

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** November 30, 2016

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of an Architectural Review Permit and a Grading Permit, to allow for the demolition of an existing single-family residence and the construction of a new 3,407 sq. ft. single-family residence with an attached 463 sq. ft. garage. The project involves 180 cubic yards of grading in order to prepare the building site for the new residence. The subject property is located at 45 Morse Road in the unincorporated Woodside area of San Mateo County.

County File Number: PLN 2016-00159 (Pirman)

**PROPOSAL**

The applicant proposes to demolish an existing single-family residence and to construct a new 3,407 sq. ft. single-family residence with an attached 463 sq. ft. garage. The project includes 25 cubic yards of cut and 155 cubic yards of fill in order to prepare the building site for the proposed residence. No trees are proposed for removal. The parcel is located within Skyline Boulevard State Scenic Corridor at 45 Morse Lane in the unincorporated Woodside area.

**RECOMMENDATION**

That the Planning Commission approve the requested permits, County File PLN 2016-00159, by making the required findings and adopting the conditions of approval as listed in Attachment A.

**SUMMARY**

The proposed residence will be located in the same general footprint as the existing residence that is proposed for demolition. The existing driveway will continue to provide regular and emergency vehicle access to the site. While the subject parcel is within the Skyline State Scenic Corridor, the proposed project's impacts are minimal given that the project is not visible from the scenic roadway. The proposed project scope and location also allows for the majority of the parcel to remain undisturbed in its natural state, which is consistent with the goals of the State of California Scenic Highways program.

The project is further consistent with the development standards detailed in the S-11 Zoning District. This includes compliance with minimum setbacks, maximum height, and maximum allowable lot coverage. The project is also in compliance with the objectives of the Architectural Review Permit as the proposed residence will not be visible from the scenic roadway due to topography, distance, and existing vegetation. Furthermore, the project utilizes colors and materials that blend with the natural environment. The project complies with the County's Grading Ordinance as the project, as conditioned, will not have an adverse environmental impact and conforms to the County's General Plan.

MJS:AC:aow – ACCAA0574\_WAU.DOCX

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** November 30, 2016

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of an Architectural Review Permit, pursuant to the State of California Streets and Highways Code, and a Grading Permit, pursuant to Section 8600 of the County Ordinance Code, to construct a new 3,407 sq. ft. single-family residence with an attached 463 sq. ft. garage. The project involves 180 cubic yards of grading in order to prepare the building site for the new residence. The parcel is located at 45 Morse Road in the unincorporated Woodside area of San Mateo County.

County File Number: PLN 2016-00159 (Pirman)

**PROPOSAL**

The applicant proposes to demolish an existing single-family residence and to construct a new 3,407 sq. ft. single-family residence, an attached 463 sq. ft. garage, and 1,252.25 sq. ft. of covered porches and patios. The project includes 25 cubic yards of cut and 155 cubic yards of fill in order to prepare the building site for the proposed residence. No trees are proposed for removal. The parcel is located within Skyline Boulevard State Scenic Corridor at 45 Morse Lane in the unincorporated Woodside area.

**RECOMMENDATION**

That the Planning Commission approve the requested permits, County File PLN 2016-00159, by making the required findings and adopting the conditions of approval as listed in Attachment A.

**BACKGROUND**

Report Prepared By: Angela Chavez, Project Planner, Telephone 650/599-7217

Applicant: Frank and Kathy Pirman

Owner: Frank and Kathy Pirman

Location: 45 Morse Lane, Unincorporated Woodside

APN: 075-300-050

Size: 1.64-acre parcel

Existing Zoning: R-1/S-11 (Single-Family Residential/1-5 acre minimum parcel size)

General Plan Designation: Low Density Residential Rural

Parcel Legality: The subject parcel was one of fourteen parcels created through the Sky Ranch subdivision, Volume 64; Pages 39-40. Recorded on March 8, 1966.

Existing Land Use: Improved with a Single-Family Residence

Water Supply: Municipal service is provided by California Water Service Company.

Sewage Disposal: The site currently is improved with an on-site septic system. The existing system serves the single-family residence to be demolished and will also serve the new single-family residence. The County's Environmental Health Division has preliminarily reviewed the plans and provided a conditional approval.

Flood Zone: The project site is located in Flood Zone X as defined by FEMA (Community Panel Number 06081C0294E, dated October 16, 2012), which is an area with minimal potential for flooding.

Environmental Evaluation: Exempt; CEQA Section 15303, Class 3 (New construction of small structures.) This exemption includes the construction of one single-family residence in a residential zone.

Setting: The project site is accessed via an existing driveway from Morse Road. The project property is located approximately 670 feet from the intersection of Morse Road and Skyline Boulevard. The subject parcel is currently developed with a 1,850 sq. ft. single family residence (to be demolished) and a 2,203 sq. ft. detached accessory building (to remain) which includes a workshop, garage, and storage loft space. The general project area is wooded with low density single family residential development found throughout. The greater project area consists of open space areas such as the La Honda Creek Open Space Preserve.

## **DISCUSSION**

### **A. KEY ISSUES**

#### **1. Conformance with the General Plan**

Staff has reviewed the project for conformance with all applicable General Plan Policies. The policies applicable to this project include the following:

Policy 1.24 (*Protect Vegetative Resources*) calls for, in part, the regulation of development to ensure the minimization of the removal of vegetative resources and the protection of scenic trees. The subject parcel is located in a wooded area northwest of the intersection of Skyline Boulevard and Morse Road. Given that the parcel has been previously developed, the applicant has chosen to utilize areas that are either immediately adjacent to existing development or within the boundaries of areas that have been previously disturbed. The applicant has proposed a location that avoids the removal of any trees, thereby allowing the existing trees and natural vegetation to remain.

Policy 2.17 (*Minimize Soil Erosion and Sedimentation*) calls for the regulation of development to minimize soil erosion and sedimentation. The project proposes to utilize the existing driveway which minimizes both the overall site disturbance and immediate grading necessary to complete the project. The proposed residence will be a single-story structure which results in only minor site grading. The overall proposed grading involves approximately 25 cubic yards of cut and 155 cubic yards of fill. Normally, projects that do not exceed 250 cubic yards of grading activity do not trigger grading permits. However, the Architectural Review Standards require a grading permit for any grading activity that exceeds 25 cubic yards. Given the overall size of the parcel and the limited area impacted by the project improvements, the project minimizes the amount of grading necessary by focusing the modifications to areas that have previously been disturbed.

Policy 4.21 (*Scenic Corridors*) calls for the protection and enhancement of the visual quality of scenic corridors by managing the location and appearance of structural development. The subject property is located within the Skyline State Scenic Corridor. The subject property is buffered from public viewpoints of Skyline Boulevard by the existing mature vegetation, topography, and distance. Given the existing site conditions and the single story design, the new single-family residence will not be visible. Further, the proposed development does not require the removal of any trees and the structure utilizes natural materials and colors which aid in blending it with the natural environment and minimizing any impacts to visual resources.

Policies 4.24 and 4.25 (*Location of Structures and Earthwork Operations*) calls for the regulation of the location of development to minimize the impacts of noise, light, glare and odors on adjacent properties and roads. These policies also call for the proposed development to conform to the natural vegetation, landforms, and topography of the existing site while keeping grading or earth-moving operations to a minimum. As previously discussed, the existing driveway will continue to be utilized and the new residence will generally be located where the existing residence is currently located. Therefore, the proposed site disturbance is limited to areas

immediately adjacent to previously disturbed and/or developed areas. The grading for the house has been designed to conform to the topography of the site and results in relatively minor changes. The proposed colors and materials for the structure further aid in minimizing impact of glare by utilizing natural colors and materials which blend with the surrounding environment. Given the overall size of the parcel and the focused areas of the proposed development, the applicant has been thoughtful in preserving the scenic nature of the parcel.

2. Conformance with Zoning Regulations

a. R-1/S-11 Zoning District Requirements

As shown in the table below, the proposed residence complies with the S-11 Zoning Regulations with regard to all aspects of the Zoning Regulations.

|                                | <b>A</b>                                   | <b>B</b>  |
|--------------------------------|--|---|
|                                | <b>S-11 Development Standards</b>          | <b>Proposed</b>   |
| Minimum Lot Size               | 1-5 acres                                  | 1.64 acres (existing)   |
| Minimum Front Setback          | 50 feet<br>100 feet from Skyline Boulevard | 100 feet (proposed house)<br>62 feet (existing detached garage) |
| Minimum Side Setback           | 20 feet                                    | >20 feet (both left and right sides)                            |
| Minimum Rear Setback           | 20 feet                                    | >20 feet  |
| Maximum Allowable Lot Coverage | 15% or 10,715.76 sq. ft.                   | 11% or 7,710.96 sq. ft.   |
| Maximum Building Height        | 36 feet                                    | 17.5 feet   |

3. Conformance with the Architectural Review Permit

Staff has reviewed the project and found it to be in compliance with the applicable sections of the State of California Streets and Highways Code as it pertains to the Skyline State Scenic Corridor. Specifically, the standards attempt to promote the preservation of the visual character and protect the scenic appearance of the Skyline State Scenic Corridor area. As previously

discussed, the subject parcel is developed and is served by existing infrastructure, therefore, the project scope is limited to on-site improvements only. The proposed single-family residence has been located so that distance, topography, existing development, and existing vegetation provide a visual buffer from public viewpoints. The existing and proposed structures utilize natural materials and colors (as indicated above) which aids them in blending in with the surrounding environment. The project also respects the natural topography of the site and has clustered the structures together to minimize site disturbance. Overall, the project has been designed and sited to be subordinate and complementary to the site.

#### 4. Conformance with the Grading Ordinance

The proposed grading activities for this project involve cut and fill activities in order to modify the existing driveway to provide compliant emergency access to the development on the parcel. Approximately 25 cubic yards will be excavated and 155 cubic yards of fill will be used in order to prepare the site for the new single-family residence and to widen the driveway, alter the grade, provide turnarounds, and turnouts capable of accommodating emergency vehicles. Generally, projects which involve 250 cubic yards of grading activity or less do not require a separate grading permit. However, the Architectural Review Standards require that a grading permit be issued for any grading activity that exceeds 25 cubic yards.

Staff has reviewed the proposal against the required findings for the issuance of a grading permit and concluded that the project conforms to the criteria for review contained in Section 8605 of the Grading Ordinance (i.e., standards for erosion and sediment controls and submittal of a geotechnical report). Given that the areas proposed for improvement are clustered amongst the existing development, the disturbed areas are focused and contained allowing the majority of the parcel to remain in its natural state. In order to approve this project, the Planning Commission must make the required findings contained in the grading regulations. Staff concludes that the findings can be made with a discussion of the findings provided below:

a. **That the project will not have a significant adverse effect on the environment.**

The project will have a less than significant impact on the environment. The project as proposed and conditioned limits the area of disturbance to previously developed or immediately adjacent to developed areas. The project does not include the removal of trees nor is there a significant amount of grading proposed.

b. **That the project conforms to the criteria of the San Mateo County Grading Ordinance and is consistent with the General Plan.**

The project, as proposed, conforms to the criteria for review contained in the Grading Ordinance. As discussed in previous sections, the proposed grading and site impacts associated with this project are consistent with the County's General Plan Policies regarding land use compatibility in rural lands and development standards to minimize land use conflicts with the natural environment. The project is also consistent with the intent of the Grading Ordinance that calls for the minimization of alterations to topography, and preservation of trees and vegetation. The proposed grading will minimize potential impacts to open space resource lands as the development is clustered within previously disturbed areas. Furthermore, the location avoids any sensitive habitat and does not involve the removal of significant trees or vegetation.

**B. ENVIRONMENTAL REVIEW**

This project is exempt under Section 15303, Class 3 (New construction or conversion of small structures) of the California Environmental Quality Act (CEQA). This exemption includes the construction of one single-family residence, or a second dwelling unit in a residential zone.

**C. REVIEWING AGENCIES**

Building Inspection Section  
Department of Public Works  
Environmental Health Division  
Geotechnical Section  
Cal-Fire

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Site Plan
- D. Elevations
- E. Floor Plans

MJS:ACC:aow – ACCAA0573\_WAU.DOCX



County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2016-00159      Hearing Date: November 30, 2016

Prepared By: Angela Chavez  
Project Planner

For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding Environmental Review, Find:

1. That this project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3, relating to the construction of one single-family residence in a residential zone.

Regarding the Architectural Review Permit, Find:

2. That the project complies with the criteria of the State of California Streets and Highways Code as it pertains to the Skyline State Scenic Corridor. The proposed project results in on-site improvements only. The proposed development has been carefully located so that distance, topography, existing development, and existing vegetation provide a visual buffer from public viewpoints. The project utilizes colors and materials, which are natural in appearance and earth toned, that helps them to blend with the surrounding environment. The project also respects the natural topography of the site and has clustered the structures together to minimize site disturbance. Overall, the project has been designed and sited as to remain subordinate and complementary to the site.

Regarding the Grading Permit, Find:

3. That this project, as conditioned, will not have a significant adverse effect on the environment. The project has been reviewed by the Planning Staff and the Department of Public Works, which found that the project can be completed without significant harm to the environment as conditioned.
4. That this project, as conditioned, conforms to the criteria of the San Mateo County Grading Ordinance and is consistent with the General Plan. Planning Staff and the Department of Public Works have reviewed the project and have determined its conformance to the criteria of Chapter 8, Division VII, San Mateo County

Ordinance Code, including the standards referenced in Section 8605 and the San Mateo County General Plan.

## **RECOMMENDED CONDITIONS OF APPROVAL**

### Current Planning Section

1. The approval applies only to the proposal as described in this report and materials submitted for review and approval by the Planning Commission on November 30, 2016. The Community Development Director may approve minor revisions or modifications to the project if they are found to be consistent with the intent of and in substantial conformance with this approval.
2. This permit shall be valid for two (2) years from the date of approval in which time a building permit shall be issued. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. No grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion.
4. No grading activities shall commence until the property owner has been issued a grading permit (issued as the "Hard Card" with all necessary information filled out and signatures obtained) by the Current Planning Section and the building permits shall be issued at the same time. No grading activities shall commence until all permits have been issued.
5. The applicant is required to replace any vegetation removed during construction, including ground cover. Per Section 6324.2, vegetation for stabilization of all graded and disturbed areas or for replacement of existing vegetation shall be selected and located to be compatible with surrounding vegetation, recognizing climate, soil and ecological characteristics of the region. This shall occur and be confirmed prior to the building permit's final inspection approval.
6. The provision of the San Mateo County Grading Ordinance shall govern all grading on and adjacent to this site. Per San Mateo County Ordinance Section 8605.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.
7. The engineer who prepared the approved grading plan shall be responsible for the inspection and certification of the grading as required by Section 8606.2 of the Grading Ordinance. The engineer's responsibilities shall include those relating to non-compliance detailed in Section 8606.5 of the Grading Ordinance.

8. Erosion and sediment control during the course of grading work shall be installed and maintained according to a plan prepared and signed by the engineer of record, and approved by the Department of Public Works and the Current Planning Section. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the engineer, and must be reviewed and approved by the Department of Public Works and Current Planning Section.
9. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
10. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site:
  - a. The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer.
  - b. The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and Current Planning Section.
11. Prior to the beginning of all construction, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:
  - a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.

- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for construction.
- d. Within five days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative Best Management Practices (BMPs), such as mulching, or vegetative erosion control methods, such as seeding. vegetative erosion control shall be established within two weeks of seeding/planting.
- e. Construction entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
- k. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/basins shall be cleaned out when 50% full (by volume).
- l. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5-acre or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
- m. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.

12. The applicant shall submit a dust control plan to the Planning Department for review and approval prior to the issuance of a building permit for the project. The approved plan shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The plan shall include the following control measures:
  - a. Water all active construction areas at least twice daily, as needed.
  - b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
  - c. Cover all trucks hauling soil, sand and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
  - d. Apply water three times daily as needed, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
  - e. Sweep daily (preferably with water sweepers) all paved access roads, parking and staging areas at construction sites.
  - f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
  - g. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
  - h. Limit traffic speeds on unpaved roads within the project parcel to 15 mph.
  - i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
  - j. Replant vegetation in disturbed areas as quickly as possible.
13. The applicant shall implement the following basic construction measures at all times:
  - a. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control Measure, Title 13, Section 2485 of the California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.

- b. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
  - c. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or their designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations
14. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
15. The applicant shall submit an on-site drainage plan, as prepared by a civil engineer, showing all permanent, post-construction stormwater controls and drainage mechanisms at the time of each respectively submitted project application. The required drainage plan shall show, in all respective cases, the mechanisms necessary to contain all water runoff generated by on-site impervious surfaces, and to reduce the amount of off-site runoff through the use of on-site percolation facilities. The drainage plan shall also include facilities to minimize the amount of pollutants in stormwater runoff through on-site retention and filtering facilities.

The on-site drainage plan shall be submitted to the Current Planning Section for review and approval by the Community Development Director prior to the issuance of building permits. The plan shall be included as part of the project's final building permit application and construction plans. The County Building Inspection Section shall ensure that the approved plan is implemented prior to the project's final building and/or grading inspection approval.

16. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into local storm drain systems and water bodies by adhering to the San Mateo Countywide Stormwater Pollution Prevention Program and General Construction and Site Supervision Guidelines, including:
- a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.

- b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - d. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
  - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
  - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - h. Performing clearing and earth-moving activities only during dry weather.
  - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilizing designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. The contractor shall train and provide instruction to all employees and subcontractors regarding the construction best management practices.
17. No trees are approved for removal as part of this permit approval. A separate permit shall be required for the removal of any trees. An application and processing, including applicable fees, shall be required prior to any proposed tree removal.
18. Prior to the issuance of a building permit the applicant shall submit color and materials samples for review and approval by the Community Development Director.

19. Prior to scheduling a final inspection, color verification shall occur in the field after the applicant has applied the approved materials and colors. The applicant is required to maintain the approved materials and colors.
20. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
21. Prior to building permit issuance, the project sponsor shall incorporate via a note on the first page of the construction plans that, should cultural resources be encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e). The note on the plans shall be subject to review and approval of the Current Planning Section.

#### Building Inspection Section

22. Project shall meet the requirements of the current California Residential Code and Section R327 for Exterior Wildfire Exposure.
23. Infrastructure for Electric Vehicle Charging shall be installed per the current California Green Building Standards.

#### Environmental Health Division

24. The applicant shall comply with all requirements of the Environmental Health Division at the building permit stage of the application.

#### Geotechnical Section

25. The applicant shall comply with all requirements of the Geotechnical Section prior to the issuance of the building permit and during the construction phase of the project.
26. The applicant shall submit a soil/foundation report at the building permit stage of the application.



### Department of Public Works

27. Prior to the issuance of the Building Permit or Planning Permit (for Provision C3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
28. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
29. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

### Woodside Fire Protection District

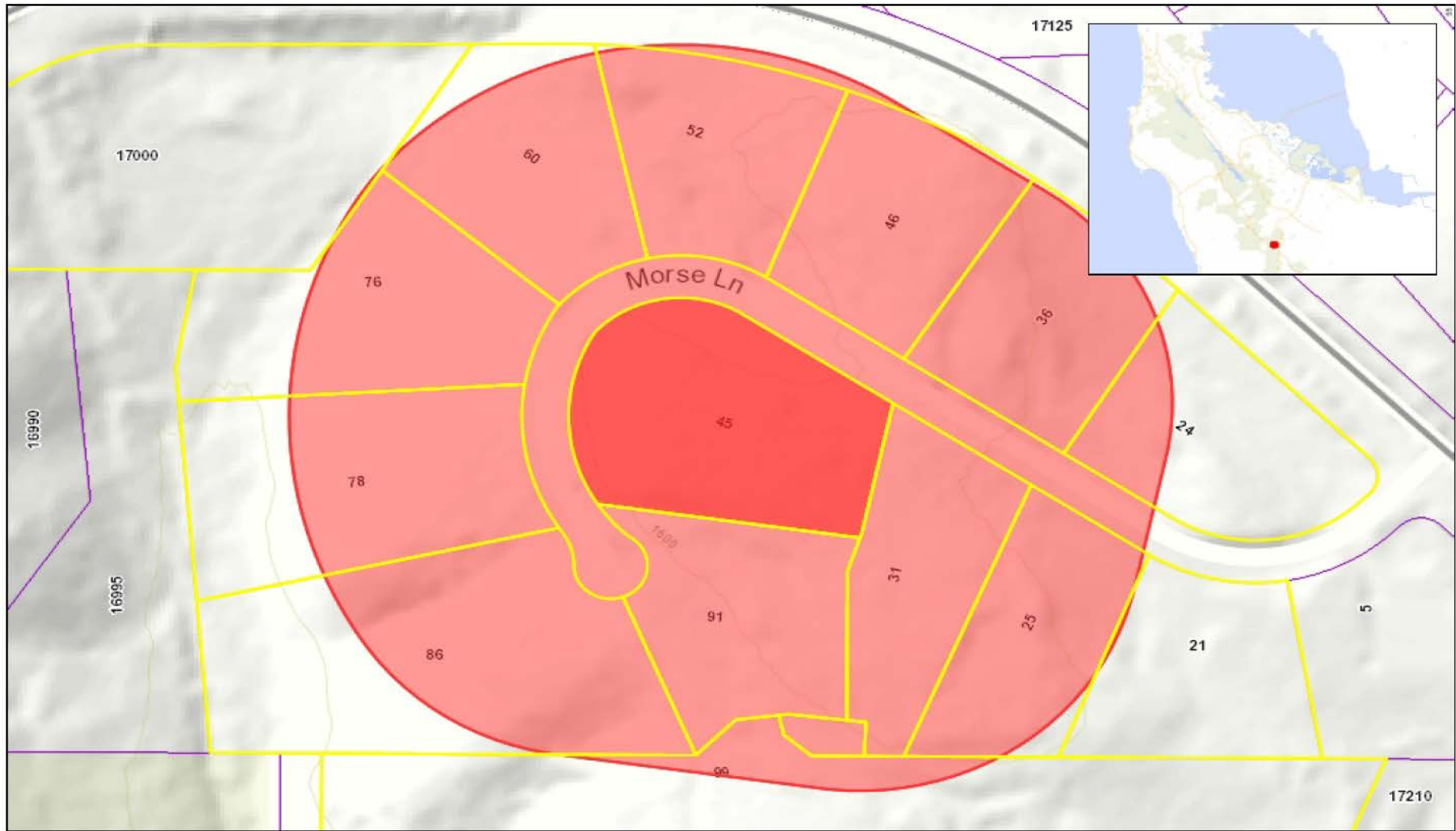
30. Must comply with Chapter 7A of California Building Code for ignition resistant construction and materials. All wood siding must be listed on California State Fire Marshal website as tested and approved ignition resistant materials. Foundation, attic, gable, soffit and eave vents must be Brandguard or Vulcan type. Windows to be tempered and roof to be Class A.
31. The property address shall be clearly posted and visible from street with a minimum of 4-inch numbers on a contrasting background.
32. An approved spark arrestor shall be installed on all chimneys including any outside fireplace.
33. Smoke and CO detectors shall be installed per code.
34. A NFPA 13D Fire Sprinkler system shall be installed
35. One hundred (100) feet of defensible space shall be provided around the proposed new structure prior to start of construction. This does not permit the removal of any significant trees or vegetation. Please consult with the Current Planning Section prior to the trimming or removal of any trees or vegetation.

36. Upon final inspection, a 30-foot perimeter defensible space shall be provided. This does not permit the removal of any significant trees or vegetation. Please consult with the Current Planning Section prior to the trimming or removal of any trees or vegetation.
37. The existing driveway will require a turnout if over 350 feet in length and a fire department truck turnaround if over 150 feet in length. ([www.woodsidefire.org](http://www.woodsidefire.org))
38. A fire hydrant is required to be located within 500 feet of the front door, measured, on a drivable roadway and capable of producing 1,000 GPM. At the building permit phase, please show on the plans the location and distance of the nearest fire hydrant to the proposed residence via a drivable roadway.

California Water Service Company

39. The applicant shall comply with all California Water Service Company requirements at the building permit stage of the application.

MJS:ACC:aow – ACCAA0573\_WAU.DOCX



0.07 0 0.04 0.07 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1: 2,256



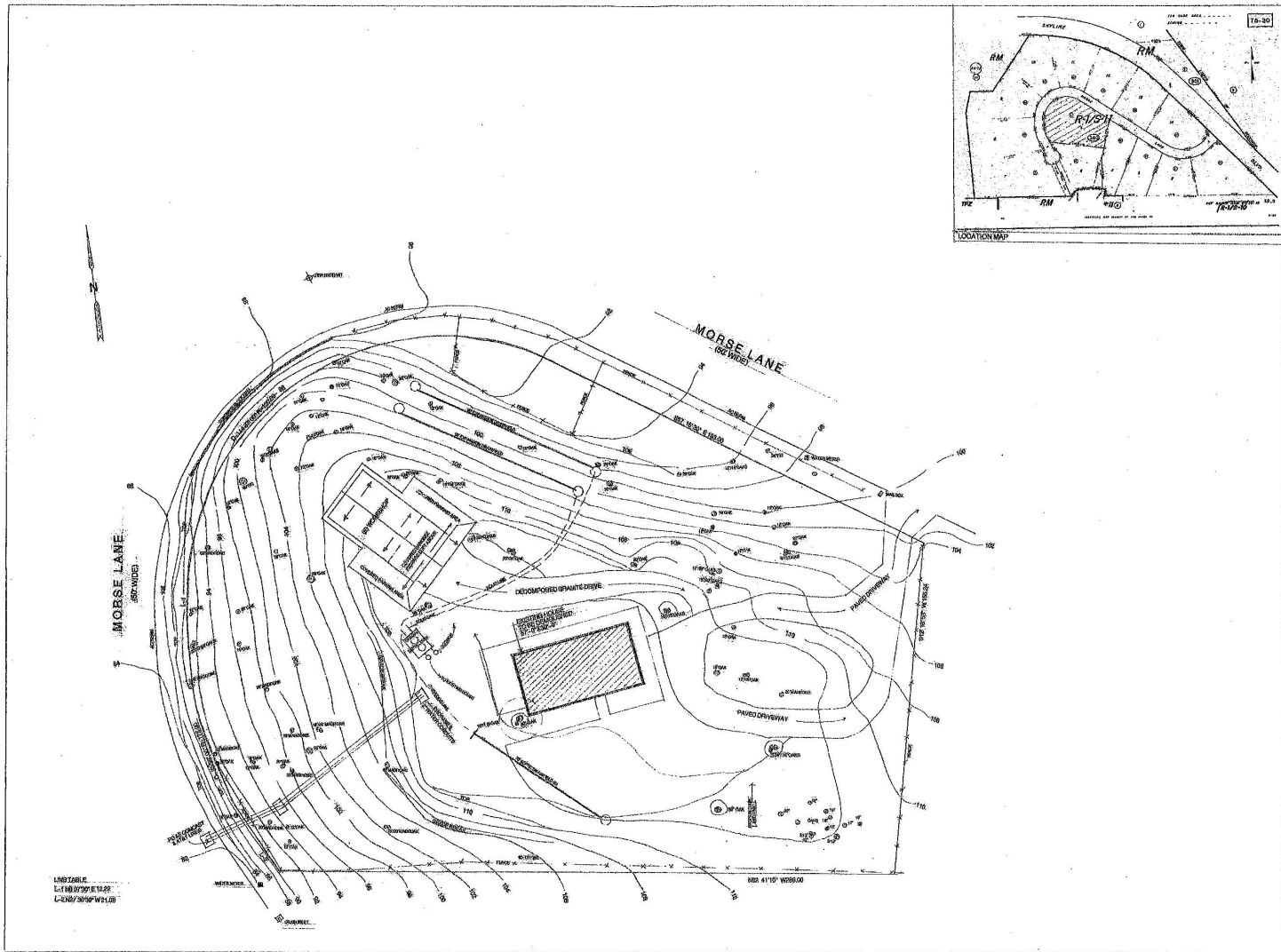
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

### San Mateo County Planning Commission Meeting

Owner/Applicant: \_\_\_\_\_

Attachment: \_\_\_\_\_

File Numbers: \_\_\_\_\_



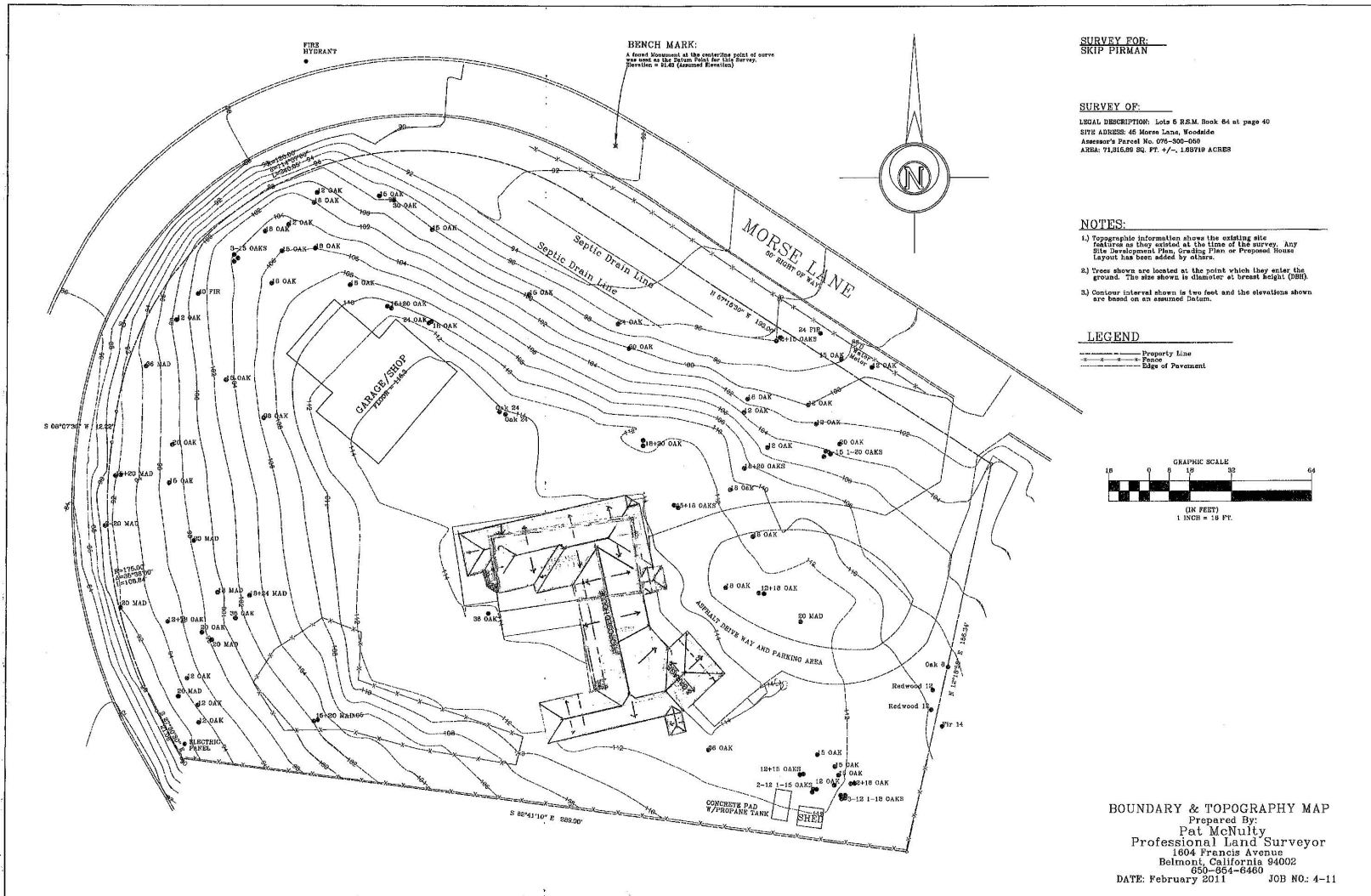
**Existing Site Plan**

**San Mateo County Planning Commission Meeting**

Owner/Applicant:

Attachment:

File Numbers:



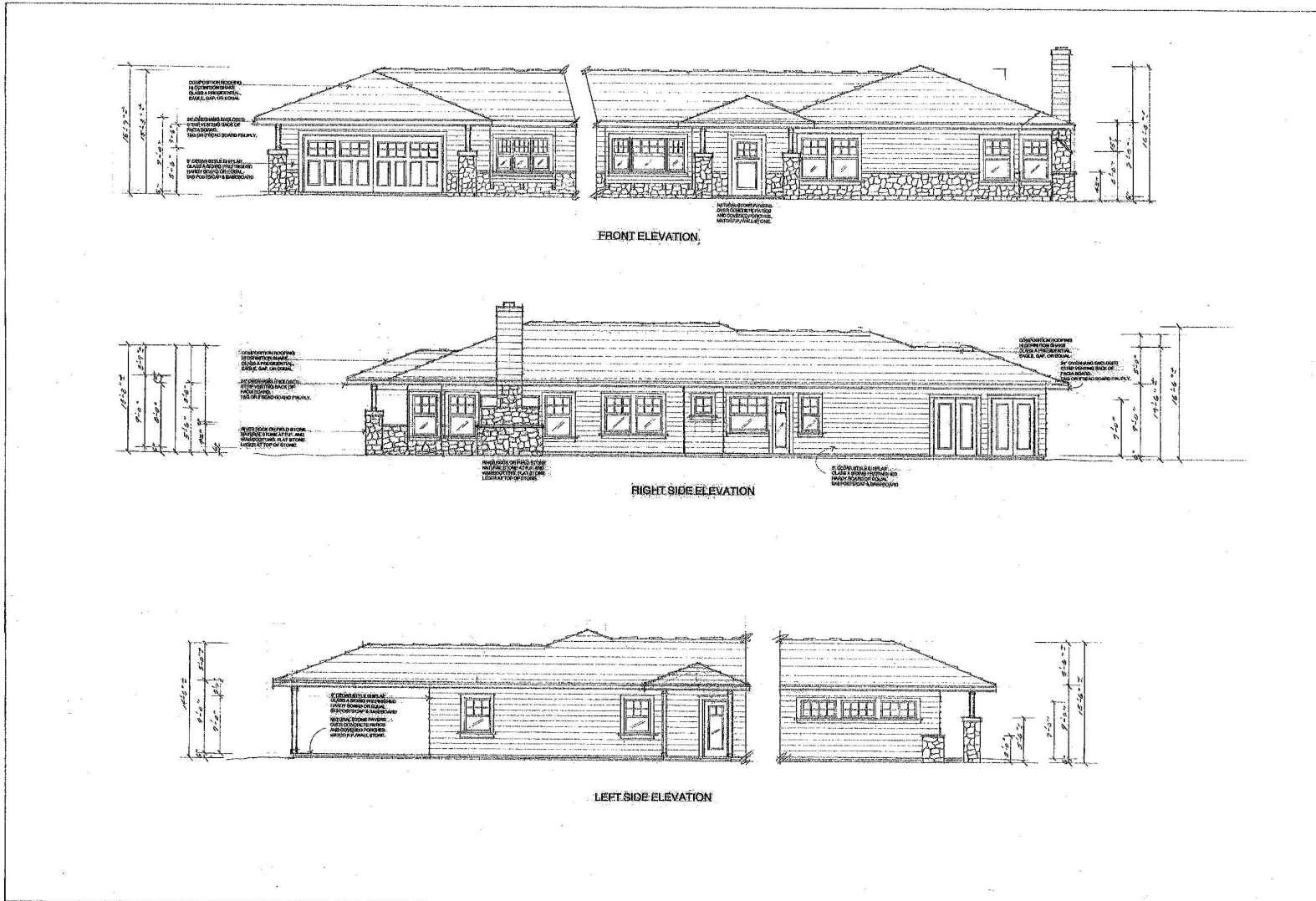
## Proposed Site Plan

### San Mateo County Planning Commission Meeting

Owner/Applicant:

Attachment:

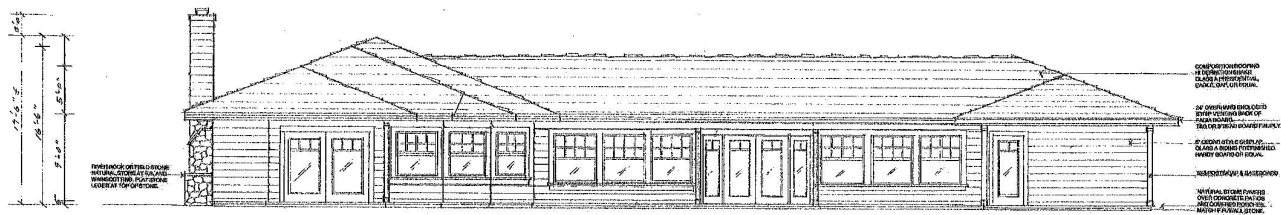
File Numbers:



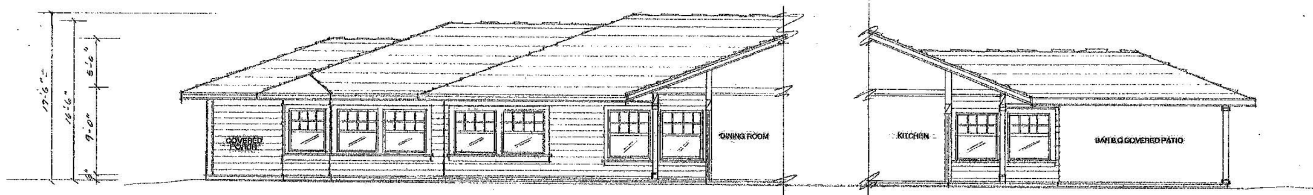
|  |
|--|
| EXTERIOR ELEVATIONS                                      |
| PRIMAN RESIDENCE<br>45 MORSELL AVE<br>WOODSIDE, CA 94082 |
| DRAWN  |
| CHECKED  |
| DATE   |
| SCALE  |
|  |

**San Mateo County Planning Commission Meeting**

Owner/Applicant: \_\_\_\_\_ Attachment: \_\_\_\_\_  
 File Numbers: \_\_\_\_\_



REAR ELEVATION



LEFT COURTYARD WALL

RIGHT COURTYARD WALL

EXTERIOR ELEVATIONS

PIRMAN RESIDENCE  
45 MICHELLE LANE  
WOODSIDE, CA 94062

|         |  |
|---------|--|
| DRAWN   |  |
| CHECKED |  |
| DATE    |  |
| JOB #   |  |
| SCALE   |  |

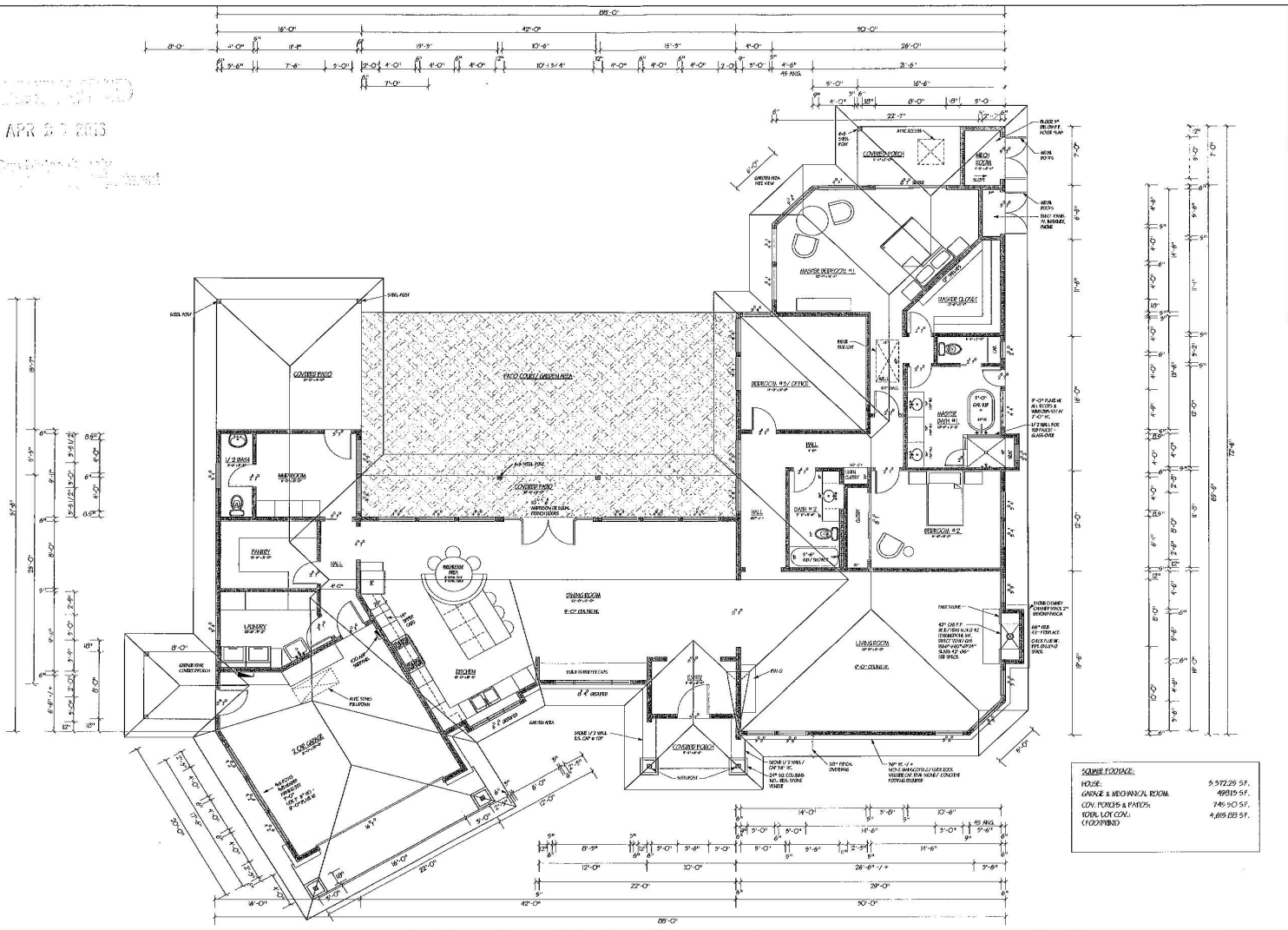
**San Mateo County Planning Commission Meeting**

Owner/Applicant: \_\_\_\_\_

Attachment: \_\_\_\_\_

File Numbers: \_\_\_\_\_

REVISIONS  
APR 27 2013



**ROUGH FOOTAGE:**

|                          |              |
|--------------------------|--------------|
| HOUSE                    | 5,572.25 SF. |
| GARAGE & MECHANICAL ROOM | 4,995.5 SF.  |
| COV. PORCH & PATIOS      | 746.50 SF.   |
| TOTAL LOT COV.           | 4,695.88 SF. |
| (C/OVERLAP)              |              |

| REVISION | BY |
|----------|----|
|          |    |
|          |    |
|          |    |
|          |    |
|          |    |
|          |    |
|          |    |
|          |    |
|          |    |
|          |    |
|          |    |
|          |    |
|          |    |

WOODRUFF-WILSON ASSOCIATES  
1980 S. HAYWARD BLVD., SUITE 200, HAYWARD, CA 94541  
WOODRUFF-WILSON ASSOCIATES  
1980 S. HAYWARD BLVD., SUITE 200, HAYWARD, CA 94541  
WOODRUFF-WILSON ASSOCIATES  
1980 S. HAYWARD BLVD., SUITE 200, HAYWARD, CA 94541

**PRELIMINARY E  
FLOOR PLAN**

**PIRMAN RESIDENCE**  
45 MORRIS LANE  
WOODSIDE, CA 94062

DRAWN  
MWP

CHECKED

DATE  
07.20.15

JOB No.  
1511

SCALE 1/4" = 1'-0"

**A-2**

**San Mateo County Planning Commission Meeting**

Owner/Applicant: \_\_\_\_\_ Attachment: \_\_\_\_\_

File Numbers: \_\_\_\_\_