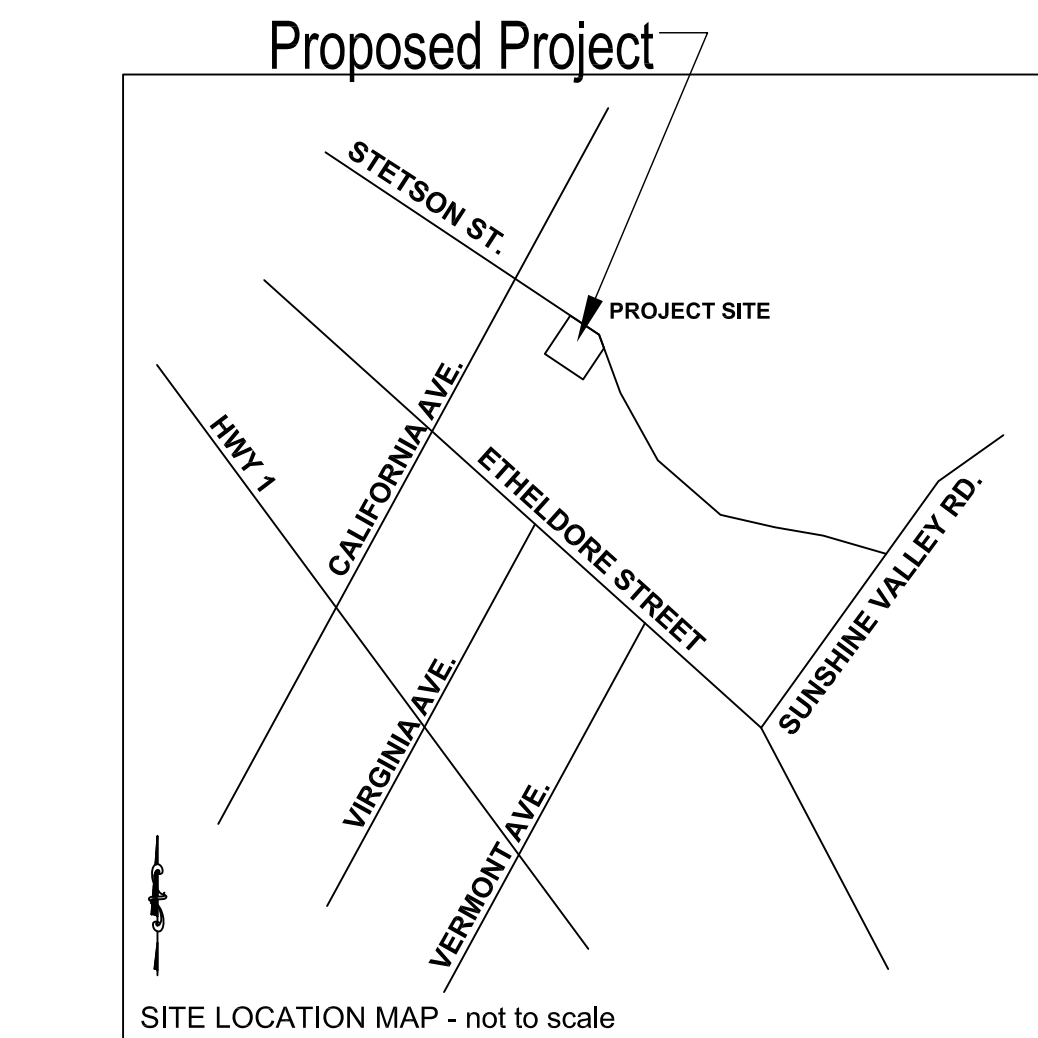
The Project is for a Single Family Home on an R-1 S-94 lot. The Main House has 2 Bedrooms, 2 Bathrooms, Living Room, Dining Area, Den/ Study and Kitchen Upstairs, and 2 Bedrooms, 1 Bathroom, and a Family Room in the partial lower floor. There is an attached 2 car garage. The Main House is 2026 sf in area on the upper floor, with a 373 sf garage, and 1023 sf on the lower floor. The maximum height is twenty seven feet above grade.

DRAWING INDEX

- ARCHITECTURAL DRAWINGS**
- A1.1 Location Map, Site Plan, Roof Plan, Project Description, Notes
 - A1.2 Conditions of Approval [NOT INCLUDED]
 - A1.3 Conditions of Approval [NOT INCLUDED]
 - A1.4 Survey
 - A2.1 Upper Level Floor Plan
 - A2.2 Lower Level Floor Plan
 - A3.1 Exterior Elevations
 - A3.2 Exterior Elevations
 - L1.1 Landscape Plan

Project Location:	Stetson Street, Moss Beach, CA 94038
Assessor's Parcel Number	037-144-030
Zoning	R1/ S-17/ DR/ CD
Lot Area	9771 sq ft
Average Lot Slope	22%
Allowable Coverage	35% (3420 sq ft)
Maximum Building Floor Area	53% (5178 sq ft)
Maximum Allowable Height	28 ft (36 feet for downslope lot with slope greater than 1:7)
House Coverage Area	2400 sq ft
Deck Coverage Area	1015 sq ft
Proposed Total Coverage	3415 sq ft (34.95%)
Building Area Main Floor	1725 sq ft
Building Area Lower Floor	1430 sq ft
Building Area Garage	540 sq ft
Total Built Area	3695 sq ft
FAR	3695/9771 = 37.8%
Off Street Parking Provided	2 spaces
Building Occupancy	R 3 Single Family Residential
Construction Classification:	Type V-b

Owner: Paul McCormack
1265 Cedar Street
Montara, CA 94037
650.676.0585



2 VICINITY MAP
A 1.1 NO SCALE

Project Team

VanMechelen Architects
Greg VanMechelen
732 Gilman Street
Berkeley, CA 94710
Tel: 510.558.1075
Fax: 510.558.1076
Info@vanmechelenarchitects.com

Structural Engineer

Title 24 Energy Consultant

New Residence for:
Turner/ McCormack
Stetson Street
Moss Beach, CA 94038

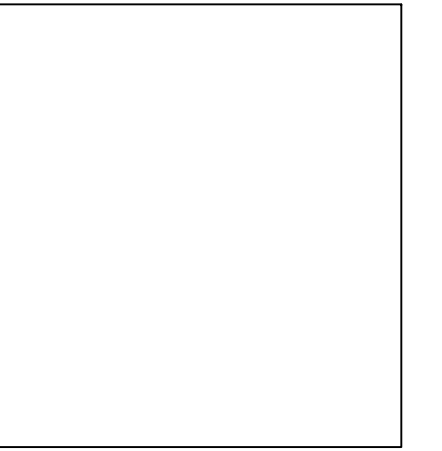
**SITE PLAN
PROJECT INFO**

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Date: 19 February 2016
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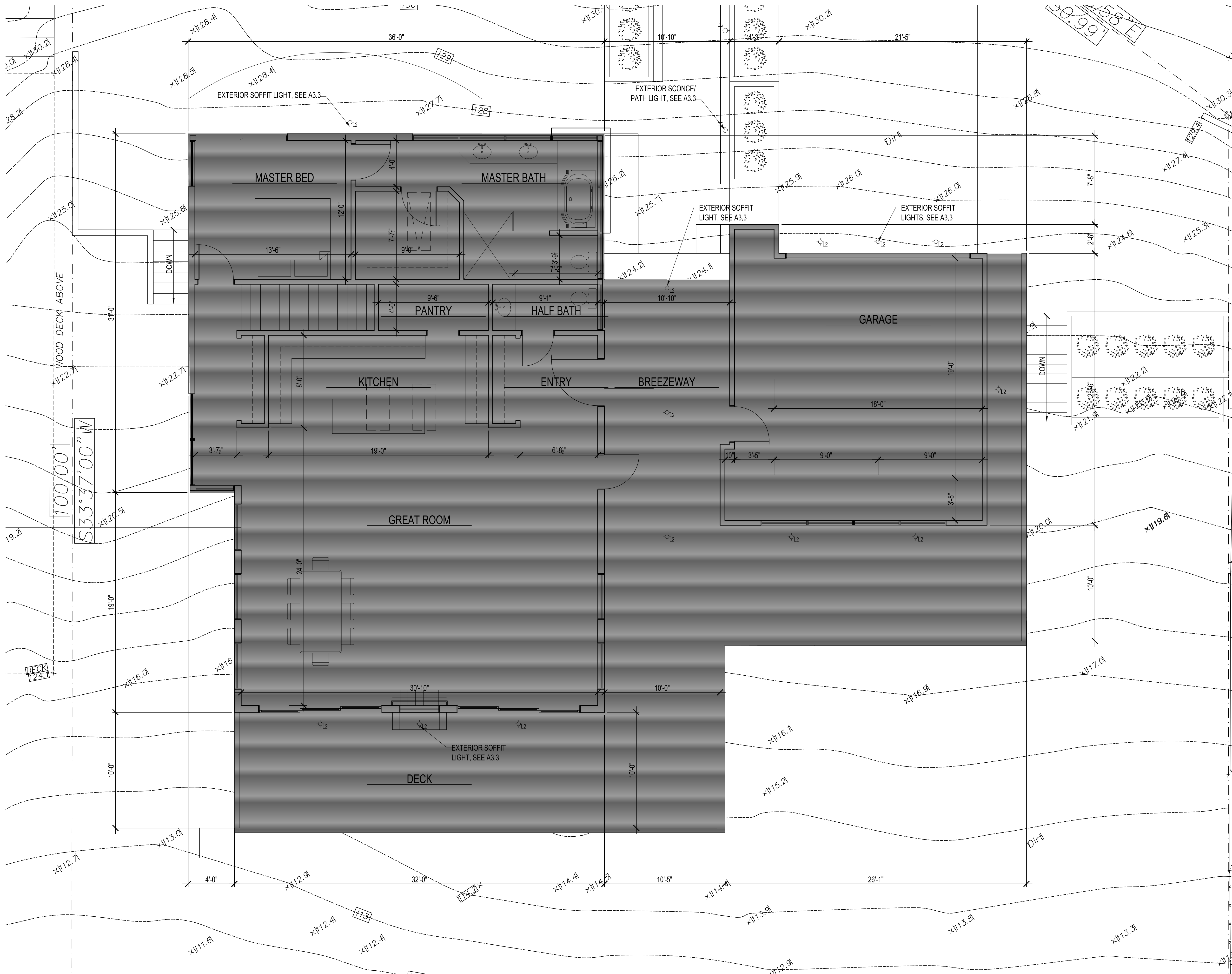
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UPPER LEVEL FLOOR PLAN

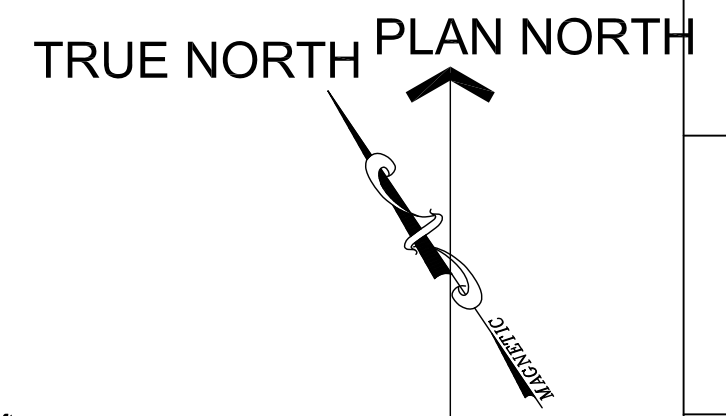
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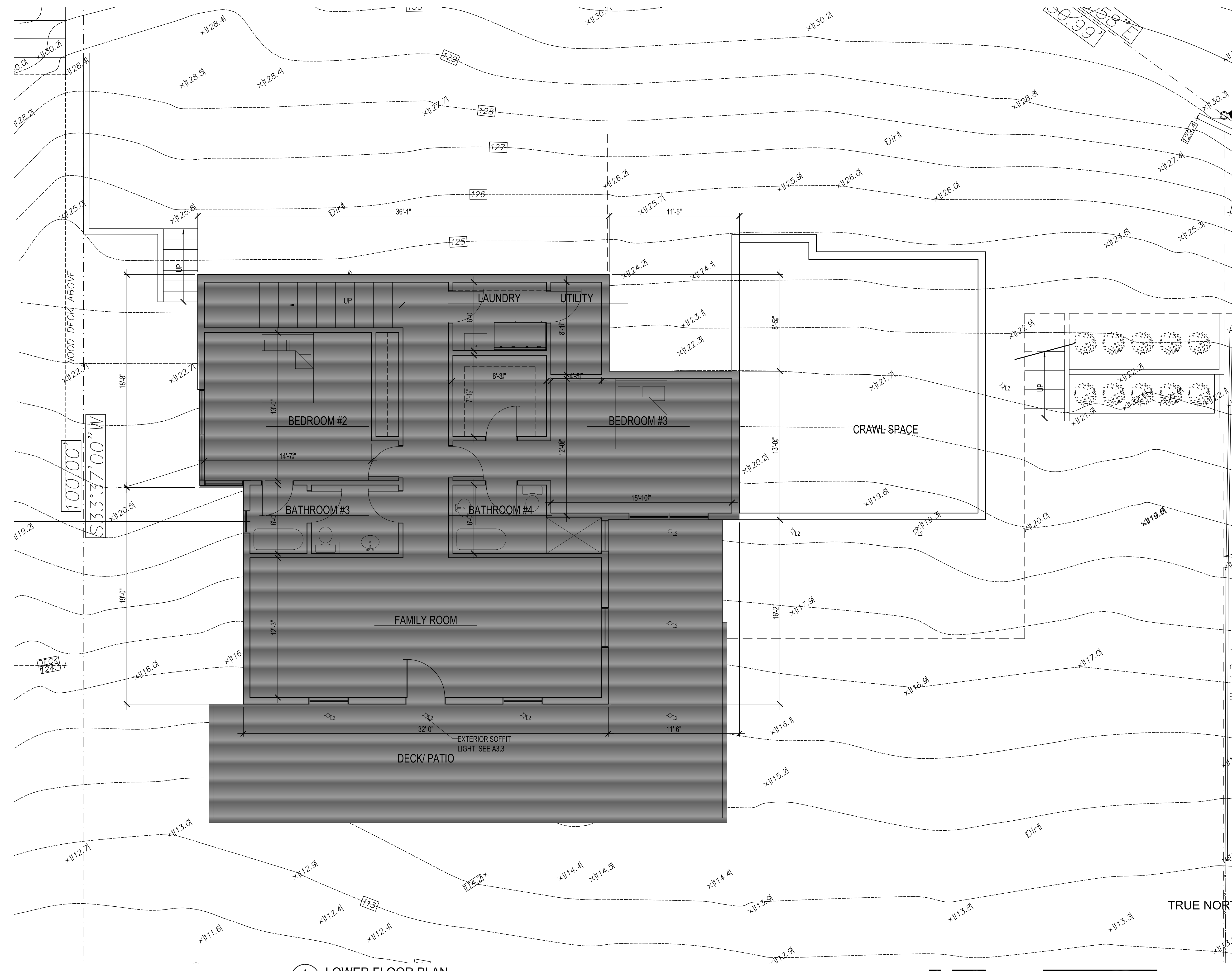
1 UPPER FLOOR PLAN
A2.1 1/4" = 1'-0"



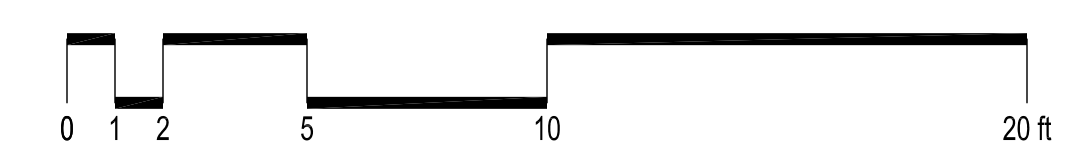
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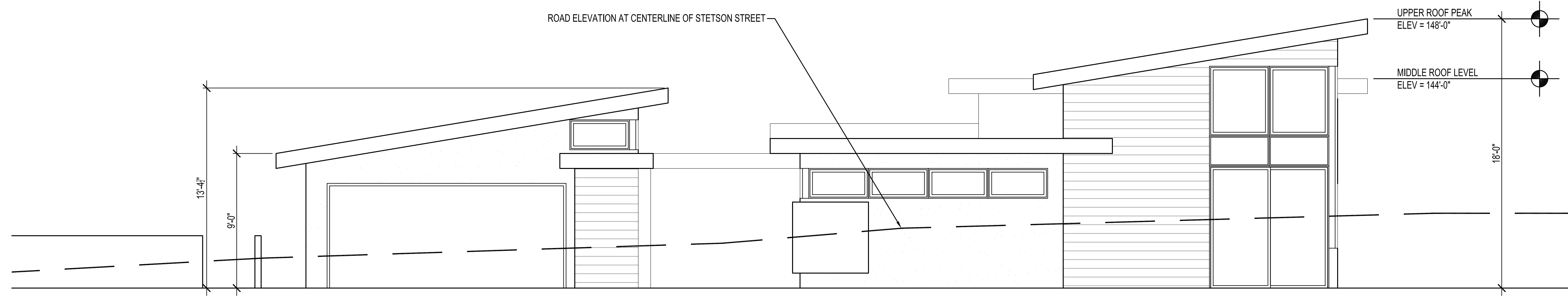
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A2.2 LOWER FLOOR PLAN
 1/4" = 1'-0"



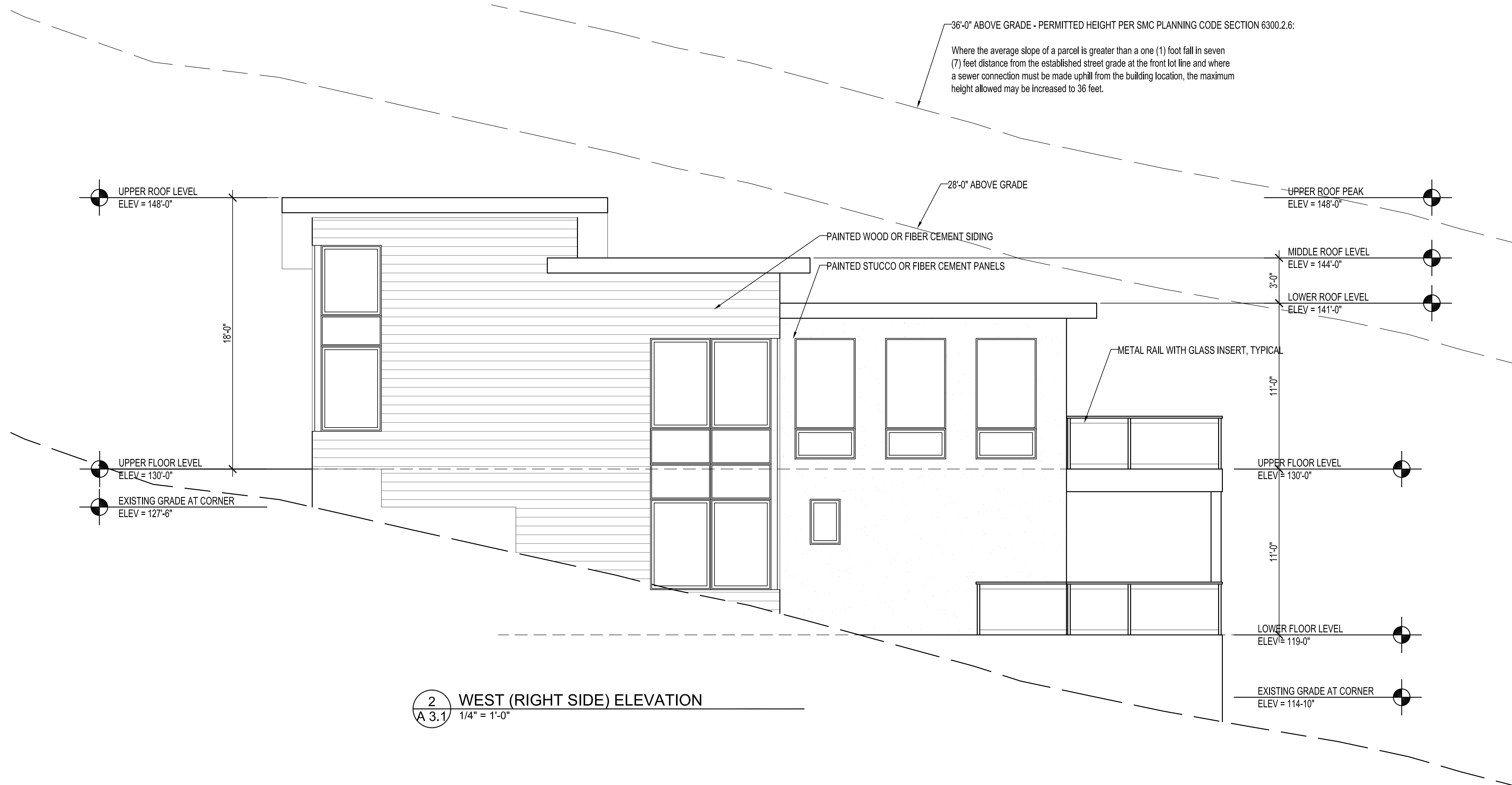
VanMechelen Architects
 Greg VanMechelen
 732 Gilman Street
 Berkeley, CA 94710
 Tel: 510.558.1075
 Fax: 510.558.1076
 Info@vanmechelenarchitects.com

Structural Engineer

Title 24 Energy Consultant



1 NORTH (STREET) ELEVATION
 A 3.1 1/4" = 1'-0"



2 WEST (RIGHT SIDE) ELEVATION
 A 3.1 1/4" = 1'-0"

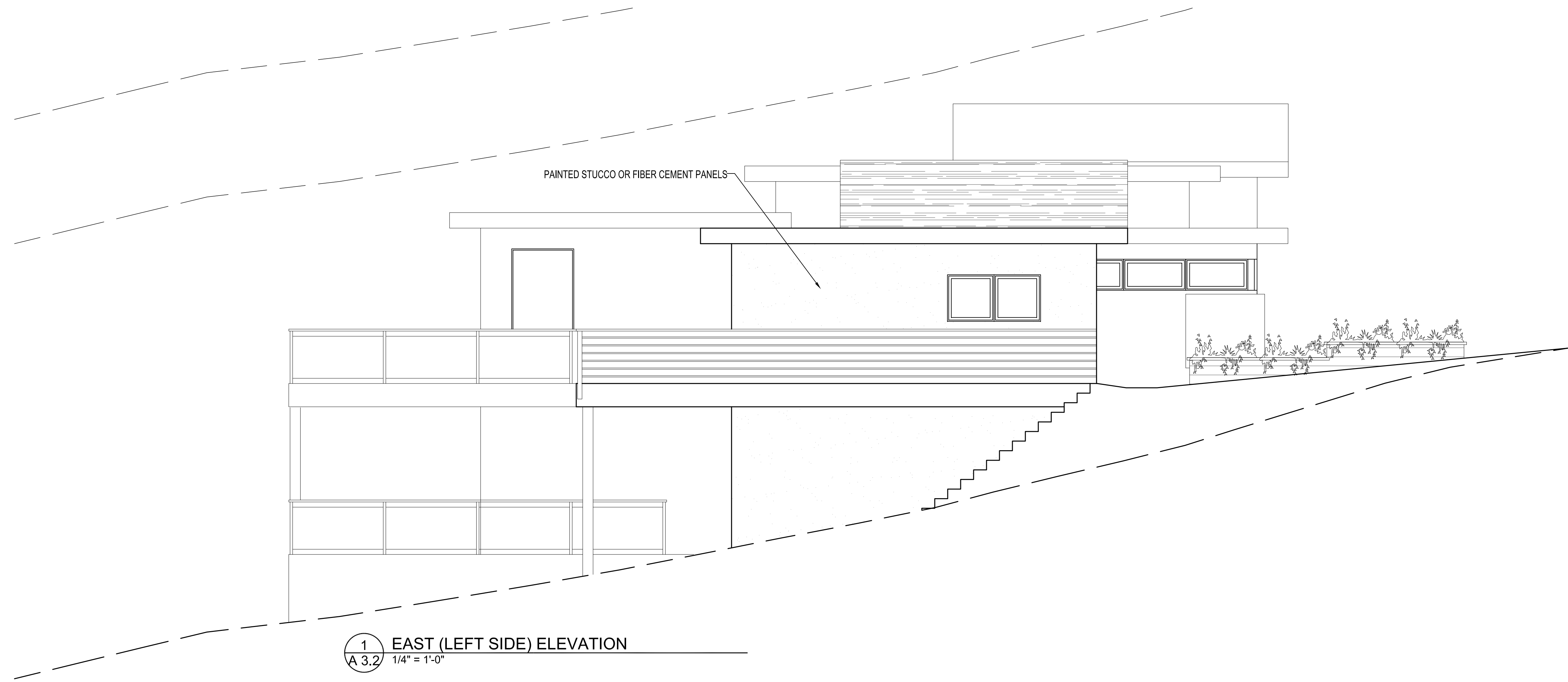
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EXTERIOR ELEVATIONS

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A 3.1



1 EAST (LEFT SIDE) ELEVATION
 A 3.2 1/4" = 1'-0"



2 SOUTH (REAR) ELEVATION
 A 3.2 1/4" = 1'-0"

Project Team

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Structural Engineer

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EXTERIOR ELEVATIONS

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LUNA 1666BZ	
BRONZE	
WIDTH:	6.0"
HEIGHT:	7.0"
WEIGHT:	3.0 LBS
MATERIAL:	EXTRUDED ALUMINUM
GLASS:	ETCHED GLASS LENS
BACKPLATE WIDTH:	9.0"
BACKPLATE HEIGHT:	7.0"
SOCKET:	1-75W MED
DARK SKY:	YES
NOTES:	THIS FIXTURE WILL CAST LIGHT DOWN.
EXTENSION:	4.0"
TTC:	3.5"
CERTIFICATION:	C-US VET RATED
VOLTAGE:	120V
LPC:	64055166006

AT HINKLEY WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR LIFE ALOW®.

lifeALOW®

DelphiTech® Lenticular Lens Projector Fixture Brief

Durable Exterior Fixtures: DelphiTech LED lights are the benchmark in the highest quality low-voltage LED lighting. They are ruggedized and use top quality components for industry leading long life performance.

Every fixture has a smart driver inside to ensure on long wiring runs, the furthest fixtures are the same brightness as those nearest the supply. Our fixture driver design is industry best and is 100% emissions free, doesn't project UV or infrared either. The packaging and cable is exterior rated, and we use military grade capacitors and top quality LEDs for ultra long life.

Mounting and Installation: Shown are recessed and 3-axis mounting options. Contact DelphiTech for other mounting options. DelphiTech LED lights operate from a remote DelphiTech 12 VDC supply that maintains a class 2 electrical circuit allowing a wide range of installation flexibility beyond other low voltage or AC mains products. Supply and timer are mounted indoors.

New home or existing home - installations are easy with DelphiTech's unique Snap-Wiring™

Our Enhanced Plus fixtures the highest performance and are eligible for an 84 month unlimited-hours warranty. Details available on DelphiTech website. CSA and UL approved.

Distance from Fixture	Illuminance (Foot Candles) per Fixture									
	10'	15'	20'	25'	30'	35'	40'	45'	50'	55'
1 fixture	0.8	0.5	0.3	0.2	0.15	0.1	0.07	0.05	0.04	0.03
2 fixtures	1.2	0.8	0.5	0.35	0.25	0.17	0.12	0.08	0.06	0.04
3 fixtures	1.6	1.1	0.7	0.45	0.3	0.2	0.14	0.1	0.07	0.05

3-axis Projector fixtures are attached to soffits with #10 stainless steel screws. Install: Apply a small bead of exterior silicon or back of bracket prior to screwing. Bracket onto soffit. 3-axis fixtures are the most versatile for lighting designs. For "Snap-Wiring" installs use 3/8" hole plug (purchased from DelphiTech) to hide and service connection.

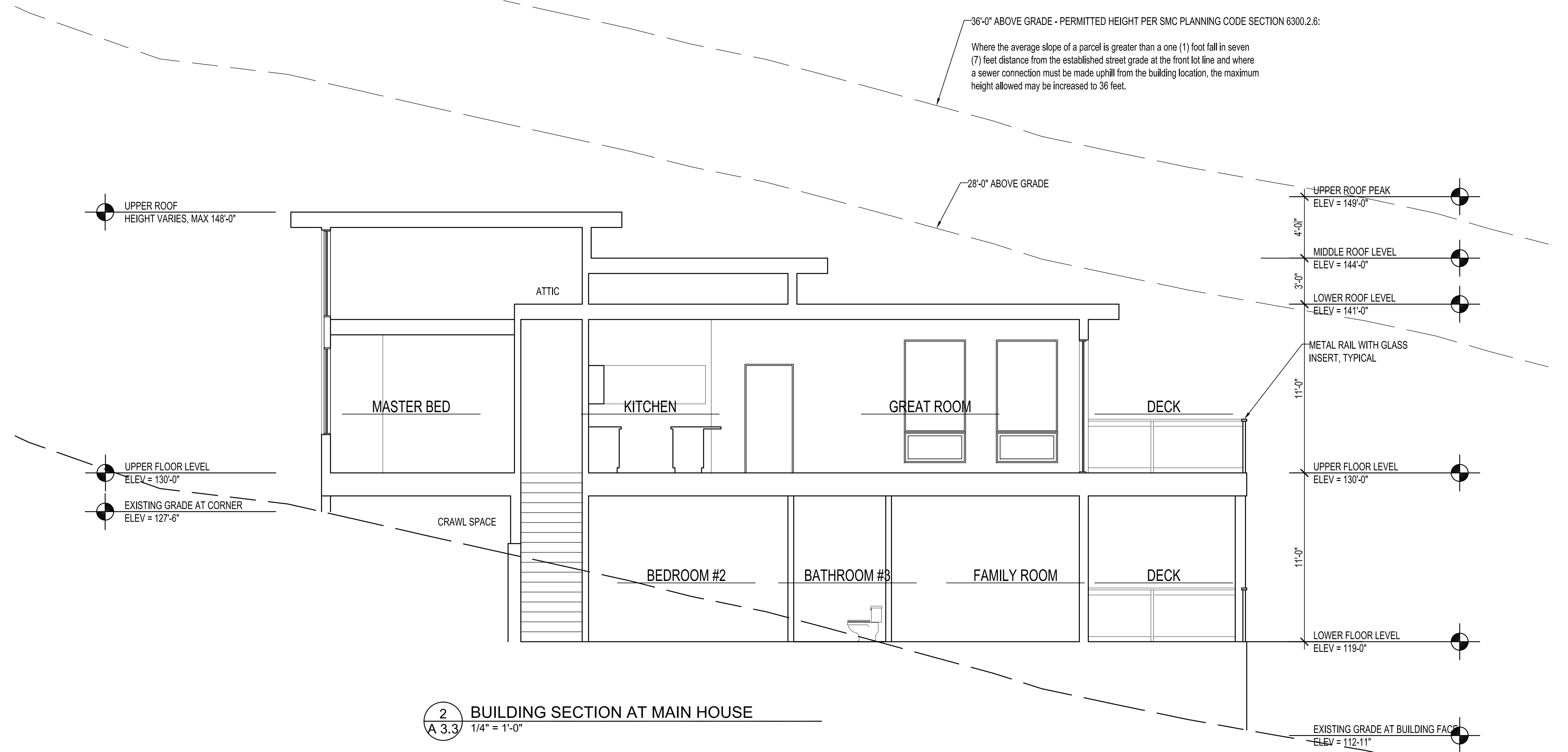
Recessed Projector fixtures mount in a 2-1/2" (2.125") hole. Recessed fixtures need 3.5" of height behind trim ring and a total distributor of 7" clearance width so springs can swing down to hold fixture to soffit. For areas with insulation above, use a triple wall-switch vapor barrier box or fanger to keep insulation away from fixture.

Free tips available for installation ease and professional results - contact DelphiTech for more information. www.DelphiTech.com Can/US Toll Free 1-888-335-4533

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EXTERIOR LIGHT SCONCE FIXTURE L1

EXTERIOR LIGHT SOFFIT FIXTURE L2



2 BUILDING SECTION AT MAIN HOUSE
A 3.3 1/4" = 1'-0"

Project Team

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Structural Engineer

Title 24 Energy Consultant

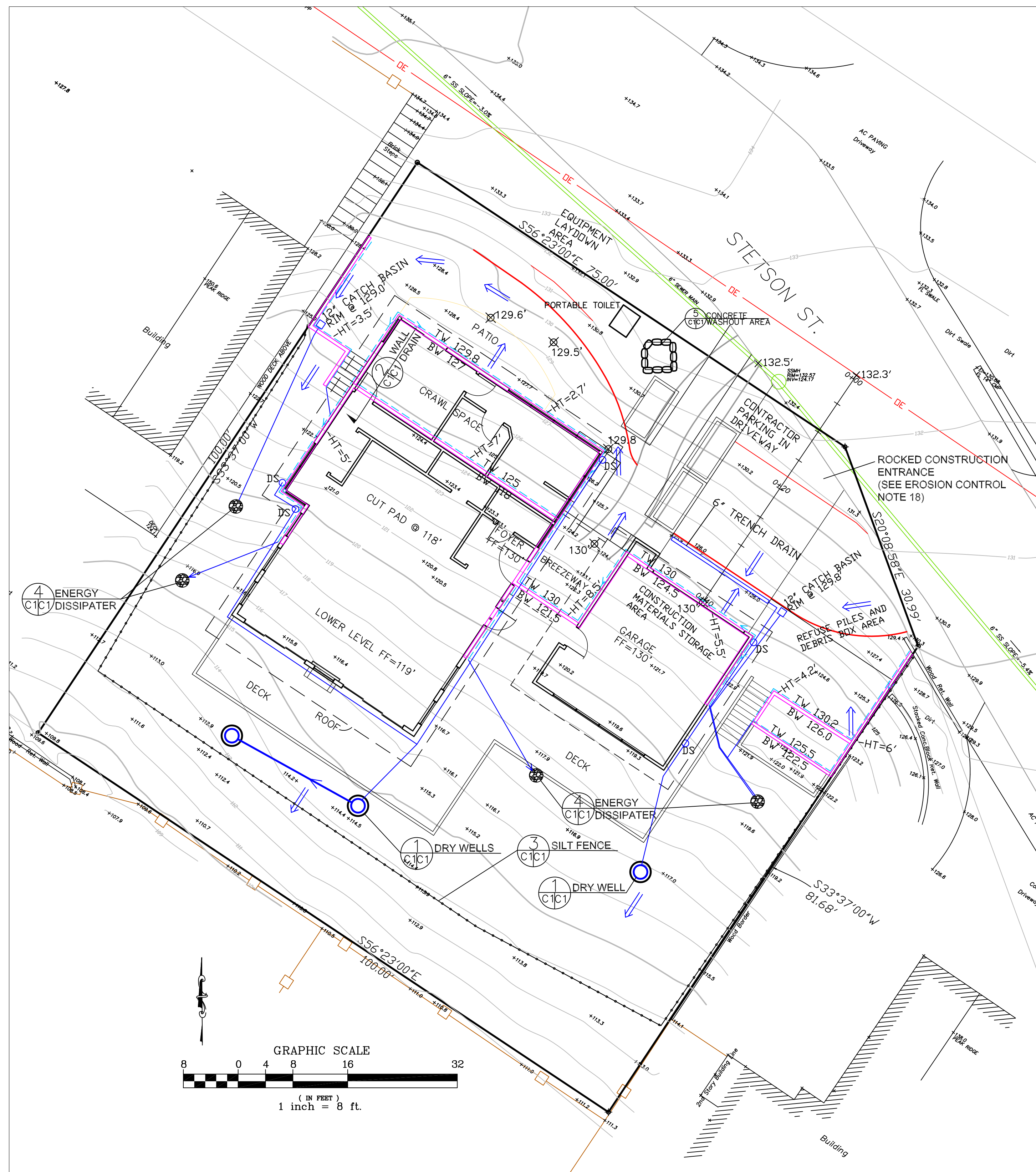
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BUILDING SECTIONS

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- ### LEGEND
- 1' CONTOUR (E)
 - 5' CONTOUR (E)
 - PROPOSED CONTOUR
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - RETAINING WALL (HT = WALL HEIGHT)
 - D/S DOWNSPOUT
 - 3' MIN. SOLID DRAIN PIPE
 - 3' MIN. PERFORATED DRAIN PIPE

GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF: PAUL MCCORMACK, OWNER
- TOPOGRAPHY BY L. WADE-HAMMOND, LLS. SURVEYED APRIL, 2015.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM ASSUMED.

GRADING NOTES

CUT VOLUME : 135 CY
 FILL VOLUME: 170 CY
 TOTAL COMBINED = 305 CY CUT+FILL
 NOTE: WITH BULKING FACTOR OF ~20%, CUT VOLUME OF 135 CY INCREASES TO ~170 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

MODIFIED CUT OR FILL SLOPES SHALL BE SLOPED NO STEEPER THAN 2:1 (H:V).

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

DRAINAGE NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS, AND TO PROVIDE DRAINAGE FOR RETAINING WALLS.
- ALL DOWNSPOUT DRAIN LINES, AREA DRAINS, AND DRIVEWAY TRENCH DRAIN SHALL LEAD TO DRY WELLS, AS SHOWN.
- ALL PERFORATED RETAINING WALL DRAIN PIPES SHALL DRAIN TO ENERGY DISSIPATER. THEY SHALL NOT CONNECT TO DOWNSPOUT OR AREA DRAIN PIPES.
- ALL ROOF DRAINAGE PIPES SHALL BE MINIMUM 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.

DRAINAGE NOTES

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAPPED SOILS.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: PAUL MCCORMACK
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-878-0585
 PHONE:
 E-MAIL: pmcc1234@gmail.com

- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING, OR GRUBBING IS STARTED.

- ### DUST CONTROL NOTES
- Water all construction and grading areas at least twice daily.
 - Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
 - Pave, apply water two times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
 - Sweep street daily (with water sweepers) if visible soil material is carried onto adjacent public streets.
 - Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.)
 - Install erosion control measures to prevent silt runoff to public roadways.

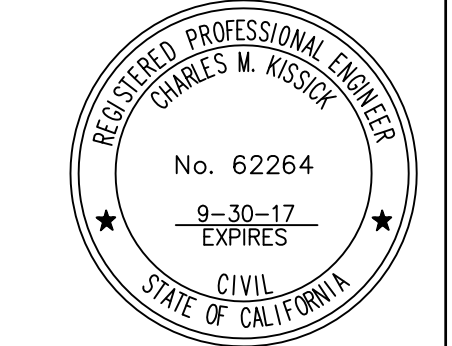
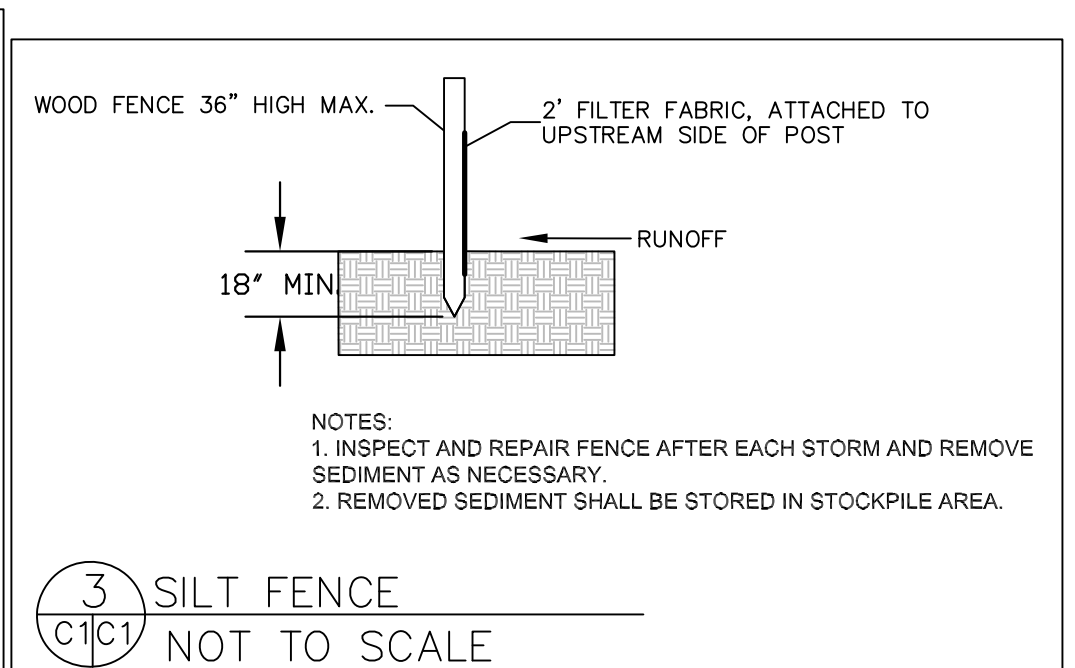
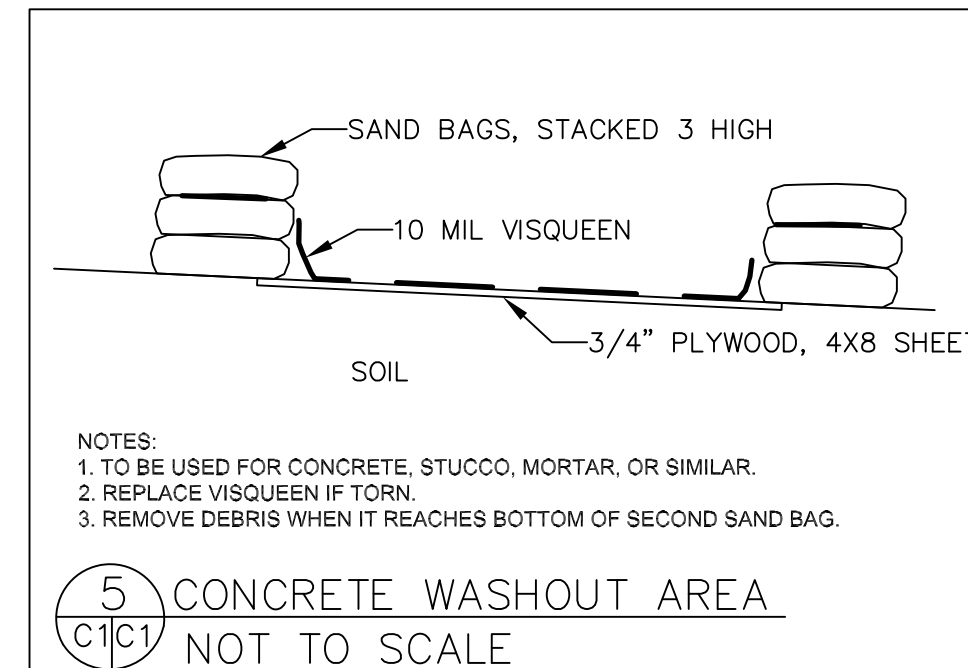
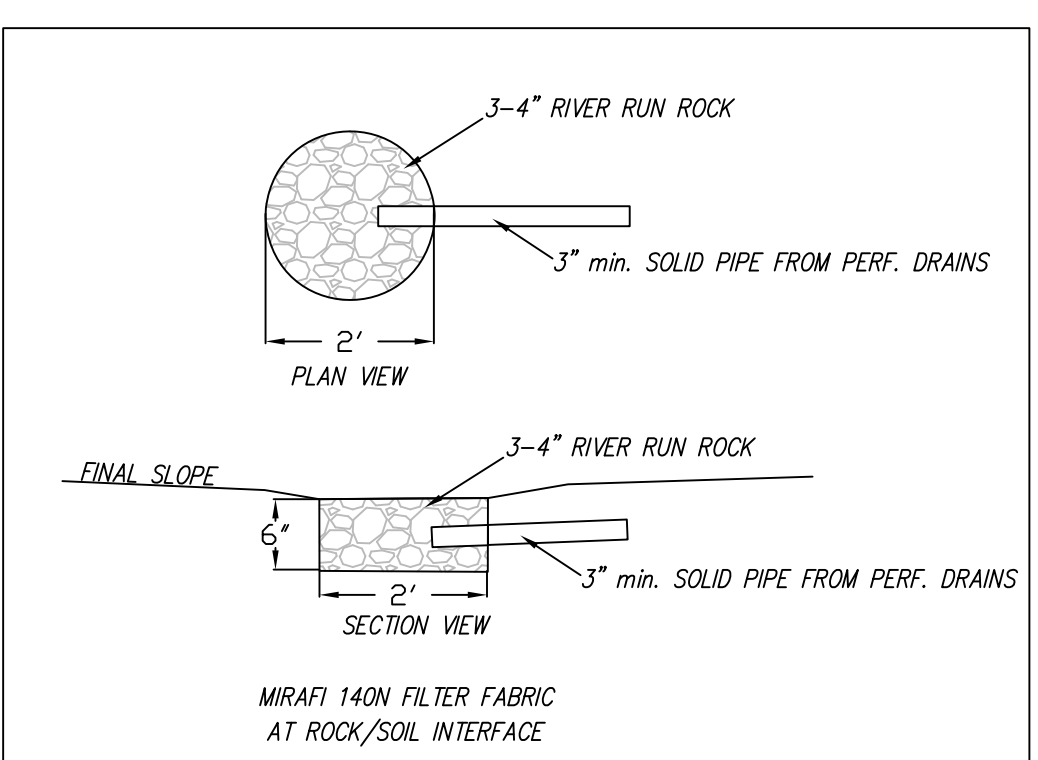
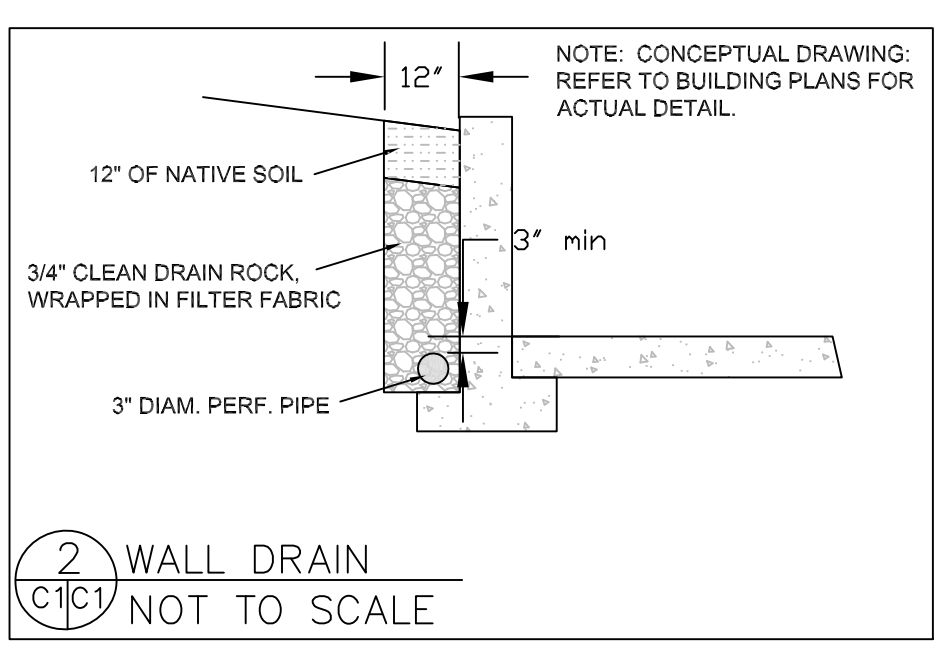
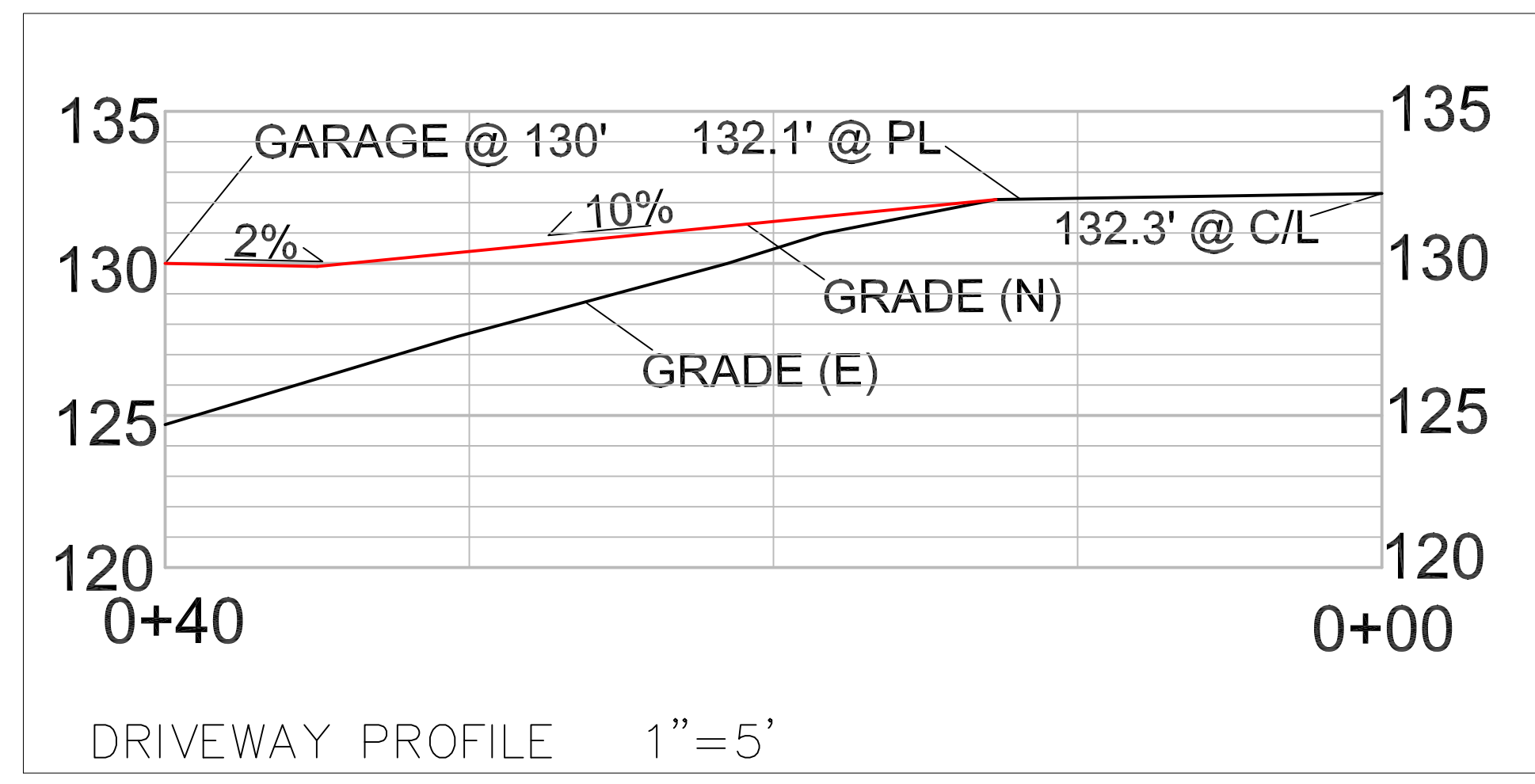
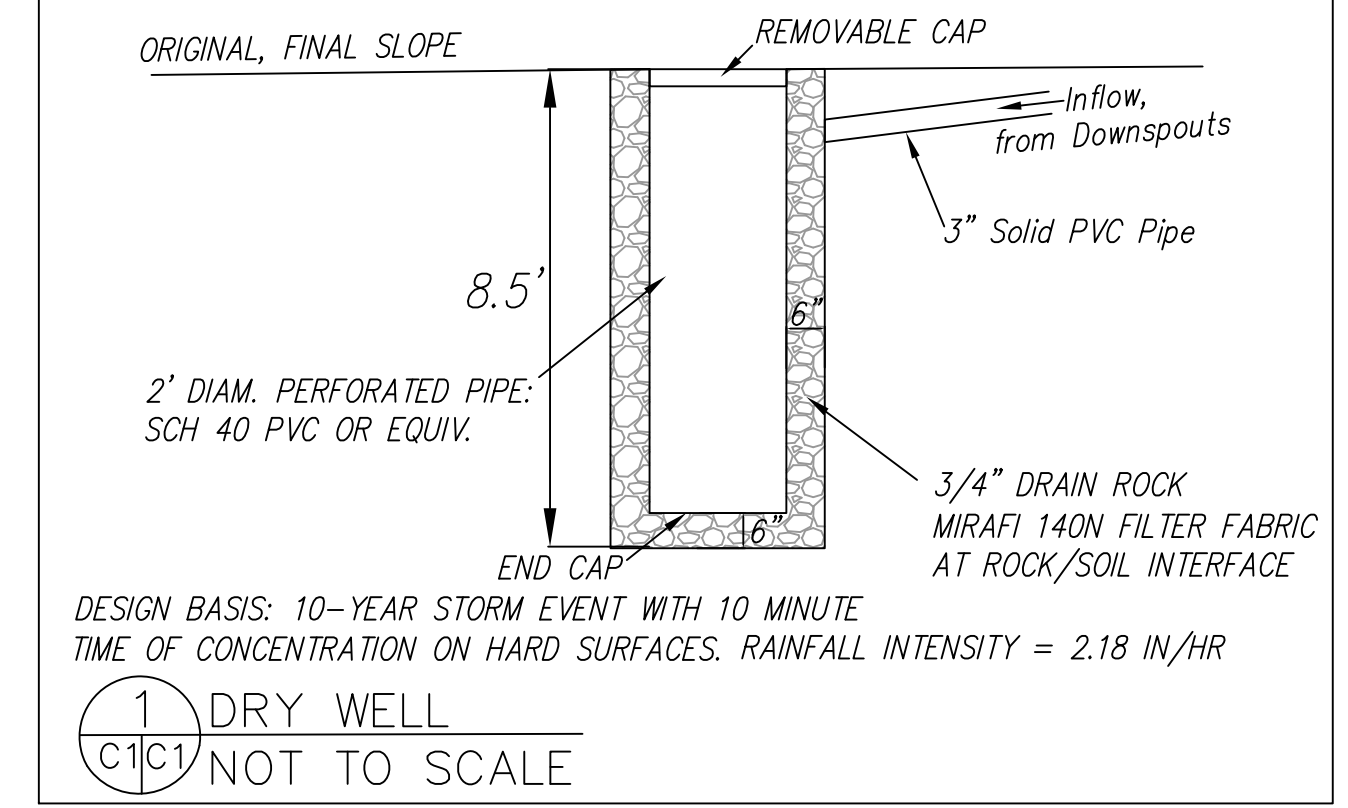
- ### EROSION CONTROL NOTES
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
 - MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENuded AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
 - STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
 - CONTROL AND PREVENT THE DISCHARGE OF ALL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES.
 - USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMITS AS NECESSARY.
 - AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN DESIGNATED AREAS WHERE WASH WATER IS CONTAINED AND TREATED.
 - LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
 - LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
 - AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
 - TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
 - PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS. SEE PLAN.
 - THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER".
 - CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MEASURES ON-SITE DURING THE "OFF-SEASON".
 - DUST CONTROL IS REQUIRED YEAR-ROUND.
 - USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
 - TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.
 - ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
 - ROCKED CONSTRUCTION ENTRANCE SHALL BE 25 FEET LONG BY 20 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - THE MATERIAL FOR THE PAD SHALL BE 2 TO 3 INCH STONE.
 - PAD SHALL BE NOT LESS THAN 8" THICK.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.

SECTION AND DETAIL CONVENTION

SECTION OR DETAIL IDENTIFICATION: 1 C1C1

REFERENCE SHEET No. FROM WHICH SECTION OR DETAIL IS TAKEN: 1 C1C1

REFERENCE SHEET No. ON WHICH SECTION OR DETAIL IS SHOWN: 1 C1C1



DATE: 9-14-15	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 2-10-16	REV. DATE: 2-18-16	REV. DATE:
GRADING, DRAINAGE, EROSION CONTROL PLAN McCORMACK PROPERTY STETSON STREET MOSS BEACH, CALIFORNIA APN: 037-144-030					
Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE PALMDALE, CA 91301 TEL: 760-363-8860 FAX: 726-3665					
SHEET C-1					

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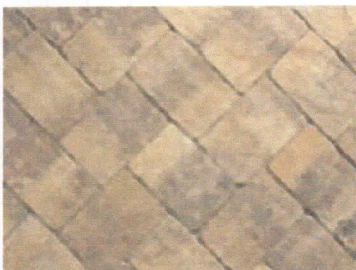
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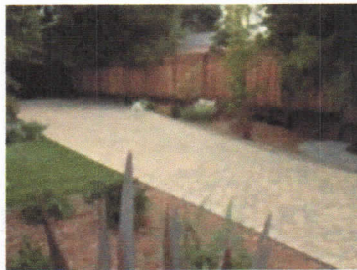
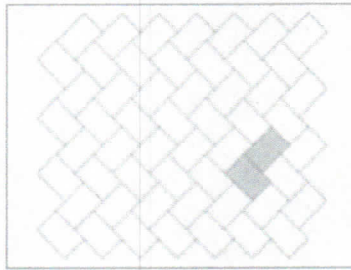


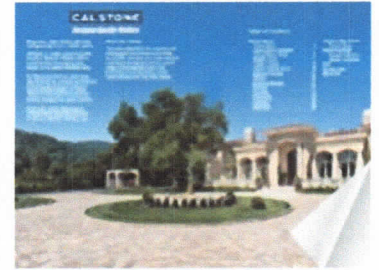
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Patterns

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Hardscape Catalog

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Permeable Quarry Stone

Our new **Narrow Joint** Permeable pavers help the environment by protecting the quality of our water supplies. They reduce the amount of storm water runoff entering our natural waterways that carry with it contaminants and pollutants. The water can naturally drain into the surface through the spaces in the pavers. Permeable pavers also will help with erosion control, and flooding issues.

Note: We stock 6x6 and 6x9 Narrow Joint Permeable Quarry Stone in Cameron Cream, Chaco Canyon, Sequoia Sandstone, Oak Barrel Gray, Rustic Yellowstone and Sierra Granite. All of our remaining blended and solid colors are available by special order.



Special Installation Requirement: You must use a #9 Fine Joint Rock fill which Calstone now produces and has available.

PAVING STONES COLLECTION

- [Antiqued Cobble \(/paving-stones/antiqued-cobble\)](/paving-stones/antiqued-cobble)
- [Belgian Stone \(/paving-stones/belgian-stone\)](/paving-stones/belgian-stone)
- [Classic Cobble \(/paving-stones/classic-cobble\)](/paving-stones/classic-cobble)
- [Permeable Mission \(/paving-stones/permeable-mission\)](/paving-stones/permeable-mission)
- [Quarry Stone \(/paving-stones/quarry-stone\)](/paving-stones/quarry-stone)
- [Symetry \(/paving-stones/symetry\)](/paving-stones/symetry)
- [Antiqued Mission \(/paving-stones/antiqued-mission\)](/paving-stones/antiqued-mission)
- [Bullnose \(/paving-stones/bullnose\)](/paving-stones/bullnose)
- [Mission \(/paving-stones/mission\)](/paving-stones/mission)
- [Permeable Quarry Stone \(/paving-stones/permeable-quarry-stone\)](/paving-stones/permeable-quarry-stone)
- [Quarry Stone Versailles \(/paving-stones/quarry-stone-versailles\)](/paving-stones/quarry-stone-versailles)
- [Turfstone \(/paving-stones/turfstone\)](/paving-stones/turfstone)

Details:

Component Name	Image	Nominal Size Inch	Stones Per Square Foot	Stones Per Pallet	Square Feet Per Pallet
----------------	-------	-------------------	------------------------	-------------------	------------------------

Narrow Joint Permeable Quarry Stone 6x6		6x6 (80MM)	4.12	384	93
Narrow Joint Permeable Quarry Stone 6x9		6x9 (80MM)	2.75	240	87

Permeable Brochure

<http://calstone.com/assets/uploads/products/CalstonePermeableWeb.pdf> <http://calstone.com/assets/uploads/products/Fine9Sand.jpg>

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INTERLOCKING PAVING STONES

4 Step Easy Installation



Paver Shown: Country Cobble

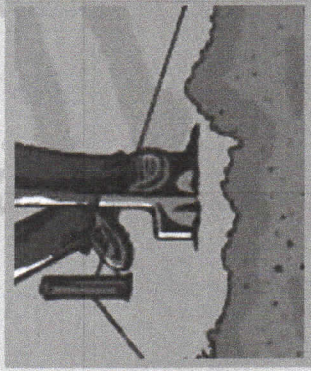


STEP 1 BASE PREPARATION

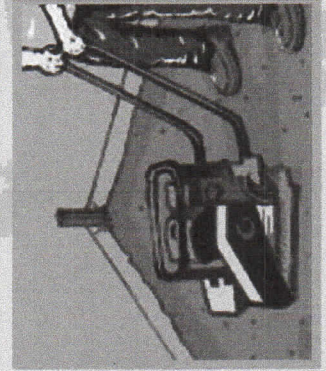
Your paving stone base is extremely important. You must have a well compacted base.

Remove any loose dirt or sod to at least a depth of 5" - 6" below your finish grade. This allows room for your paving stones, and for compacted base. The more time and effort you put into your base preparation the better your paving stone project will look.

Use class 2 aggregate for base filling material. Compact to 95% compaction using a flat plate compactor available from most rental yards. Spread your crushed rock in 2" layers. Spray with water and use compactor until well compacted.



Remove any loose dirt or sod to at least a depth of 5" - 6" below your finish grade.



Compact class 2 aggregate base to 95% compaction using a flat plate compactor.

STEP 2 SAND BEDDING COURSE

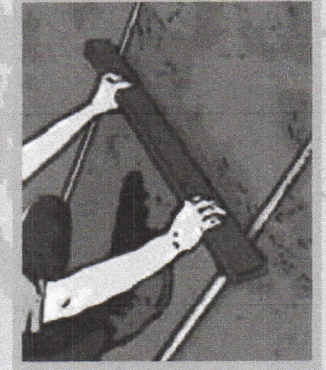
Ise Basalite concrete sand and spread evenly to a 1" depth. Next use rigid 3/4" electrical pipe 10' in length or 1" strips of wood as screed guides.

Lay your pipe about 6 to 8 feet apart and use a wood 2x4 crossways on top of your sand keeping smooth and level.

Remove the pipe and fill in the voids with loose sand. Do not walk on or compact the sand. (Note: make your grade drain water away with a minimum 2% slope.)



Use Basalite concrete sand and spread evenly to a 1" depth.



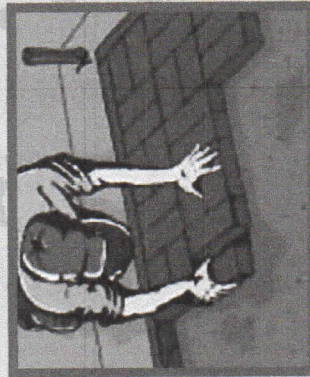
Lay your pipe about 6 to 8 feet apart and use a wood 2x4 crossways on top of your sand keeping smooth and level.

STEP 3

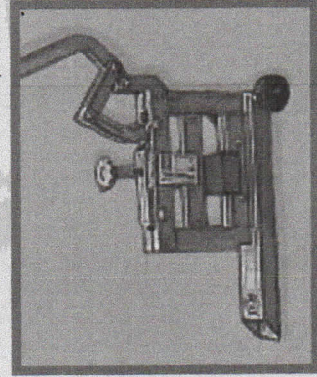
LAYING YOUR PAVERS

Determine your laying pattern (Herringbone, Running, Basket or Random). Work forward from your first paver in a straight line (use a string line to keep pattern straight). Install one row at a time making sure all rows stay straight. Install pavers hand tight.

Install Edge Pro™ paver edging or other suitable edge restraints. Cut pavers with a paver cutter or diamond blade saw.



Install one row at a time making sure all rows stay straight. Install pavers hand tight.

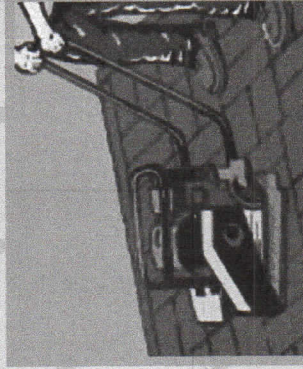


Cut pavers with a paver cutter or diamond blade saw.

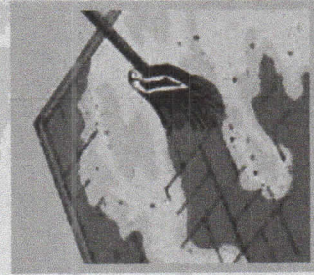
STEP 4

VIBRATING PAVERS

weep off any loose debris or sand that may be on top of pavers. Using your vibratory plate compactor start compacting your pavers working from the outside toward the center. This will level out any high pavers making your surface level. Spread concrete sand over the pavers. Let the sand dry and compact again. This will compact the sand firmly into the joints. For best results use Basalite paver cleaner and sealer.



Using your vibratory plate compactor start compacting your pavers working from the outside toward the center.










Spread concrete sand over the pavers. Let the sand dry and compact again.



For best results use Basalite paver cleaner and sealer.

PROJECT SIZES

SAMPLE PROJECT SIZES		pavers /sf	sf/pallet	pavers /pallet	8' x 10' (80 sq. ft.)	10' x 15' (150 sq. ft.)	12' x 20' (240 sq. ft.)
	Country Cobble or San Francisco Cobblestone 8.25' x 5.5"	3.2	121	384	256	480	768
	Country Cobble or San Francisco Cobblestone 5.5' x 5.5"	4.7	107	512	376	705	1128
	Classic 8.49' x 6.13"	3.8	104	400	264	495	792
	Mission 4' x 8"	4.7	113	528	376	705	1128
	Universal 8.38' x 4.44"	3.7	108	400	296	555	888
	Arrowhead™ 6' x 1.68"	5	85	512	480	900	1440
	Eurasia 6' x 6"	4.1	108	448	328	615	984

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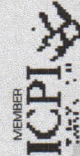
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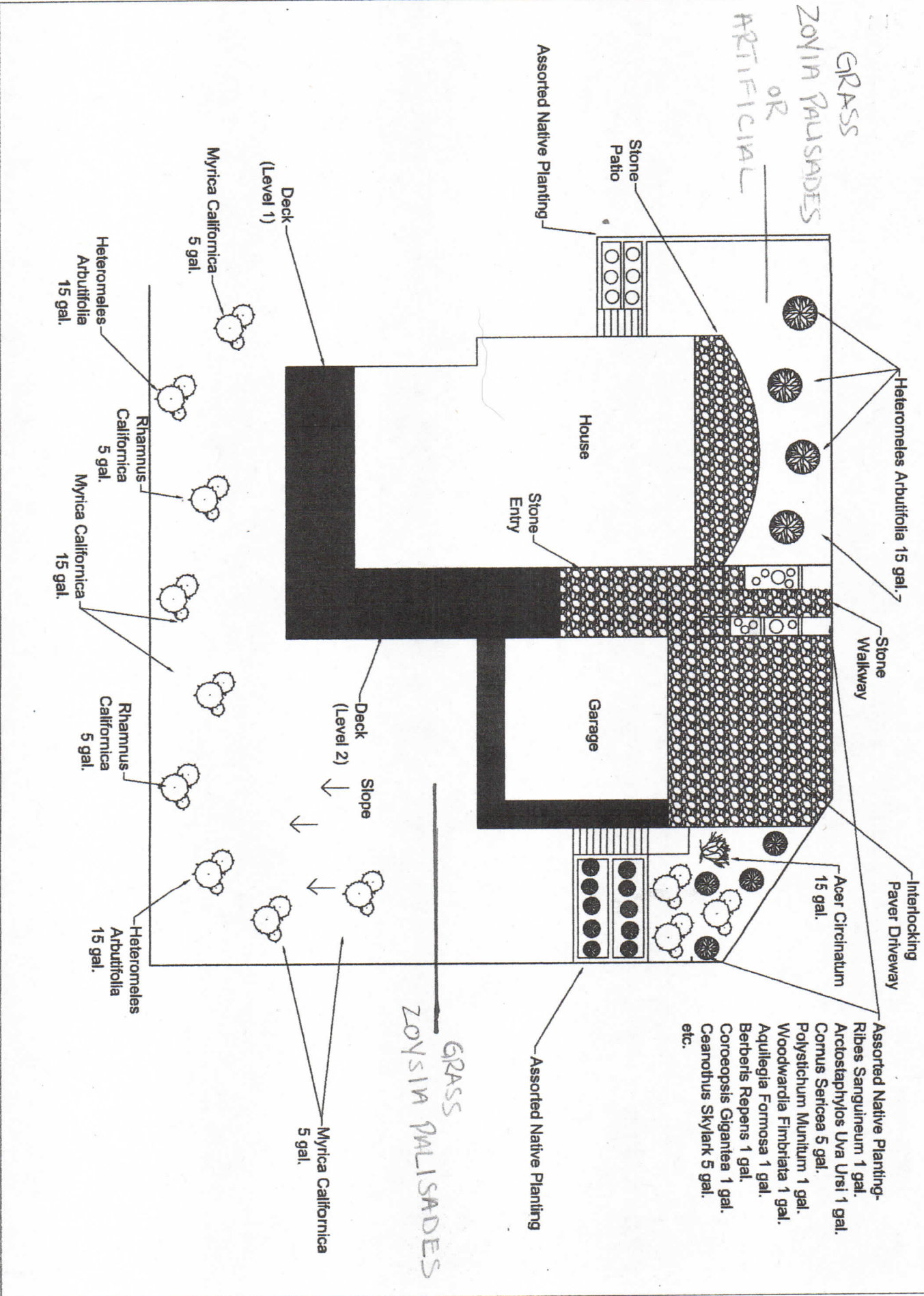












GRASS
ZOYIA PALISADES
OR
ARTIFICIAL

- Assorted Native Planting-
Ribes Sanguineum 1 gal.
Archostaphylos Uva Ursi 1 gal.
Cornus Sericea 5 gal.
Polystichum Munium 1 gal.
Woodwardia Fimbriata 1 gal.
Aquilgia Formosa 1 gal.
Berberis Repens 1 gal.
Coroopsis Gigantea 1 gal.
Ceanothus Skylark 5 gal.
etc.

GRASS
ZOYIA PALISADES



Xeriscaped yard. Photo via [Jeremy Levine Design](#) via Flickr CC

How Do Drip Irrigation and Drought Tolerant Landscaping Stand Up to Sprinklers?

Compared to a traditional sprinkler system, how much water does drip irrigation save for the average homeowner?

Yards and systems vary greatly, so specific dollar amounts are impractical to calculate. But what is known is the percentage of water that the system will save the average user. Compared to sprinkler systems, drip irrigation saves **an average of 50%** (depending on your yard's features, anywhere from 30-70%) of the water a homeowner will use on their yard. Much of this is through less frequent watering, since drip systems use water so much more efficiently, with none of it being wasted through wind, evaporation, and run-off. Drip irrigation provides water to specific places at a rate slow enough that it gets effectively absorbed into the ground.

A draw back for drip irrigation is that it doesn't work for large areas of lawn or ground cover, which many people want to keep. But for gardens, landscaping with shrubs and larger plants, flower beds, and container pots, it's an excellent alternative to sprinklers. Imagine being able to cut your yard water consumption in half, and what that will save you on your water bill, and drip starts to look mighty attractive.

Compared to a traditional sprinkler system, how much water does xeriscaping save for the average homeowner?

Similar to drip irrigation, drought-tolerant landscaping **can cut back on landscape water use by 50-75%**. With estimates that 50% of residential water use goes towards lawns and landscapes, having a landscape that requires as little water as possible makes a big dent in consumption. One potential water savings scenario to consider, as pointed out in the *Handbook of Water Use and Conservation* is to consider 1 inch of water applied over a 1,000 square foot long equates to 624 gallons of water, and if allied three times a week, that adds up to 97,344 gallons just to keep some grass green. Yikes!

cover areas, but then again, lawns don't work for water efficiency anyway.

Drip irrigation products include soaker hoses, dripper lines, and user-installed emitters. Soaker hoses are hoses that aren't water tight, and let water seep through its walls to dampen the ground it's laid on. They aren't that great of an idea, because they can't be easily customized for watering particular plants with particular amounts of water. Dripper lines have holes placed at uniform intervals. They're better than soaker hoses but still not ideal for really efficient watering. The best system for drip irrigation in a home's yard, is user-installed emitters. They take more time to install, but you can customize them to provide water exactly where you want it, in amounts that best suit each plant you're watering. They're also really easy to change up as you alter your landscaping.

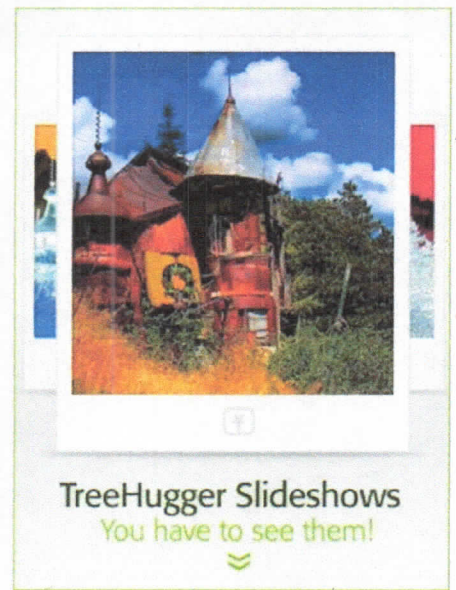
Drip irrigation systems are very easy to hide, inexpensive to install, relatively easy to maintain, easy to customize and can save a lot of money and water in the long run.

What is xeriscaping?

Drought tolerant landscaping, or **xeriscaping**, consists of **using plants that don't need much, or any, watering once established**. The beauty of going with xeriscaping in drought-prone places is you can usually be even greener by selecting native species, which are adapted to the area's climate already. You can get a two-for-one in many areas by growing an herb garden with plants that are drought tolerant, like rosemary, lavender, sage, thyme and other varieties. Some gorgeous plants do well when starved of water, such as roses. After the first year or so when the plants are established, you won't need to water them at all, unless there is a severe drought or heat wave.

Landscaping for drought tolerance can be done anywhere, not just in dry climates, and the popularity is growing as people realize the money it can save. Even lawns can be made more drought tolerant when the **correct variety of grass is used**. But most drought tolerant landscaping consists of native plants or plants known to need little water with **decomposed granite (DG), rocks, or mulch as ground cover**.

Homeowner associations can be a downer, though. For instance, Nearly 25 percent of California's homeowners live in developments that are governed by CC&Rs.; And, in many cases, residents of these developments can be fined by their association if they replace their existing landscaping with California-friendly plants. Not cool. In these cases, drip might be better, or taking an active role in your association and getting the CC&Rs; changed.



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