
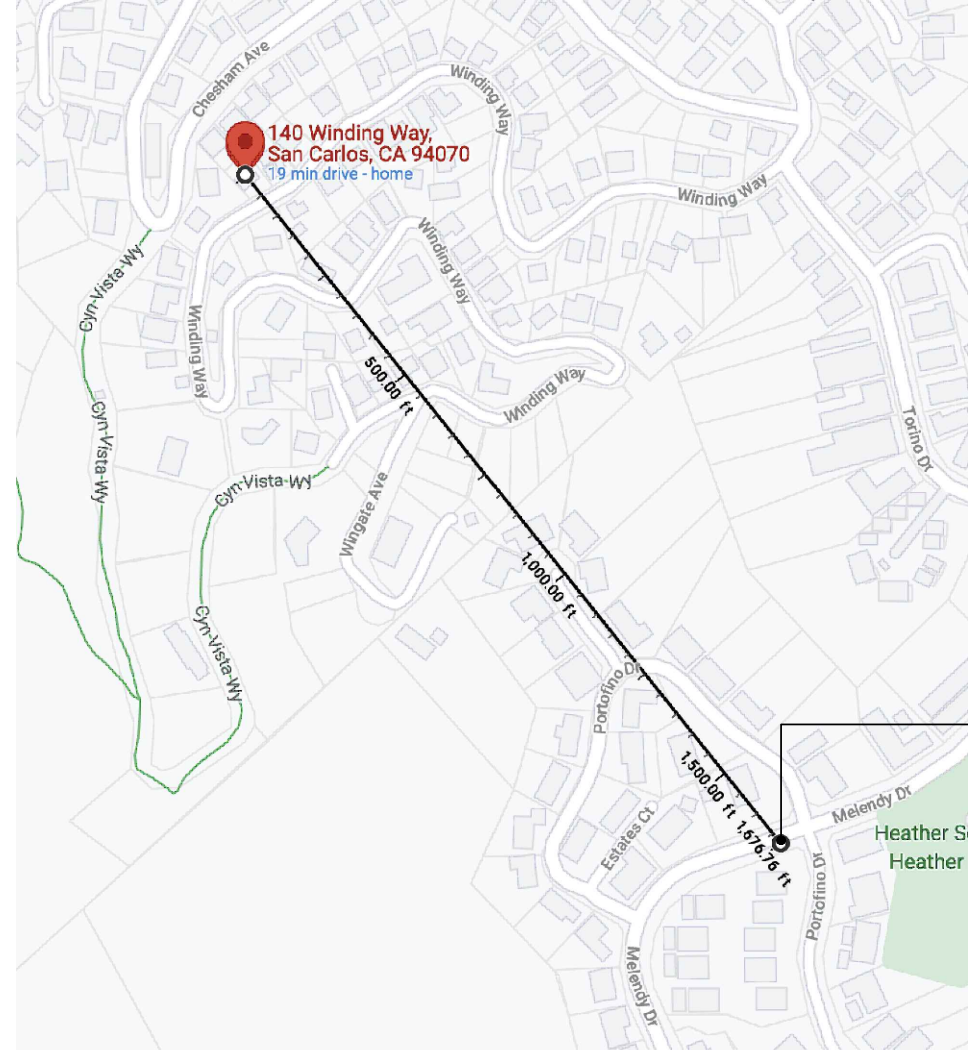




# SONG RESIDENCE ATLERATION

140 WINDING WAY SAN CARLOS CA 94070

**LOGIC HOME DEVELOPMENT INC.**  
DESIGN | CONSTRUCTION

address. 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone. 650 . 797 . 3999  
email. logichomeinc@gmail.com

DRAWING INDEX	PROJECT INFO	PROJECT DATA	VICINITY MAP																																																																																																																			
<p><b>ARCHITECTURAL:</b></p> <p>A0.1 COVER SHEET A0.2 AREA CALCULATION, 50% VALUATION DETERMINATION</p> <p>A1.1 SURVEY A1.2 DEMO PLAN AND SITE PLAN (1/8"= 1')</p> <p>A2.1 EXISTING AND PROPOSED FLOOR PLANS (1/4"= 1') A2.2 EXISTING AND PROPOSED FLOOR PLANS (1/4"= 1')</p> <p>A4.1 EXISTING AND PROPOSED ELEVATIONS (1/4"= 1') A4.2 EXISTING AND PROPOSED ELEVATIONS (1/4"= 1') A4.3 EXISTING AND PROPOSED ELEVATIONS (1/4"= 1') A4.4 EXISTING AND PROPOSED ELEVATIONS (1/4"= 1') A4.5 EXISTING AND PROPOSED SECTIONS (1/4"= 1')</p>	<p>ADDRESS 140 WINDING WAY, SAN CARLOS CA 94070</p> <p>APN 049-141-420</p> <p>TYPE OF CONSTRUCTION V-B</p> <p>OCCUPANCY R-3</p> <p>ZONING R1/S1/DR</p> <p>EASEMENT YES, LEFT AND REAR</p> <p>TOTAL NUMBER OF UNITS 1</p> <p>LOT SIZE 4,590 SQFT</p> <p>LOT AVERAGE SLOPE 15%</p> <p>FLOOD ZONE NO</p> <p>LIVING UNIT 1</p> <p>CONSTRUCTION YEAR 1941</p> <p>FIRE SPRINKLER SYSTEM NO</p>	<p>EXISTING GROSS FLOOR AREA 1,504 SQFT</p> <p>EXISTING LIVING AREA 880 SQFT</p> <p>EXISTING GROSS FLOOR AREA REMOVED 384 SQFT</p> <p>LIVING AREA CONVERT FROM STORAGE 0 SQFT</p> <p>NEW ADDITION 547 SQFT</p> <p>PROPOSED LIVING AREA 1,427 SQFT</p> <p>PROPOSED GROSS FLOOR AREA 1,427 SQFT</p> <table border="1"> <thead> <tr> <th></th> <th>PROPOSED</th> <th>EXISTING</th> </tr> </thead> <tbody> <tr> <td>GROSS FLOOR AREA</td> <td></td> <td></td> </tr> <tr> <td>MAIN RESIDENCE</td> <td>1,427 SQFT</td> <td>880 SQFT</td> </tr> <tr> <td>SUNROOM</td> <td>0 SQFT</td> <td>260 SQFT</td> </tr> <tr> <td>DETACHED GARAGE</td> <td>240 SQFT(NOT COUNTED)</td> <td>240 SQFT (NOT COUNTED)</td> </tr> <tr> <td>SHED</td> <td>0 SQFT</td> <td>124 SQFT</td> </tr> <tr> <td>ADU</td> <td>772 SQFT(NOT COUNTED)</td> <td>NA</td> </tr> <tr> <td>TOTAL</td> <td>1,427 SQFT</td> <td>1,264 SQFT</td> </tr> <tr> <td>MAX. GFA ALLOWED</td> <td>2,000 SQFT</td> <td></td> </tr> </tbody> </table> <p>FAR 31.1% 27.5%</p> <p>LOT COVERAGE</p> <table border="1"> <thead> <tr> <th></th> <th>PROPOSED</th> <th>EXISTING</th> </tr> </thead> <tbody> <tr> <td>MAIN RESIDENCE</td> <td>1,427 SQFT</td> <td>880 SQFT</td> </tr> <tr> <td>GARAGE &amp; STORAGE</td> <td>240 SQFT</td> <td>240 SQFT</td> </tr> <tr> <td>ATTACHED SUNROOM</td> <td>0 SQFT</td> <td>260 SQFT</td> </tr> <tr> <td>SHED</td> <td>0 SQFT</td> <td>124 SQFT</td> </tr> <tr> <td>DECK /ABOVE GRADE STAIRS</td> <td>54 SQFT</td> <td>497 SQFT</td> </tr> <tr> <td>COVERED PATIO</td> <td>0 SQFT</td> <td>0 SQFT</td> </tr> <tr> <td>TOTAL</td> <td>1,667 SQFT</td> <td>2,001 SQFT</td> </tr> </tbody> </table> <p>COVERAGE RATIO 37.5% 43.6%</p> <p>NUMBER OF BEDROOMS 3 2</p> <p>NUMBER OF BATHROOMS 2 1</p> <p>COVERED PARKING SPACE 1 1</p> <p>STORIES 2 1</p> <p>BUILDING HEIGHT 25'8" 14'3"</p> <p>SETBACK</p> <table border="1"> <thead> <tr> <th></th> <th>PROPOSED</th> <th>EXISTING</th> </tr> </thead> <tbody> <tr> <td>FRONT</td> <td>NO CHANGE</td> <td>0"</td> </tr> <tr> <td>REAR</td> <td>27'10 1/2"</td> <td>34' 0"</td> </tr> <tr> <td>LEFT</td> <td>NO CHANGE</td> <td>10' 7 1/2"</td> </tr> <tr> <td>RIGHT</td> <td>NO CHANGE</td> <td>4' 9 1/2"</td> </tr> </tbody> </table>		PROPOSED	EXISTING	GROSS FLOOR AREA			MAIN RESIDENCE	1,427 SQFT	880 SQFT	SUNROOM	0 SQFT	260 SQFT	DETACHED GARAGE	240 SQFT(NOT COUNTED)	240 SQFT (NOT COUNTED)	SHED	0 SQFT	124 SQFT	ADU	772 SQFT(NOT COUNTED)	NA	TOTAL	1,427 SQFT	1,264 SQFT	MAX. GFA ALLOWED	2,000 SQFT			PROPOSED	EXISTING	MAIN RESIDENCE	1,427 SQFT	880 SQFT	GARAGE & STORAGE	240 SQFT	240 SQFT	ATTACHED SUNROOM	0 SQFT	260 SQFT	SHED	0 SQFT	124 SQFT	DECK /ABOVE GRADE STAIRS	54 SQFT	497 SQFT	COVERED PATIO	0 SQFT	0 SQFT	TOTAL	1,667 SQFT	2,001 SQFT		PROPOSED	EXISTING	FRONT	NO CHANGE	0"	REAR	27'10 1/2"	34' 0"	LEFT	NO CHANGE	10' 7 1/2"	RIGHT	NO CHANGE	4' 9 1/2"	<p><b>SUBJECT PROJECT</b></p>  <p><b>SAMTRANS 61 MELENDY DR &amp; PORTOFINO DR</b></p> 																																																	
	PROPOSED	EXISTING																																																																																																																				
GROSS FLOOR AREA																																																																																																																						
MAIN RESIDENCE	1,427 SQFT	880 SQFT																																																																																																																				
SUNROOM	0 SQFT	260 SQFT																																																																																																																				
DETACHED GARAGE	240 SQFT(NOT COUNTED)	240 SQFT (NOT COUNTED)																																																																																																																				
SHED	0 SQFT	124 SQFT																																																																																																																				
ADU	772 SQFT(NOT COUNTED)	NA																																																																																																																				
TOTAL	1,427 SQFT	1,264 SQFT																																																																																																																				
MAX. GFA ALLOWED	2,000 SQFT																																																																																																																					
	PROPOSED	EXISTING																																																																																																																				
MAIN RESIDENCE	1,427 SQFT	880 SQFT																																																																																																																				
GARAGE & STORAGE	240 SQFT	240 SQFT																																																																																																																				
ATTACHED SUNROOM	0 SQFT	260 SQFT																																																																																																																				
SHED	0 SQFT	124 SQFT																																																																																																																				
DECK /ABOVE GRADE STAIRS	54 SQFT	497 SQFT																																																																																																																				
COVERED PATIO	0 SQFT	0 SQFT																																																																																																																				
TOTAL	1,667 SQFT	2,001 SQFT																																																																																																																				
	PROPOSED	EXISTING																																																																																																																				
FRONT	NO CHANGE	0"																																																																																																																				
REAR	27'10 1/2"	34' 0"																																																																																																																				
LEFT	NO CHANGE	10' 7 1/2"																																																																																																																				
RIGHT	NO CHANGE	4' 9 1/2"																																																																																																																				
<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.</li> <li>THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.</li> <li>NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.</li> <li>THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.</li> <li>ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODE (UBC), UNIFORM MECHANICAL CODE (UMC), NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.</li> <li>THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.</li> <li>CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.</li> <li>ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.</li> <li>ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.</li> <li>RETROFIT HOLDDOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION.</li> </ol>	<p><b>PROJECT SCOPE</b></p> <p>THE EXISTING STRUCTURE IS A 880-SF SINGLE FAMILY HOME. THE PROJECT IS TO:</p> <ol style="list-style-type: none"> <li>REMODEL/ALTERNATE THE EXISTING LIVING SPACE</li> <li>ADD NEW LIVING SPACE OF 547 SF</li> <li>ADD A 772-SF ADU</li> <li>WIDEN THE ROAD SHOULDER OF WINDING WAY TO CREATE A NEW PARKING SPACE</li> <li>REPLACE THE FENCE IN THE FRONT WITH 6-FT HIGH FENCE</li> </ol>	<p><b>APPLICABLE CODES</b></p> <p>2019 CRC, CEBC, CES, CPC, CMC, CFC, CALGREEN, CALIFORNIA ENERGY EFFICIENCY STANDARDS SAN MATEO COUNTY ZONING REGULATIONS</p>																																																																																																																				
<p><b>ABBREVIATIONS</b></p> <table border="0"> <tr> <td>A/C AIR CONDITIONING</td> <td>FIN FINISH</td> <td>PERP PERPENDICULAR</td> </tr> <tr> <td>ADJ ADJACENT</td> <td>FLR FLOOR(ING)</td> <td>PROPERTY LINE OR PLATE</td> </tr> <tr> <td>AFF ABOVE FINISHED FLOOR</td> <td>FOF FACE OF FINISH</td> <td>PLYWD PLYWOOD</td> </tr> <tr> <td>AL ALUMINUM</td> <td>FOS FACE OF STUDS</td> <td></td> </tr> <tr> <td>ANOD ANODIZED</td> <td>FR FIRE RATED</td> <td>RRC REINFORCED CONCRETE</td> </tr> <tr> <td>APPROX APPROXIMATE(LY)</td> <td>FT FOOT / FEET</td> <td>RD ROOF DRAIN</td> </tr> <tr> <td>ARCH ARCHITECT(URAL)</td> <td>FTG FOOTING</td> <td>REF REFERENCE</td> </tr> <tr> <td></td> <td></td> <td>RM ROOM</td> </tr> <tr> <td>BD BOARD</td> <td>GA GAUGE</td> <td>RO ROUGH OPENING</td> </tr> <tr> <td>BLDG BUILDING</td> <td>GALV GALVANIZED</td> <td></td> </tr> <tr> <td>BLK BLOCK</td> <td>GL GLASS</td> <td>S SOUTH</td> </tr> <tr> <td>BOT BOTTOM</td> <td>GR GRADE</td> <td>SD STORM DRAIN</td> </tr> <tr> <td>BTU BRITISH THERMAL UNIT</td> <td>GYP GYPSUM</td> <td>SF SQUARE FOOT</td> </tr> <tr> <td></td> <td></td> <td>SHT SHEET (ING)</td> </tr> <tr> <td>CEM CEMENT</td> <td>HB HOSE BIB</td> <td>SHTG SHEATHING</td> </tr> <tr> <td>CER CERAMIC</td> <td>HDWR HARDWARE</td> <td>SIM SIMILAR</td> </tr> <tr> <td>CJ CONTROL JOINT</td> <td>HORIZ HORIZONTAL</td> <td>SPEC(S) SPECIFICATION(S)</td> </tr> <tr> <td>CLG CEILING</td> <td>HW HOT WATER</td> <td>SSL STAINLESS STEEL</td> </tr> <tr> <td>CLR CLEAR</td> <td>HT HEIGHT</td> <td>STD STANDARD</td> </tr> <tr> <td>CONC CONCRETE</td> <td>HP HORSEPOWER</td> <td>STL STEEL</td> </tr> <tr> <td>CONT CONTINUOUS</td> <td></td> <td></td> </tr> <tr> <td>CTR CENTER</td> <td>INSUL INSULATION</td> <td>T THERMOSTAT</td> </tr> <tr> <td></td> <td>INT INTERIOR</td> <td>TEMP TEMPERED</td> </tr> <tr> <td>DBL DOUBLE</td> <td></td> <td>TOS TOP OF SLAB</td> </tr> <tr> <td>DEMO DEMOLITION</td> <td>MAX MAXIMUM</td> <td>TYP TYPICAL</td> </tr> <tr> <td>DIA DIAMETER</td> <td>MECH MECHANICAL</td> <td></td> </tr> <tr> <td>DIM DIMENSION</td> <td>MFR MANUFACTURER</td> <td>UON UNLESS OTHERWISE NOTED</td> </tr> <tr> <td>DN DOWN</td> <td>MIN MINIMUM</td> <td></td> </tr> <tr> <td>DR DOOR</td> <td>MISC MISCELLANEOUS</td> <td>VERT VERTICAL</td> </tr> <tr> <td>DWG DRAWING</td> <td>MTD MOUNTED</td> <td>VIF VERIFY IN FIELD</td> </tr> <tr> <td>DS DOWN SPOUT</td> <td></td> <td></td> </tr> <tr> <td>E EAST</td> <td>N NORTH</td> <td>W/ WITH</td> </tr> <tr> <td>(E) EXISTING</td> <td>(N) NEW</td> <td>W/O WITHOUT</td> </tr> <tr> <td>ELEC ELECTRICAL</td> <td>N/A NOT APPLICABLE</td> <td>WC WATER CLOSET</td> </tr> <tr> <td>EQ EQUAL</td> <td>NTS NOT TO SCALE</td> <td>WD WOOD</td> </tr> <tr> <td>EXT EXTERIOR</td> <td></td> <td>WH WATER HEATER</td> </tr> <tr> <td></td> <td>OC ON CENTER</td> <td>W.O. WHERE OCCURS</td> </tr> <tr> <td>FD FLOOR DRAIN</td> <td>OPP OPPOSITE</td> <td>WR WATER RESISTANT</td> </tr> <tr> <td>FDN FOUNDATION</td> <td></td> <td>WT WEIGHT</td> </tr> </table>	A/C AIR CONDITIONING	FIN FINISH	PERP PERPENDICULAR	ADJ ADJACENT	FLR FLOOR(ING)	PROPERTY LINE OR PLATE	AFF ABOVE FINISHED FLOOR	FOF FACE OF FINISH	PLYWD PLYWOOD	AL ALUMINUM	FOS FACE OF STUDS		ANOD ANODIZED	FR FIRE RATED	RRC REINFORCED CONCRETE	APPROX APPROXIMATE(LY)	FT FOOT / FEET	RD ROOF DRAIN	ARCH ARCHITECT(URAL)	FTG FOOTING	REF REFERENCE			RM ROOM	BD BOARD	GA GAUGE	RO ROUGH OPENING	BLDG BUILDING	GALV GALVANIZED		BLK BLOCK	GL GLASS	S SOUTH	BOT BOTTOM	GR GRADE	SD STORM DRAIN	BTU BRITISH THERMAL UNIT	GYP GYPSUM	SF SQUARE FOOT			SHT SHEET (ING)	CEM CEMENT	HB HOSE BIB	SHTG SHEATHING	CER CERAMIC	HDWR HARDWARE	SIM SIMILAR	CJ CONTROL JOINT	HORIZ HORIZONTAL	SPEC(S) SPECIFICATION(S)	CLG CEILING	HW HOT WATER	SSL STAINLESS STEEL	CLR CLEAR	HT HEIGHT	STD STANDARD	CONC CONCRETE	HP HORSEPOWER	STL STEEL	CONT CONTINUOUS			CTR CENTER	INSUL INSULATION	T THERMOSTAT		INT INTERIOR	TEMP TEMPERED	DBL DOUBLE		TOS TOP OF SLAB	DEMO DEMOLITION	MAX MAXIMUM	TYP TYPICAL	DIA DIAMETER	MECH MECHANICAL		DIM DIMENSION	MFR MANUFACTURER	UON UNLESS OTHERWISE NOTED	DN DOWN	MIN MINIMUM		DR DOOR	MISC MISCELLANEOUS	VERT VERTICAL	DWG DRAWING	MTD MOUNTED	VIF VERIFY IN FIELD	DS DOWN SPOUT			E EAST	N NORTH	W/ WITH	(E) EXISTING	(N) NEW	W/O WITHOUT	ELEC ELECTRICAL	N/A NOT APPLICABLE	WC WATER CLOSET	EQ EQUAL	NTS NOT TO SCALE	WD WOOD	EXT EXTERIOR		WH WATER HEATER		OC ON CENTER	W.O. WHERE OCCURS	FD FLOOR DRAIN	OPP OPPOSITE	WR WATER RESISTANT	FDN FOUNDATION		WT WEIGHT	<p><b>(E) VIEW FROM FRONT AND REAR</b></p>  <p>VIEW FROM FRONT</p>  <p>VIEW FROM REAR</p>
A/C AIR CONDITIONING	FIN FINISH	PERP PERPENDICULAR																																																																																																																				
ADJ ADJACENT	FLR FLOOR(ING)	PROPERTY LINE OR PLATE																																																																																																																				
AFF ABOVE FINISHED FLOOR	FOF FACE OF FINISH	PLYWD PLYWOOD																																																																																																																				
AL ALUMINUM	FOS FACE OF STUDS																																																																																																																					
ANOD ANODIZED	FR FIRE RATED	RRC REINFORCED CONCRETE																																																																																																																				
APPROX APPROXIMATE(LY)	FT FOOT / FEET	RD ROOF DRAIN																																																																																																																				
ARCH ARCHITECT(URAL)	FTG FOOTING	REF REFERENCE																																																																																																																				
		RM ROOM																																																																																																																				
BD BOARD	GA GAUGE	RO ROUGH OPENING																																																																																																																				
BLDG BUILDING	GALV GALVANIZED																																																																																																																					
BLK BLOCK	GL GLASS	S SOUTH																																																																																																																				
BOT BOTTOM	GR GRADE	SD STORM DRAIN																																																																																																																				
BTU BRITISH THERMAL UNIT	GYP GYPSUM	SF SQUARE FOOT																																																																																																																				
		SHT SHEET (ING)																																																																																																																				
CEM CEMENT	HB HOSE BIB	SHTG SHEATHING																																																																																																																				
CER CERAMIC	HDWR HARDWARE	SIM SIMILAR																																																																																																																				
CJ CONTROL JOINT	HORIZ HORIZONTAL	SPEC(S) SPECIFICATION(S)																																																																																																																				
CLG CEILING	HW HOT WATER	SSL STAINLESS STEEL																																																																																																																				
CLR CLEAR	HT HEIGHT	STD STANDARD																																																																																																																				
CONC CONCRETE	HP HORSEPOWER	STL STEEL																																																																																																																				
CONT CONTINUOUS																																																																																																																						
CTR CENTER	INSUL INSULATION	T THERMOSTAT																																																																																																																				
	INT INTERIOR	TEMP TEMPERED																																																																																																																				
DBL DOUBLE		TOS TOP OF SLAB																																																																																																																				
DEMO DEMOLITION	MAX MAXIMUM	TYP TYPICAL																																																																																																																				
DIA DIAMETER	MECH MECHANICAL																																																																																																																					
DIM DIMENSION	MFR MANUFACTURER	UON UNLESS OTHERWISE NOTED																																																																																																																				
DN DOWN	MIN MINIMUM																																																																																																																					
DR DOOR	MISC MISCELLANEOUS	VERT VERTICAL																																																																																																																				
DWG DRAWING	MTD MOUNTED	VIF VERIFY IN FIELD																																																																																																																				
DS DOWN SPOUT																																																																																																																						
E EAST	N NORTH	W/ WITH																																																																																																																				
(E) EXISTING	(N) NEW	W/O WITHOUT																																																																																																																				
ELEC ELECTRICAL	N/A NOT APPLICABLE	WC WATER CLOSET																																																																																																																				
EQ EQUAL	NTS NOT TO SCALE	WD WOOD																																																																																																																				
EXT EXTERIOR		WH WATER HEATER																																																																																																																				
	OC ON CENTER	W.O. WHERE OCCURS																																																																																																																				
FD FLOOR DRAIN	OPP OPPOSITE	WR WATER RESISTANT																																																																																																																				
FDN FOUNDATION		WT WEIGHT																																																																																																																				

PROJECT OWNERS:

OWNERS:  
YABAI SONG

ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070

EMAIL:  
YABAI.SONG@GMAIL.COM

PHONE:  
505 322 5471

SONG RESIDENCE  
ADU & ADDITION

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

DR SUBMITTAL 03-10-2021  
DR REVISION 1 05-19-2022

Rev. Date Issue

Project No: 2022-01  
Scale: NA  
COVER PAGE

A0.1

address: 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone: 650 . 797 . 3999  
email: logichomeinc@gmail.com

PROJECT OWNERS:

OWNERS:  
YABAI SONG

ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070

EMAIL:  
YABAI.SONG@GMAIL.COM

PHONE:  
505 322 5471

SONG RESIDENCE  
ADU & ADDITION

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

DR SUBMITTAL 03-10-2021  
DR REVISION 1 05-19-2022

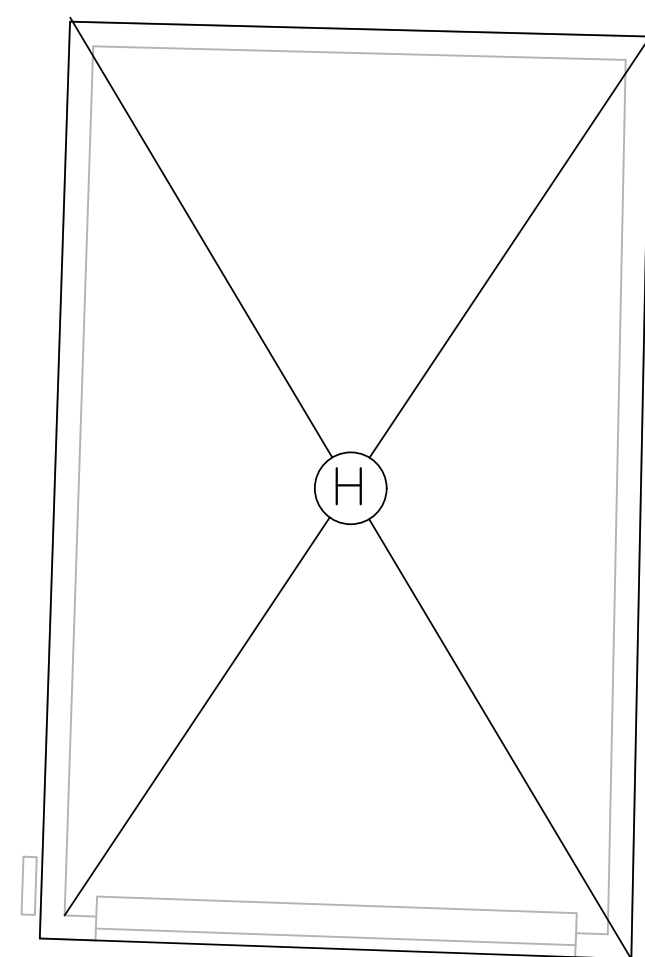
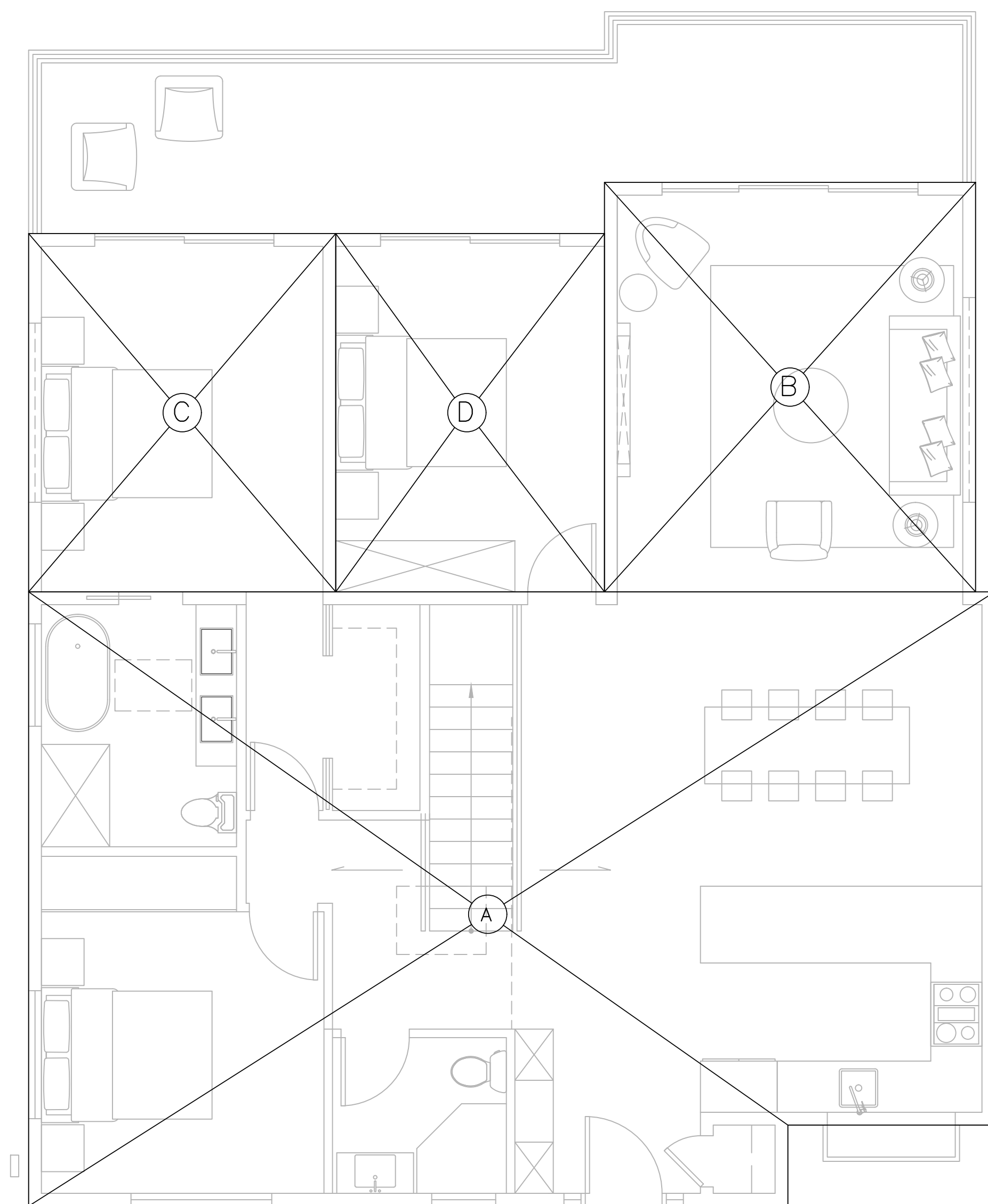
Rev.	Date	Issue

Project No: 2022-01  
Scale: 1/4"=1'0"  
AREA CALCULATION

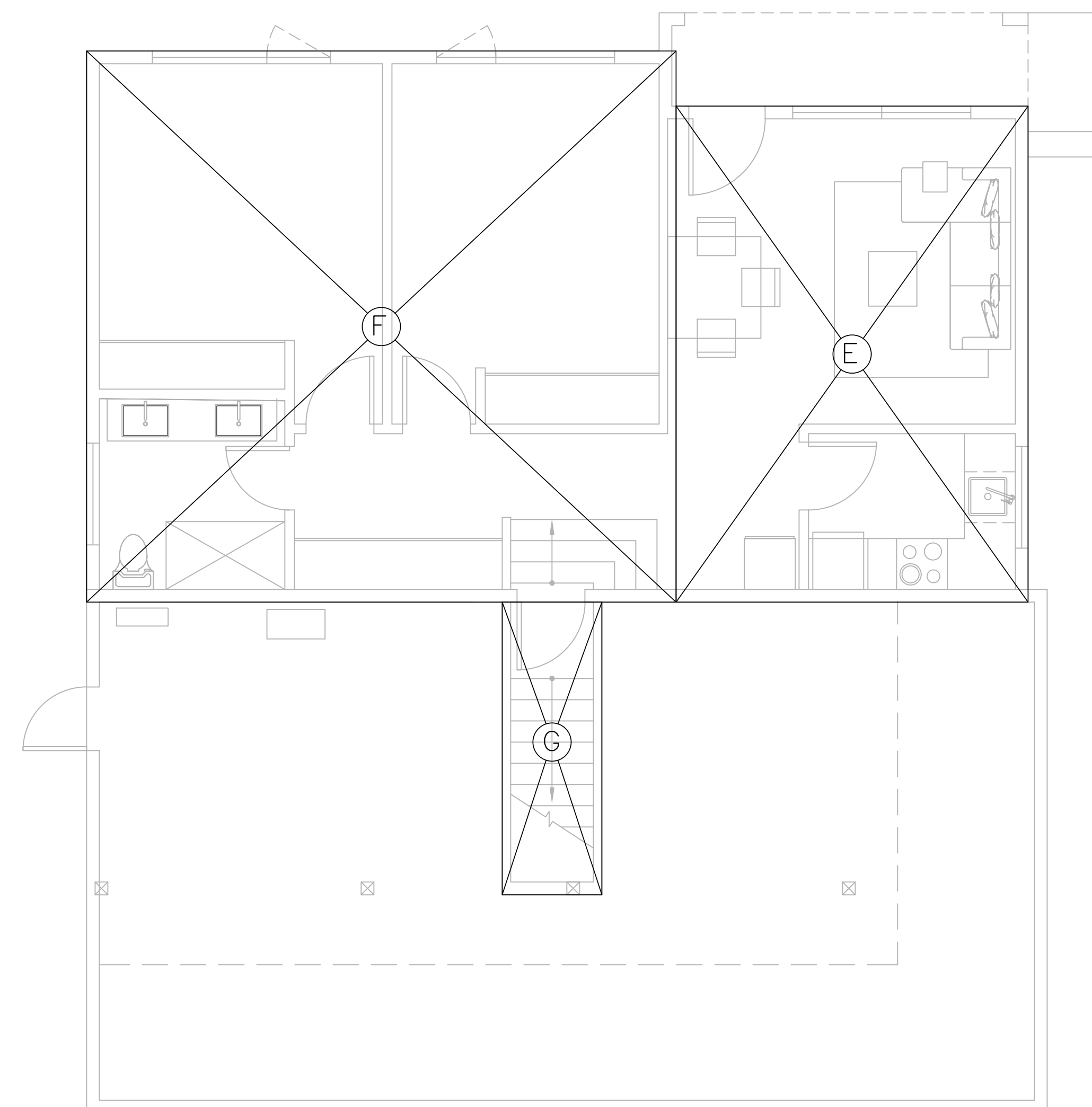
**AREA CACULATION**

LABEL	DIMENSIONS	AREA
<b>UPPER FLOOR</b>		
A	EXISTING	880 SQFT
B	14' 6" X 15' 0"	232 SQFT
C	12' 0" X 14' 0"	168 SQFT
D	10' 6" X 14' 0"	147 SQFT
G	COUNTED TOWARD UPPER FLOOR	0 SQFT
<b>TOTAL GROSS FLOOR AREA</b>		<b>1,427 SQFT</b>
H	EXISTING DETACHED GARAGE	240 SQFT
<b>LOWER FLOOR - ADU</b>		
E	13' 10" X 19' 6"	270 SQFT
F	23' 2" X 22' 8"	502 SQFT
<b>ADU TOTAL</b>		<b>772 SQFT</b>

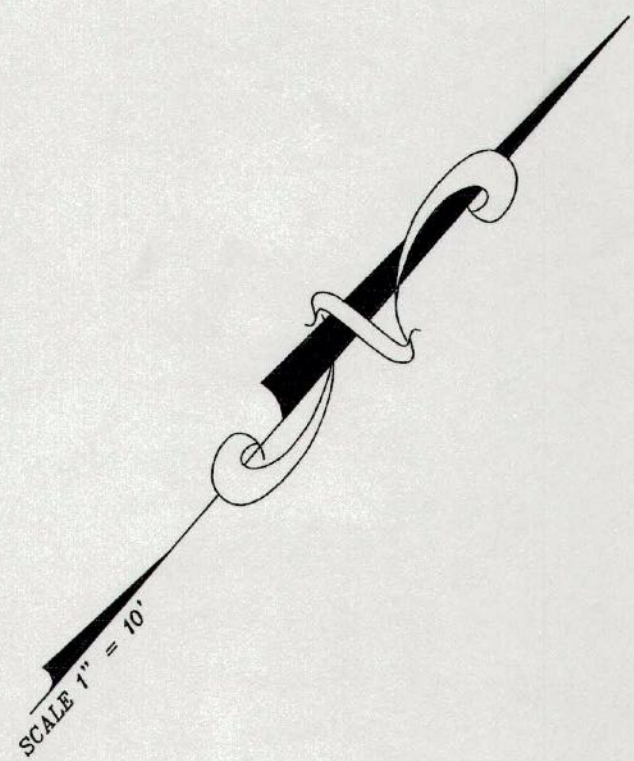
**AREA CALCULATION-SUMMARY 03**  
Scale: NA



AREA CALCULATION-UPPER LEVEL 02  
Scale: 1/4"=1'0"



AREA CALCULATION- GROUND LEVEL 01  
Scale: 1/4"=1'0"



**BASIS OF ELEVATIONS:**

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.

TBM: NAIL AND SHINER SET AT EDGE OF ROAD POINT NUMBER 111  
ELEVATION = 445.93'

**BASIS OF BEARINGS:**

THE BEARING N 49°05'40" W ON THE NORTHEASTERLY LINE OF LOT 104, BLOCK 15, AS SHOWN ON 13 MAPS 51, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**LEGEND:**

- A/C ASPHALTIC CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- CIP CAST IRON PIPE
- CMP CORRUGATED METAL PIPE
- CONC CONCRETE
- CO CLEAN-OUT
- DI DROP INLET
- EM ELECTRIC METER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- GA GUY ANCHOR
- GM GAS METER
- GRD GROUND
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- LAT LATERAL
- LG UP OF GUTTER
- O/H OVERHEAD
- P.U.E. PUBLIC UTILITIES EASEMENT
- RCP REINFORCED CONCRETE PIPE
- RET. WALL RETAINING WALL
- R/W RIGHT OF WAY
- R/W SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- T/W TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



**BOUNDARY AND TOPOGRAPHIC SURVEY**

LOT 46, BLOCK 19  
"DEVONSHIRE PROPERTIES OF MUNICIPAL PROPERTIES COMPANY, AMENDED & SUPPLEMENTARY MAP OF SUBDIVISION NUMBER FOUR"  
VOLUME 13 OF MAPS AT PAGES 49 - 51  
ASSESSOR'S PARCEL NUMBER: 049-141-420  
(140 WINDING WAY)

SAN CARLOS SAN MATEO COUNTY CALIFORNIA  
SCALE: 1" = 10' SEPTEMBER, 2008

**B & H SURVEYING, INC.**  
PROFESSIONAL LAND SURVEYING

901 WALTERMIRE ST.  
BELMONT, CA 94002  
OFFICE (650) 637-1590  
FAX (650) 637-1059

**A1.1**



address. 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone. 650 . 797 . 3999  
email. logichomeinc@gmail.com

**PROJECT OWNERS:**

OWNERS:  
YABAI SONG  
ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070  
EMAIL:  
YABAI.SONG@GMAIL.COM  
PHONE:  
505 322 5471

**SONG RESIDENCE  
ADU & ADDITION**

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

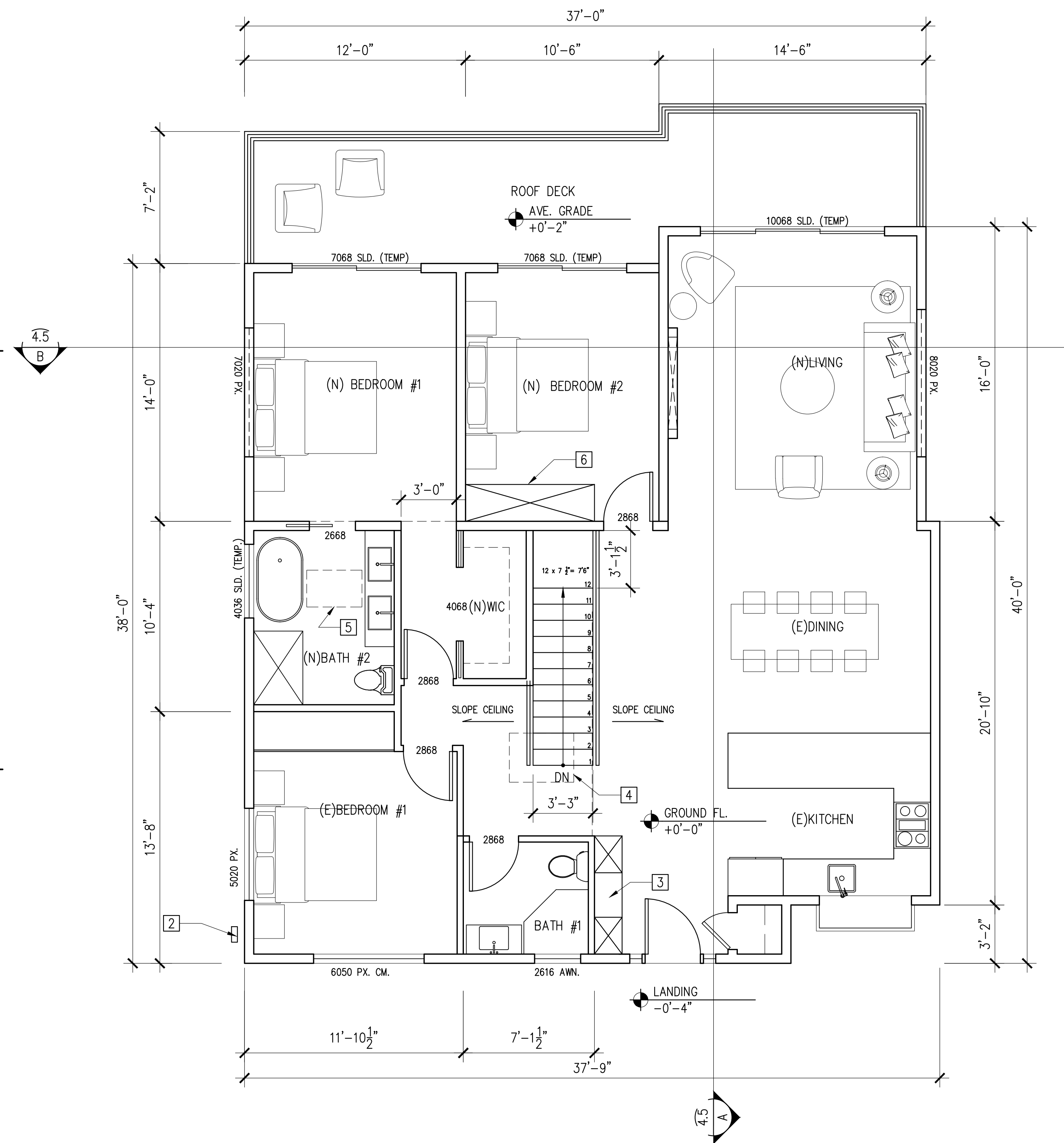
DR SUBMITTAL	03-10-2021
DR REVISION 1	05-19-2022

Rev.	Date	Issue

Project No: 2022-01  
Scale: NA  
EXISTING AND PROPOSED  
FLOOR PLAN - GROUND LEVEL

**GRAPHIC LEGEND**

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (E) WINDOW TO REMAIN
- (E) WINDOW TO BE REMOVED
- (E) DOOR TO REMAIN
- (E) DOOR TO BE REMOVED

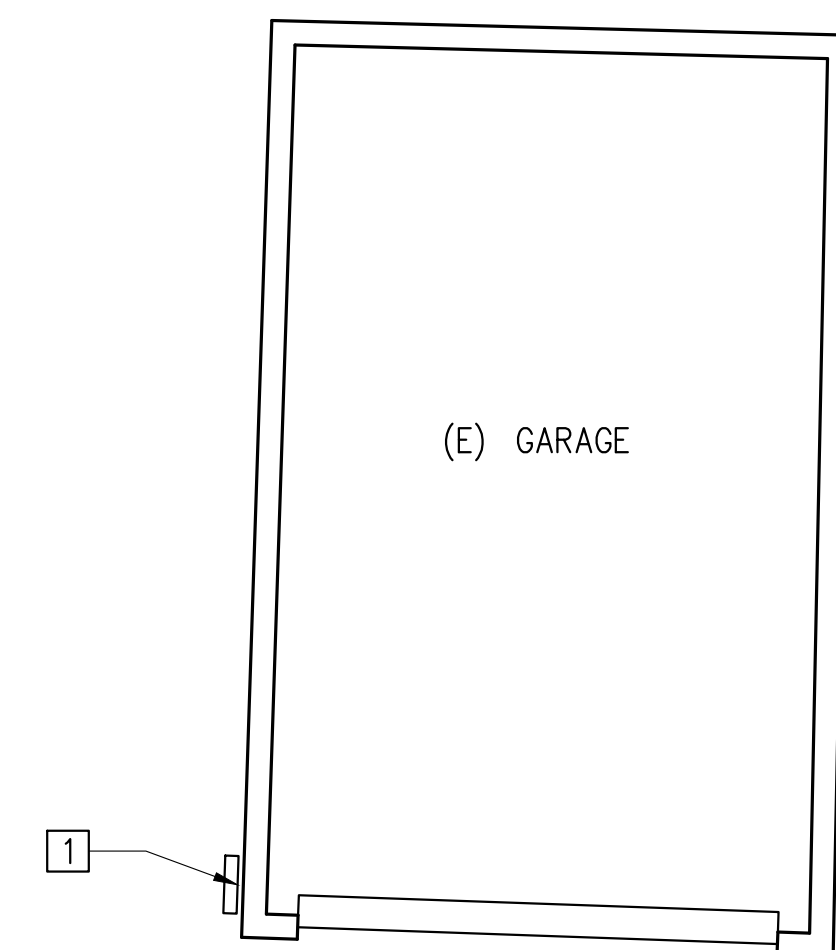


**GRAPHIC LEGEND**

- (E) WALL
- (N) WALL PER GENERAL NOTES
- (N) WINDOW PER GENERAL NOTES

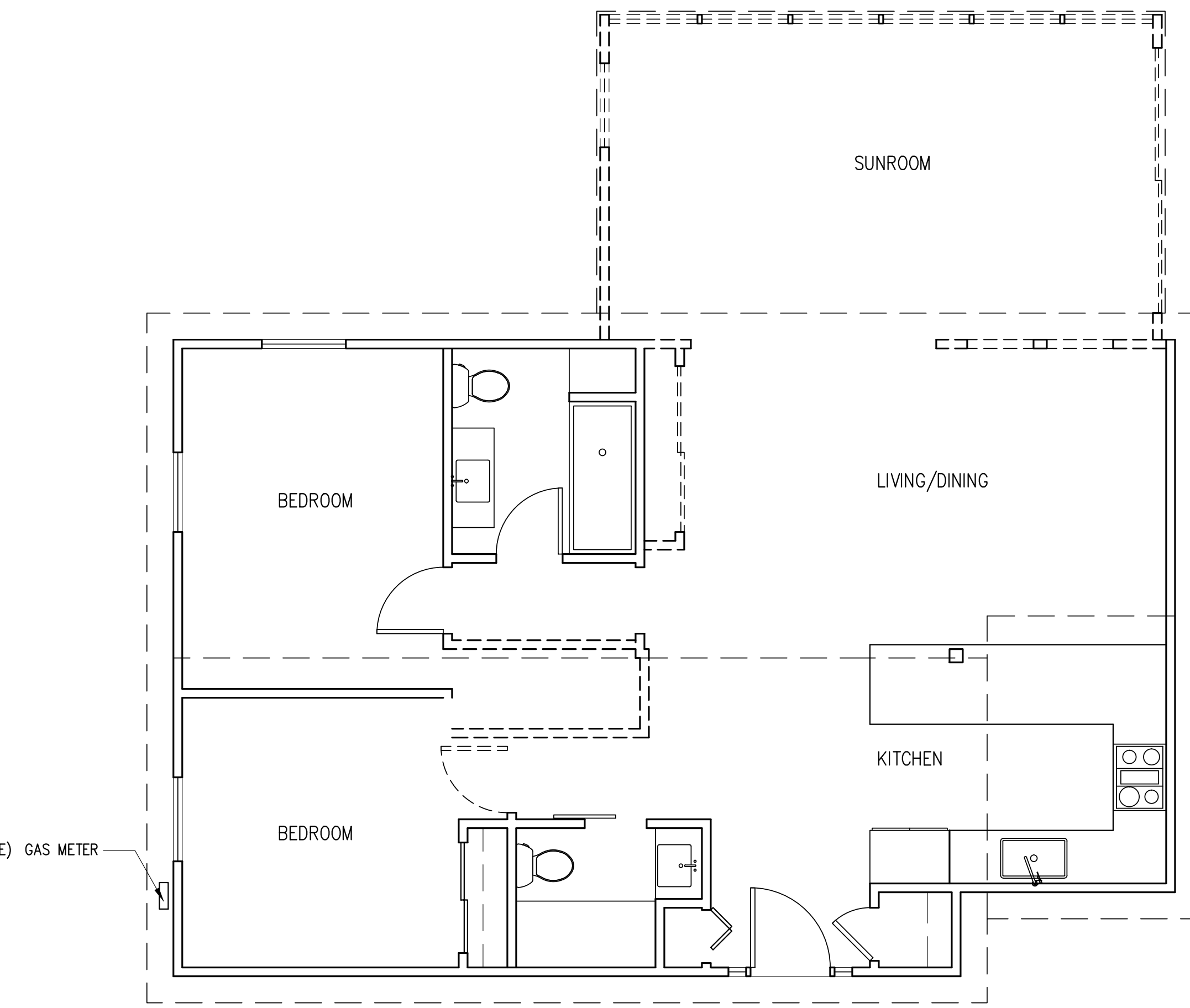
**KEYNOTES**

- 1 (E) ELEC. PANEL
- 2 (E) GAS METER
- 3 (E) CANOPY
- 4 (N) SKYLIGHT
- 5 (N) BENCH
- 6 (N) WARDROBE



PROPOSED FLOOR PLAN - GROUND LEVEL 02  
Scale: 1/4"=1'-0"

EXISTING FLOOR PLAN - GROUND LEVEL 01  
Scale: 1/4"=1'-0"



**GRAPHIC LEGEND**

- (E) WALL
- (N) WALL PER GENERAL NOTES
- (N) WINDOW PER GENERAL NOTES

**KEYNOTES**

- (N) CRAWL SPACE ACCESS
- (N) TANKLESS WATER HEATER
- (N) FURNACE

**GRAPHIC LEGEND**

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (E) WINDOW TO REMAIN
- (E) WINDOW TO BE REMOVED

- (E) DOOR TO REMAIN
- (E) DOOR TO BE REMOVED

**KEYNOTES**

- (E) FURNACE
- (E) WATER HEATER
- (E) CRAWL SPACE ACCESS

address. 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone. 650 . 797 . 3999  
email. logichomeinc@gmail.com

**PROJECT OWNERS:**

OWNERS:  
YABAI SONG

ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070

EMAIL:  
YABAI.SONG@GMAIL.COM

PHONE:  
505 322 5471

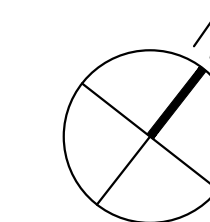
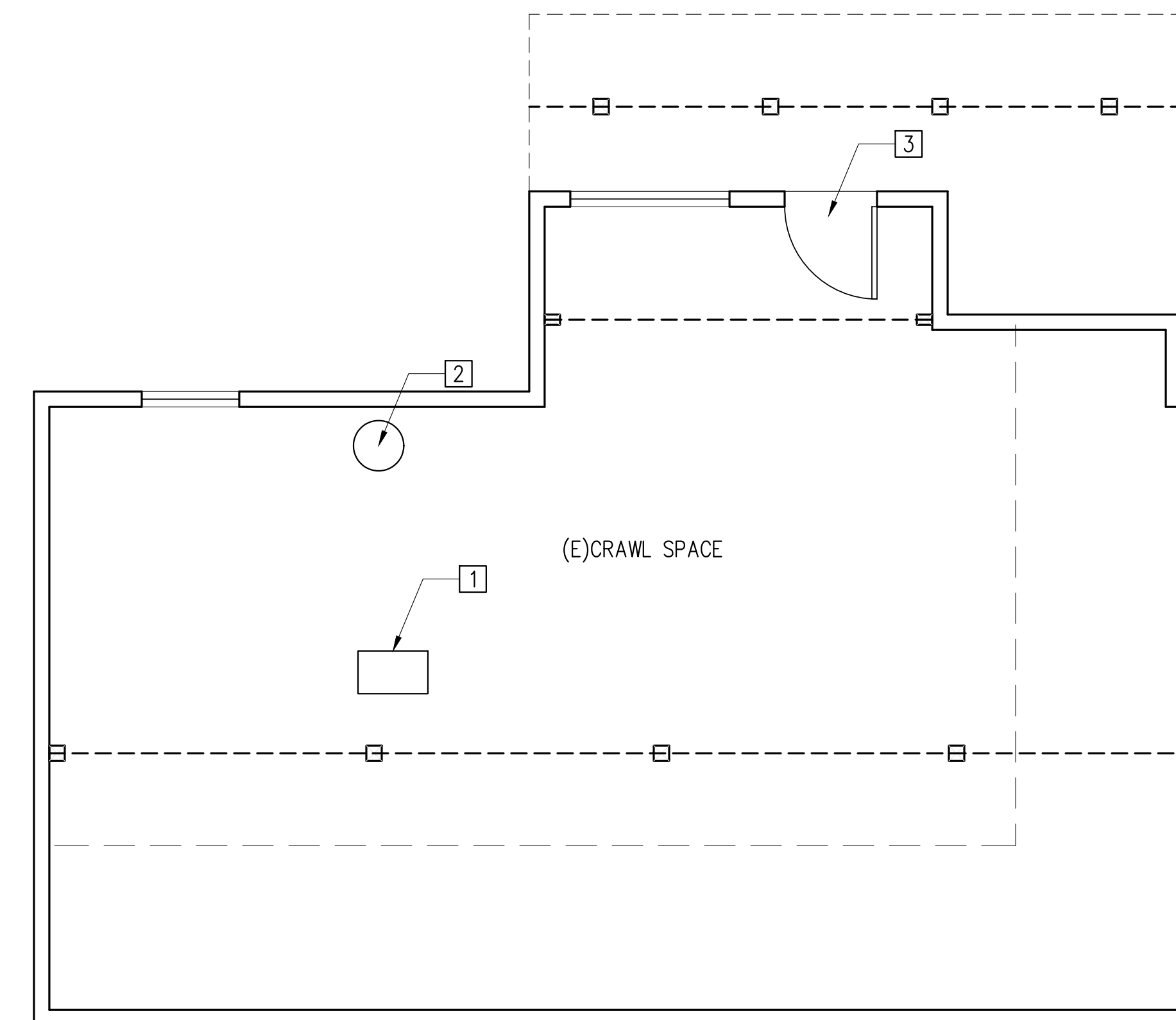
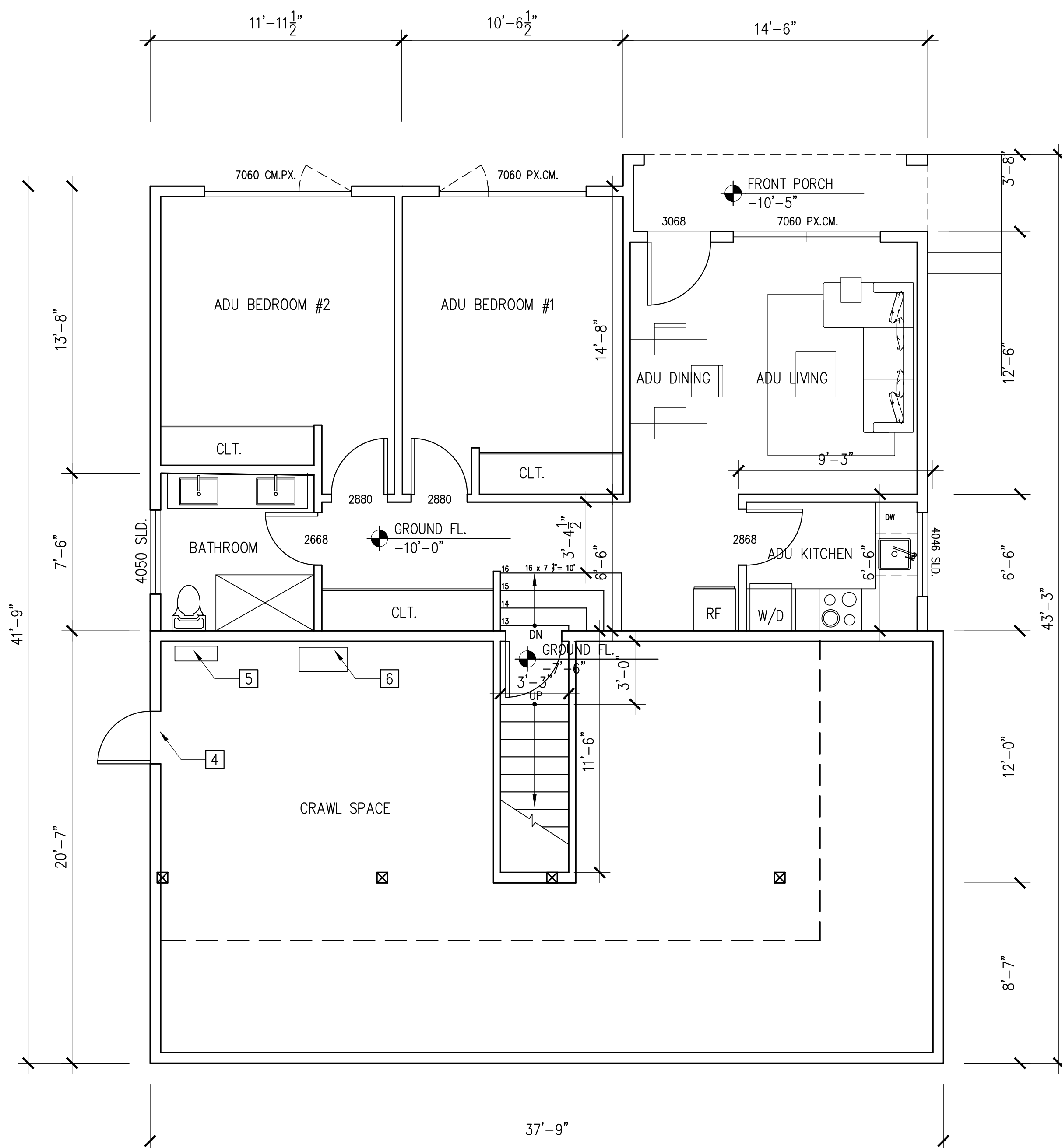
**SONG RESIDENCE  
ADU & ADDITION**

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

DR SUBMITTAL 03-10-2021  
DR REVISION 1 05-19-2022

Rev.	Date	Issue

Project No: 2022-01  
Scale: NA  
EXISTING AND PROPOSED  
FLOOR PLAN - LOWER LEVEL



**PROPOSED FLOOR PLAN - LOWER LEVEL 02**  
Scale: 1/4"=1'-0"

**EXISTING FLOOR PLAN - LOWER LEVEL 01**  
Scale: 1/4"=1'-0"

**KEYNOTES**

- 1 (N) SKYLIGHT
- 2 (N) ROOF DECK

address. 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone. 650 . 797 . 3999  
email. logichomeinc@gmail.com

PROJECT OWNERS:  
OWNERS:  
YABAI SONG  
ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070  
EMAIL:  
YABAI.SONG@GMAIL.COM  
PHONE:  
505 322 5471

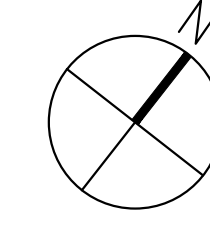
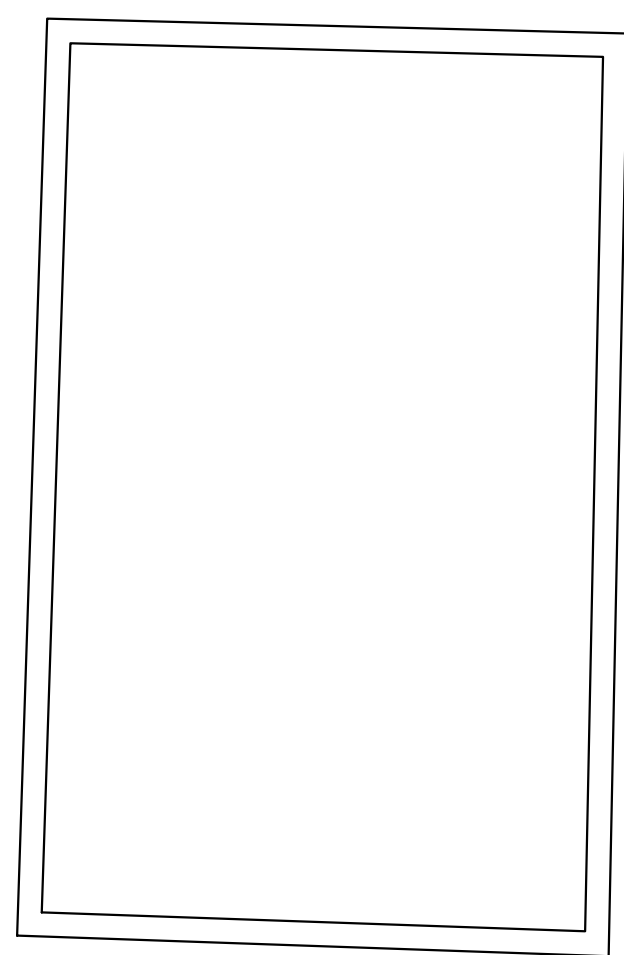
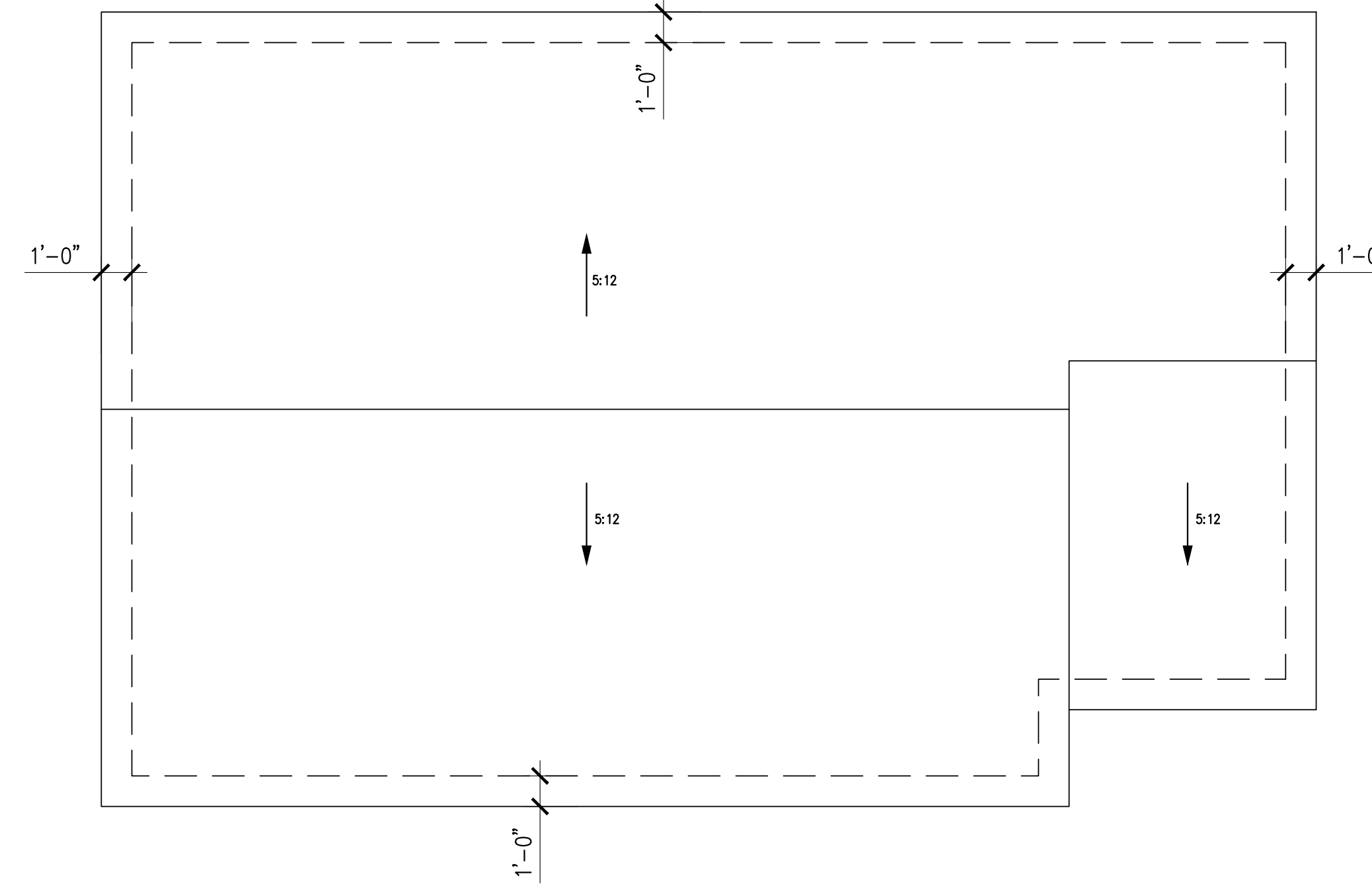
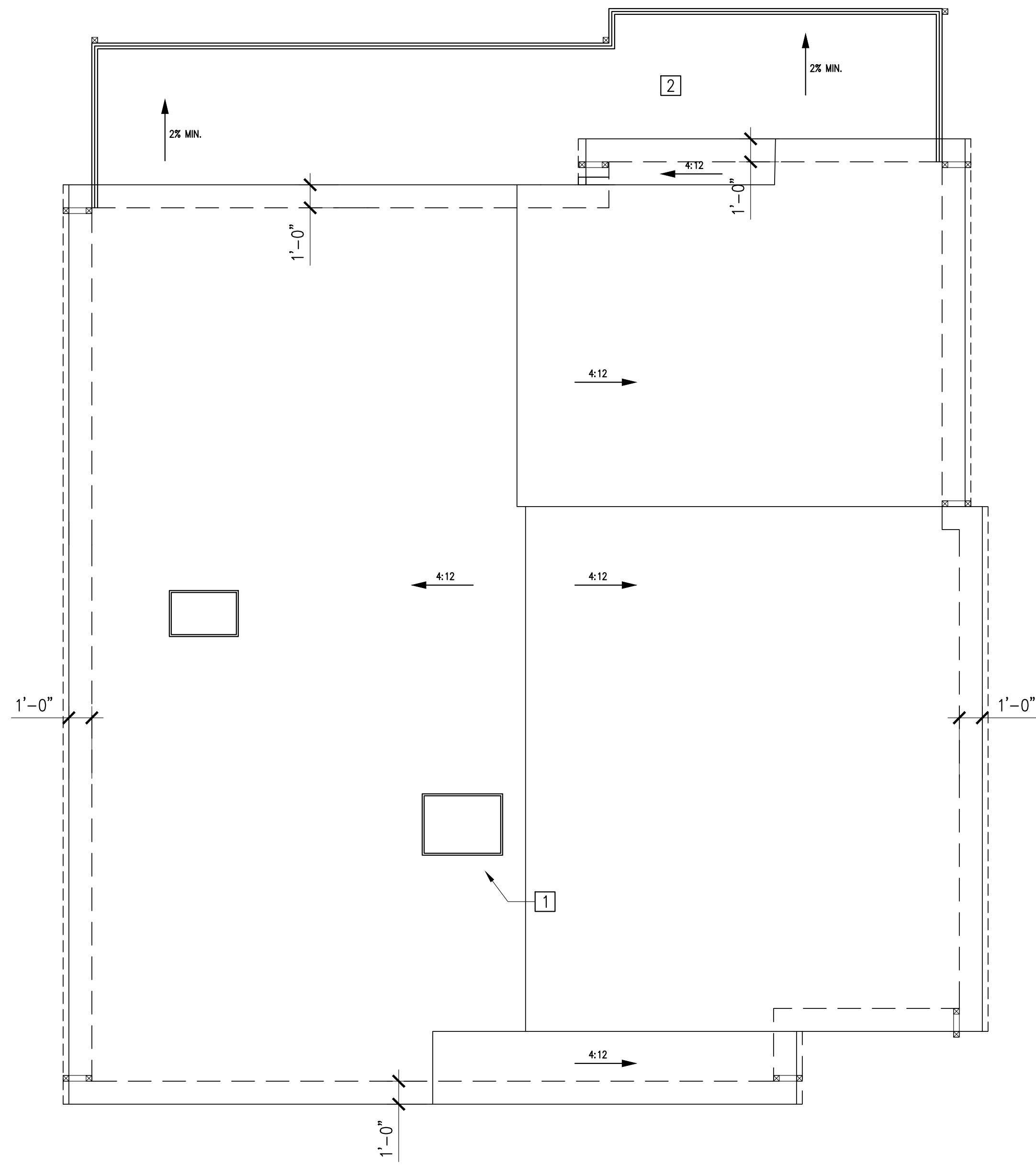
**SONG RESIDENCE  
ADU & ADDITION**

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

DR SUBMITTAL	03-10-2021
DR REVISION 1	05-19-2022

Rev.	Date	Issue

Project No: 2022-01  
Scale: 1/4"=1'  
**EXISTING AND PROPOSED  
ROOF PLAN**



**PROPOSED ROOF PLAN 02**  
Scale: 1/4"=1'-0"

**EXISTING ROOF PLAN 01**  
Scale: 1/4"=1'-0"

address. 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone. 650 . 797 . 3999  
email. logichomeinc@gmail.com

**KEYNOTES**

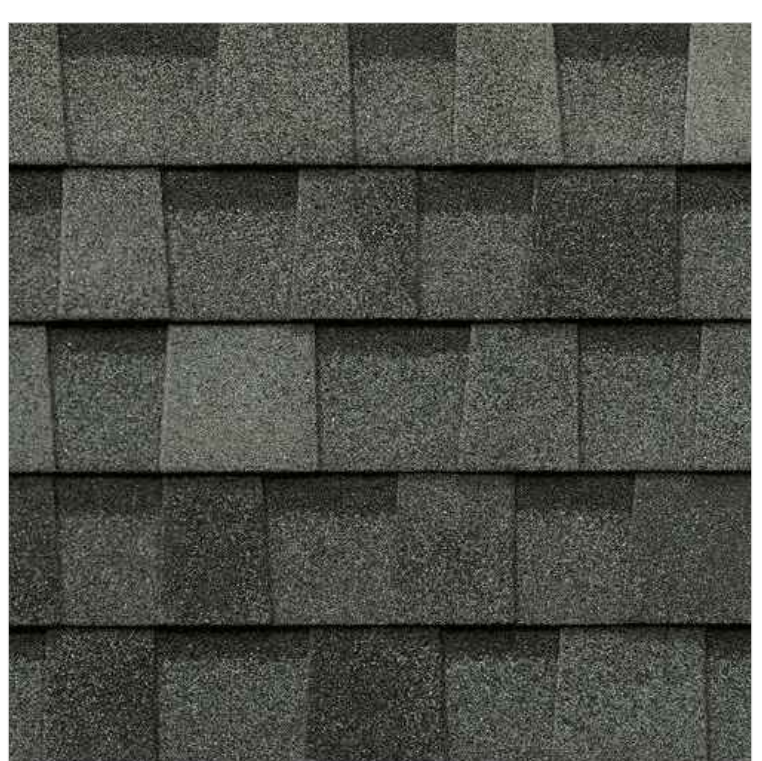
- 1 (E)SHINGLE ROOF
- 2 (E)WOOD SIDING
- 3 (E)WHITE PAINTED WOOD
- 4 (E)WHITE PAINTED WOOD TRIM
- 5 (E)WHITE VINYL WINDOW FRAME
- 6 (E)STUCCO
- 7 (N)STUCCO, WARM GRAY
- 8 (N)SHINGLE ROOF
- 9 (N)BLACK FIBERGLASS WINDOW FRAME
- 10 (N)GLASS RAILING
- 11 (N)WOOD FRONT DOOR
- 12 (N)BLACK METAL GUTTER



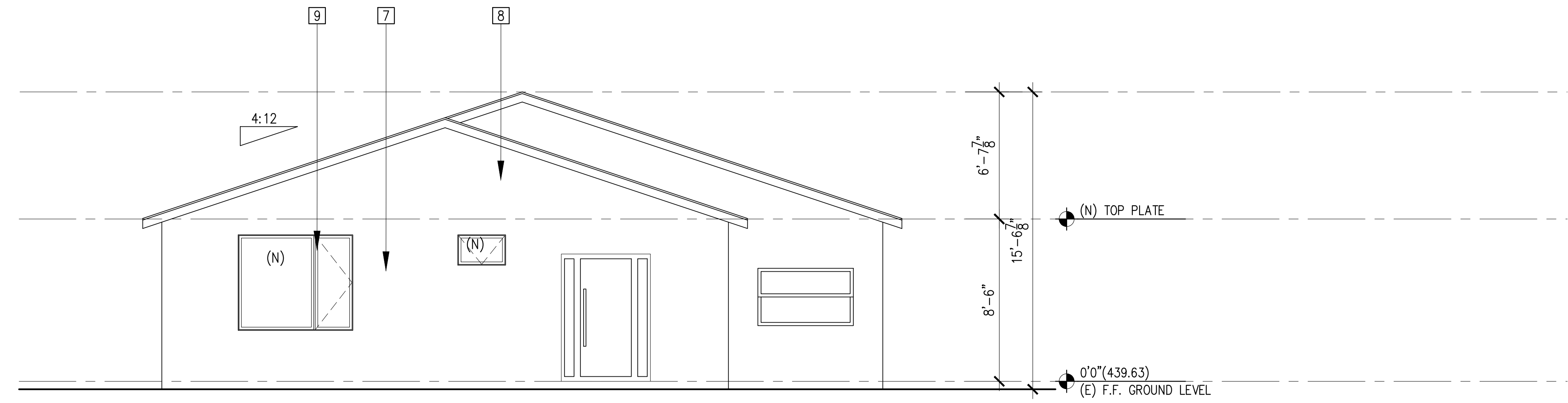
WARM GRAY STUCCO



- DOWN LIGHTS ON EAVES
- BLACK EAVES WITH BLACK METAL GUTTER
- BLACK FIBERGLASS FRAME WINDOW



DARK GREY SHINGLE ROOF



**PROPOSED ELEVATION\_FRONT 02**  
Scale: 1/4"=1'-0"

**PROJECT OWNERS:**

OWNERS:  
YABAI SONG

ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070

EMAIL:  
YABAI.SONG@GMAIL.COM

PHONE:  
505 322 5471

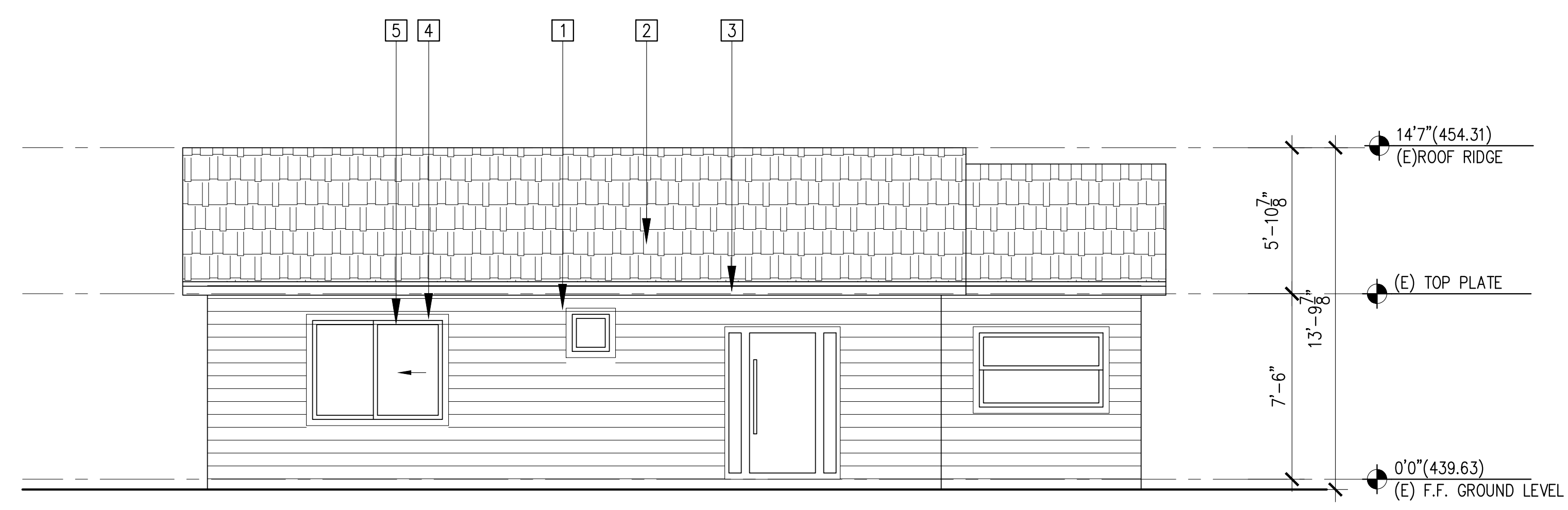
**SONG RESIDENCE  
ADU & ADDITION**

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

DR SUBMITTAL	03-10-2021
DR REVISION 1	05-19-2022

Rev.	Date	Issue

Project No: 2022-01  
Scale: 1/4"=1'0"  
**EXISTING AND PROPOSED ELEVATIONS**



**EXISTING ELEVATION\_FRONT 01**  
Scale: 1/4"=1'-0"



address: 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone: 650 . 797 . 3999  
email: logichomeinc@gmail.com

PROJECT OWNERS:

OWNERS:  
YABAI SONG

ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070

EMAIL:  
YABAI.SONG@GMAIL.COM

PHONE:  
505 322 5471

**SONG RESIDENCE  
ADU & ADDITION**

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

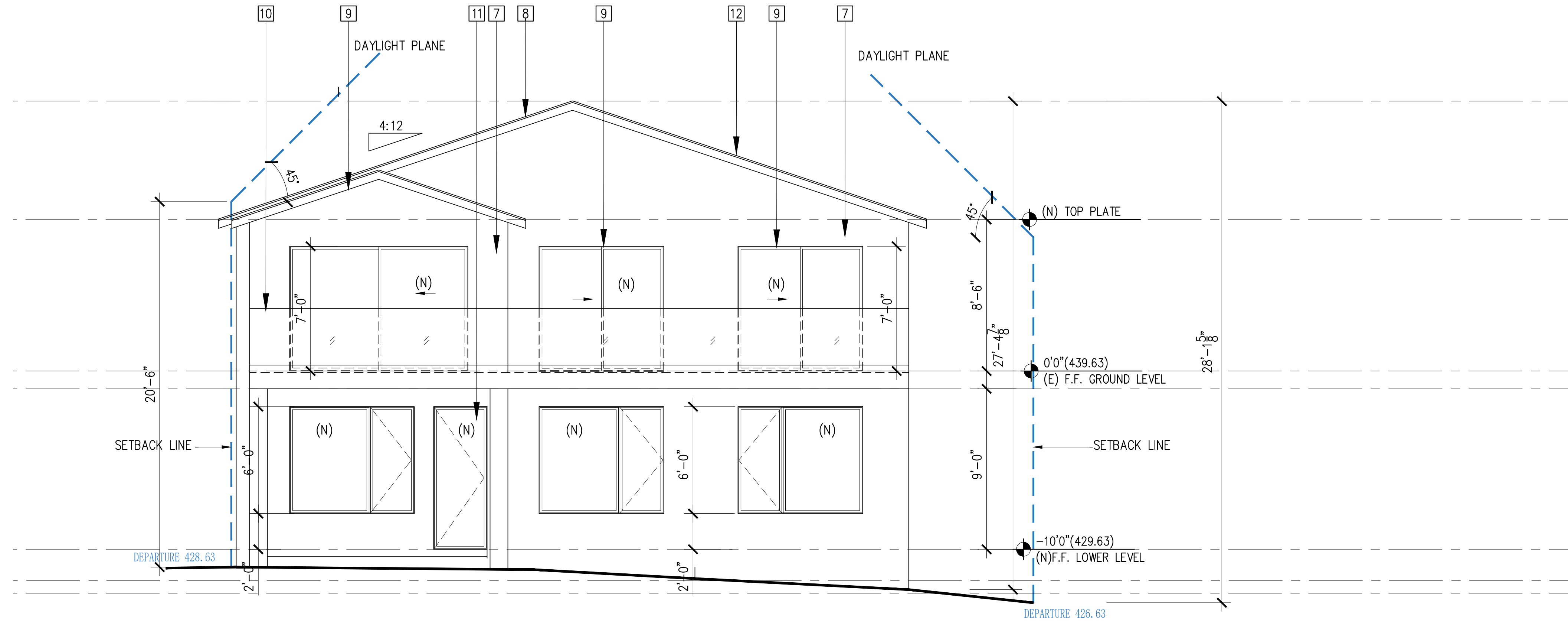
DR SUBMITTAL 03-10-2021  
DR REVISION 1 05-19-2022

Rev.	Date	Issue

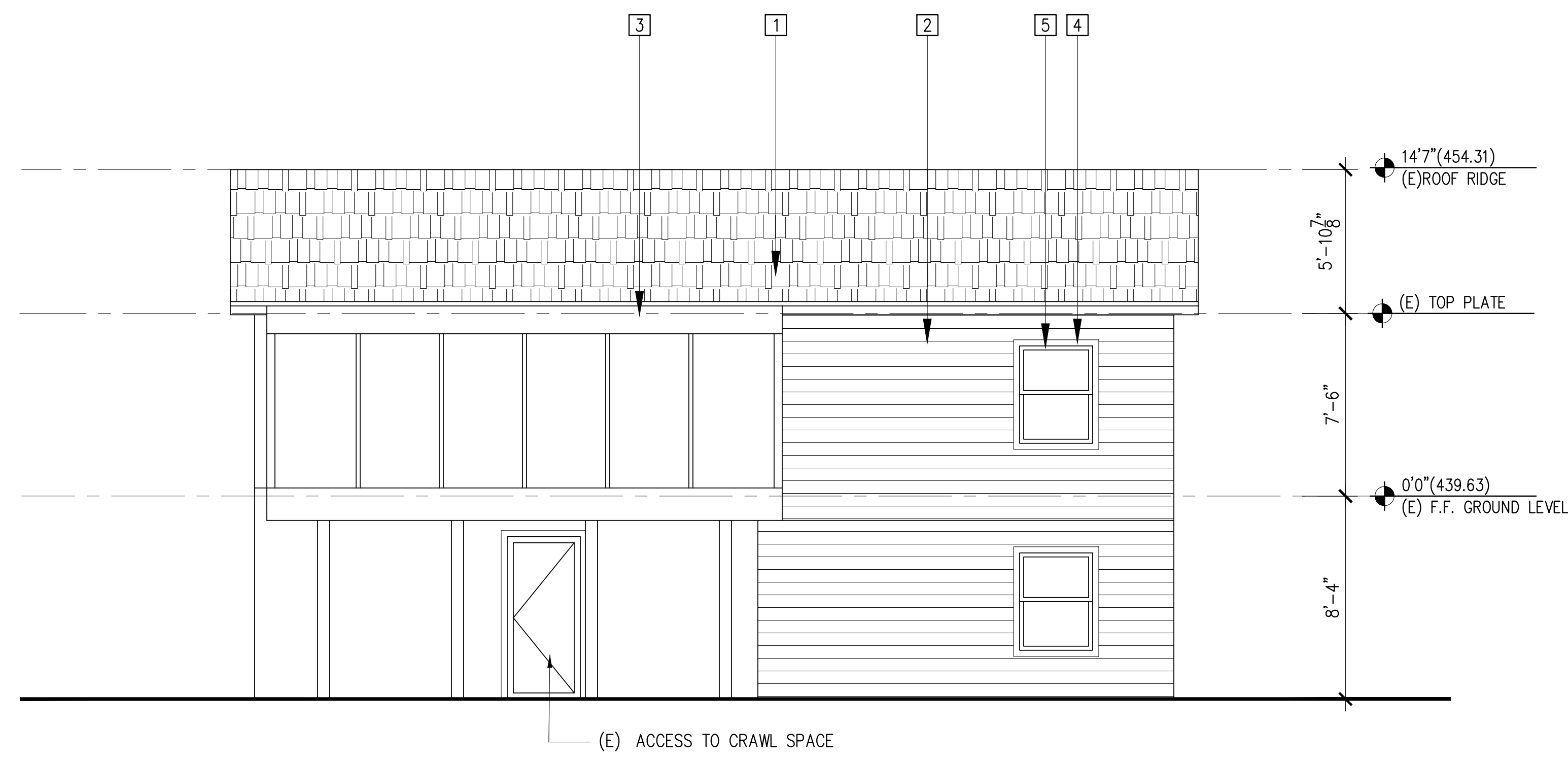
Project No: 2022-01  
Scale: 1/4"=1'0"  
EXISTING AND PROPOSED ELEVATIONS

**KEYNOTES**

- 1 (E)SHINGLE ROOF
- 2 (E)WOOD SIDING
- 3 (E)WHITE PAINTED WOOD
- 4 (E)WHITE PAINTED WOOD TRIM
- 5 (E)WHITE VINYL WINDOW FRAME
- 6 (E)STUCCO
- 7 (N)STUCCO, WARM GRAY
- 8 (N)SHINGLE ROOF
- 9 (N)BLACK FIBERGLASS WINDOW FRAME
- 10 (N)GLASS RAILING
- 11 (N)WOOD FRONT DOOR
- 12 (N)BLACK METAL GUTTER



**PROPOSED ELEVATION REAR 02**  
Scale: 1/4"=1'-0"



**EXISTING ELEVATION REAR 01**  
Scale: 1/4"=1'-0"

address. 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone. 650 . 797 . 3999  
email. logichomeinc@gmail.com

PROJECT OWNERS:

OWNERS:  
YABAI SONG

ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070

EMAIL:  
YABAI.SONG@GMAIL.COM

PHONE:  
505 322 5471

**SONG RESIDENCE  
ADU & ADDITION**

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

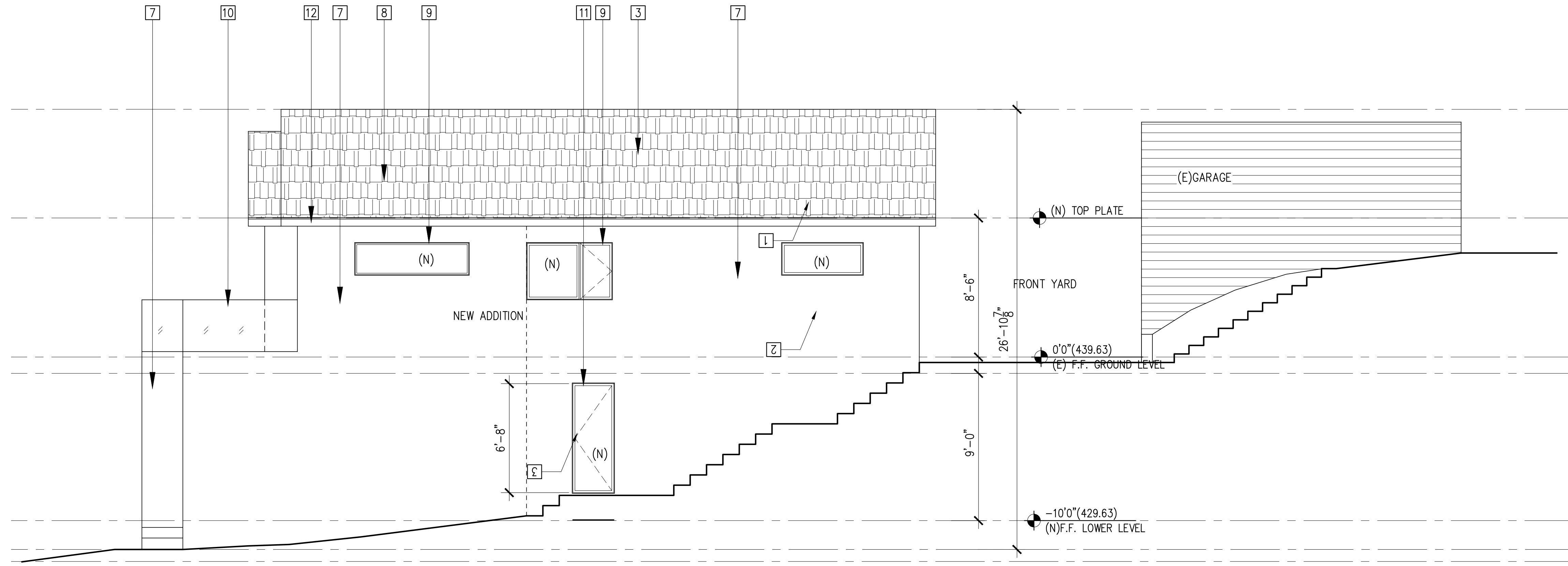
DR SUBMITTAL 03-10-2021  
DR REVISION 1 05-19-2022

Rev.	Date	Issue

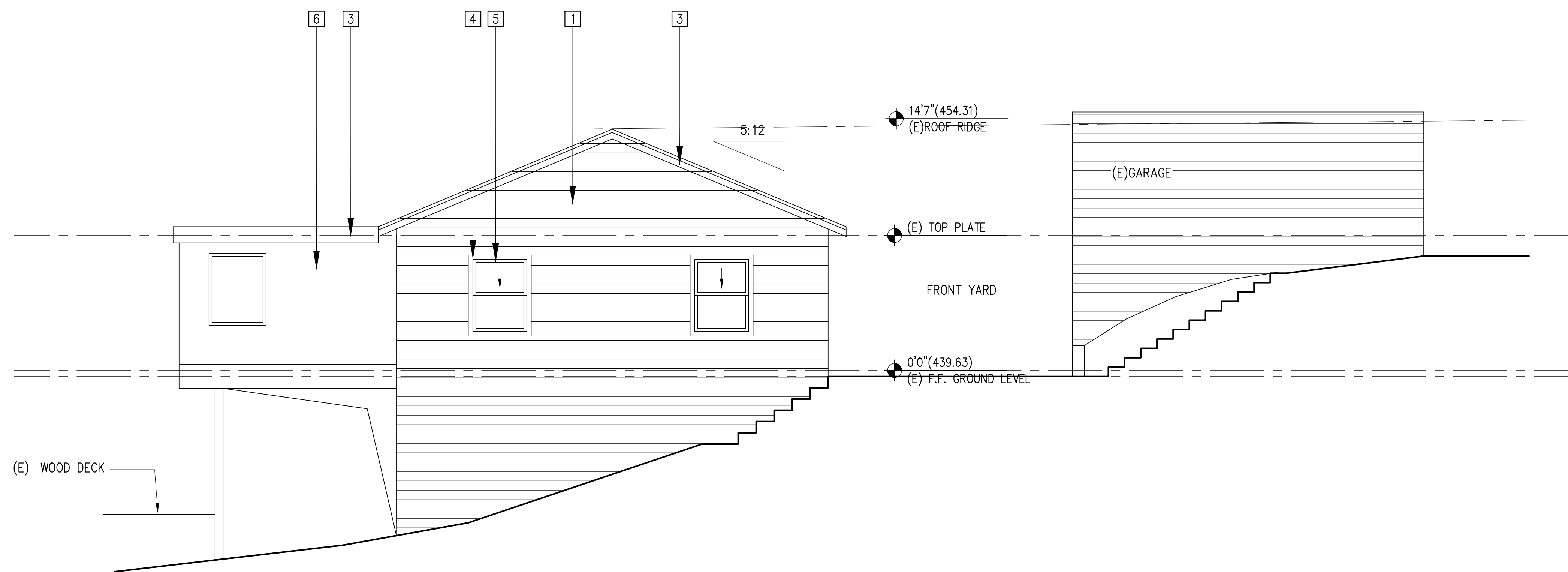
Project No: 2022-01  
Scale: 1/4"=1'0"  
**EXISTING AND PROPOSED  
ELEVATIONS**

**KEYNOTES**

- 1 (E) SHINGLE ROOF
- 2 (E) WOOD SIDING
- 3 (E) WHITE PAINTED WOOD
- 4 (E) WHITE PAINTED WOOD TRIM
- 5 (E) WHITE VINYL WINDOW FRAME
- 6 (E) STUCCO
- 7 (N) STUCCO, WARM GRAY
- 8 (N) SHINGLE ROOF
- 9 (N) BLACK FIBERGLASS WINDOW FRAME
- 10 (N) GLASS RAILING
- 11 (N) WOOD FRONT DOOR
- 12 (N) BLACK METAL GUTTER



**PROPOSED ELEVATION LEFT 02**  
Scale: 1/4"=1'-0"

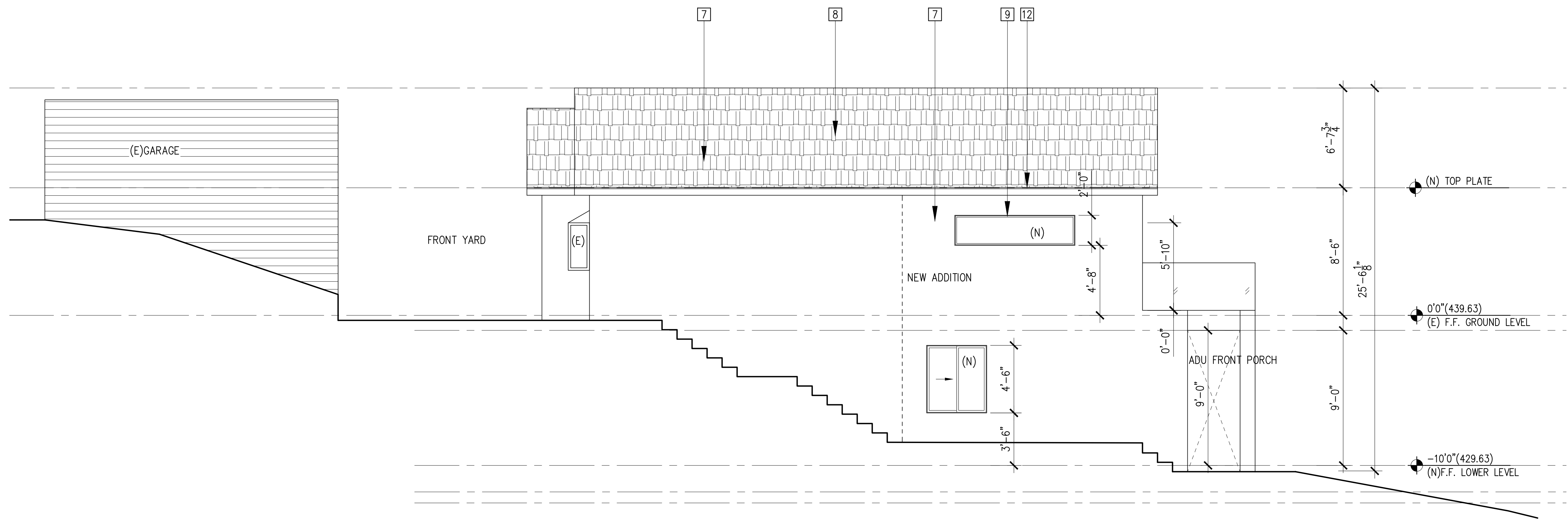


**EXISTING ELEVATION LEFT 01**  
Scale: 1/4"=1'-0"

address. 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone. 650 . 797 . 3999  
email. logichomeinc@gmail.com

**KEYNOTES**

- 1 (E) SHINGLE ROOF
- 2 (E) WOOD SIDING
- 3 (E) WHITE PAINTED WOOD
- 4 (E) WHITE PAINTED WOOD TRIM
- 5 (E) WHITE VINYL WINDOW FRAME
- 6 (E) STUCCO
- 7 (N) STUCCO, WARM GRAY
- 8 (N) SHINGLE ROOF
- 9 (N) BLACK FIBERGLASS WINDOW FRAME
- 10 (N) GLASS RAILING
- 11 (N) WOOD FRONT DOOR
- 12 (N) BLACK METAL GUTTER



**PROPOSED ELEVATION RIGHT 02**  
Scale: 1/4"=1'-0"

PROJECT OWNERS:  
OWNERS:  
YABAI SONG  
ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070  
EMAIL:  
YABAI.SONG@GMAIL.COM  
PHONE:  
505 322 5471

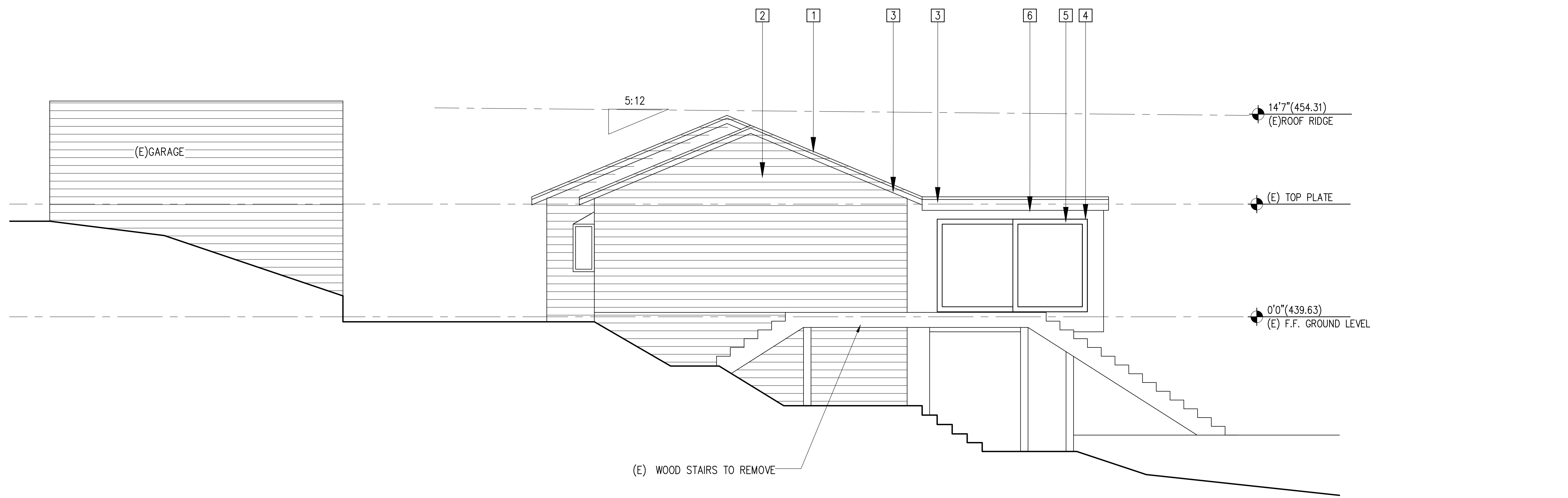
**SONG RESIDENCE  
ADU & ADDITION**

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

DR SUBMITTAL	03-10-2021
DR REVISION 1	05-19-2022

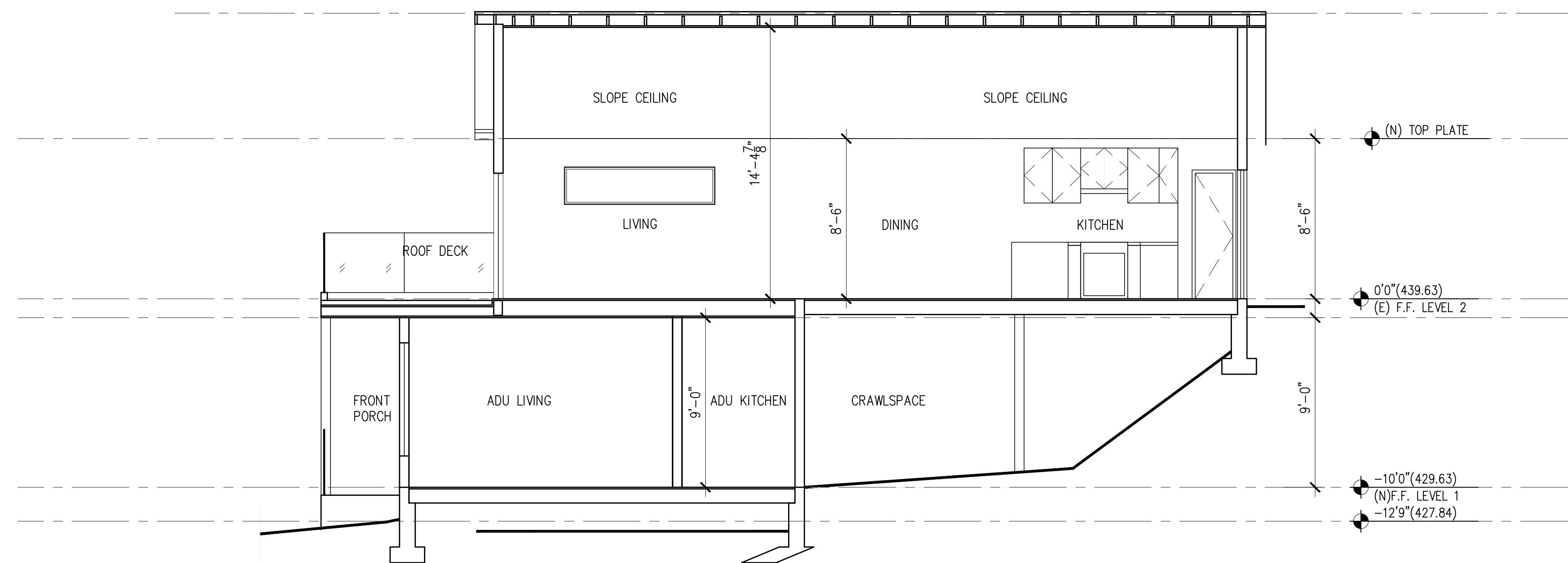
Rev.	Date	Issue

Project No: 2022-01  
Scale: 1/4"=1'-0"  
EXISTING AND PROPOSED ELEVATIONS



**EXISTING ELEVATION RIGHT 01**  
Scale: 1/4"=1'-0"

address: 274 Redwood Shore Pkwy  
STE 318  
Redwood City CA 94065  
phone: 650 . 797 . 3999  
email: logichomeinc@gmail.com



**SECTION B 02**  
Scale: 1/4"=1'-0"

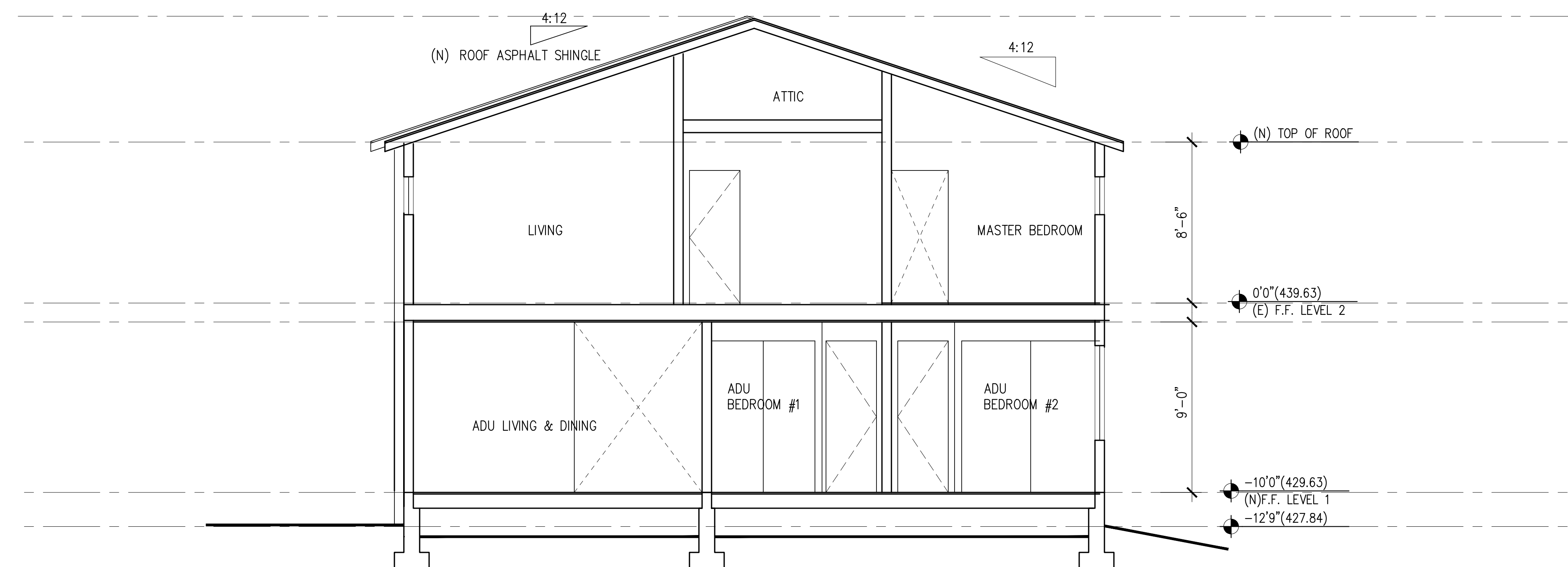
PROJECT OWNERS:

OWNERS:  
YABAI SONG

ADDRESS:  
140 WINDING WAY  
SAN CARLOS, CA 94070

EMAIL:  
YABAI.SONG@GMAIL.COM

PHONE:  
505 322 5471



**SECTION A 01**  
Scale: 1/4"=1'-0"

**SONG RESIDENCE  
ADU & ADDITION**

140 WINDING WAY  
SAN CARLOS, CA 94070  
APN: 049-141-420

DR SUBMITTAL	03-10-2021
DR REVISION 1	05-19-2022

Rev.	Date	Issue

Project No: 2022-01  
Scale: 1/4"=1'-0"  
SECTIONS

**GENERAL NOTES**

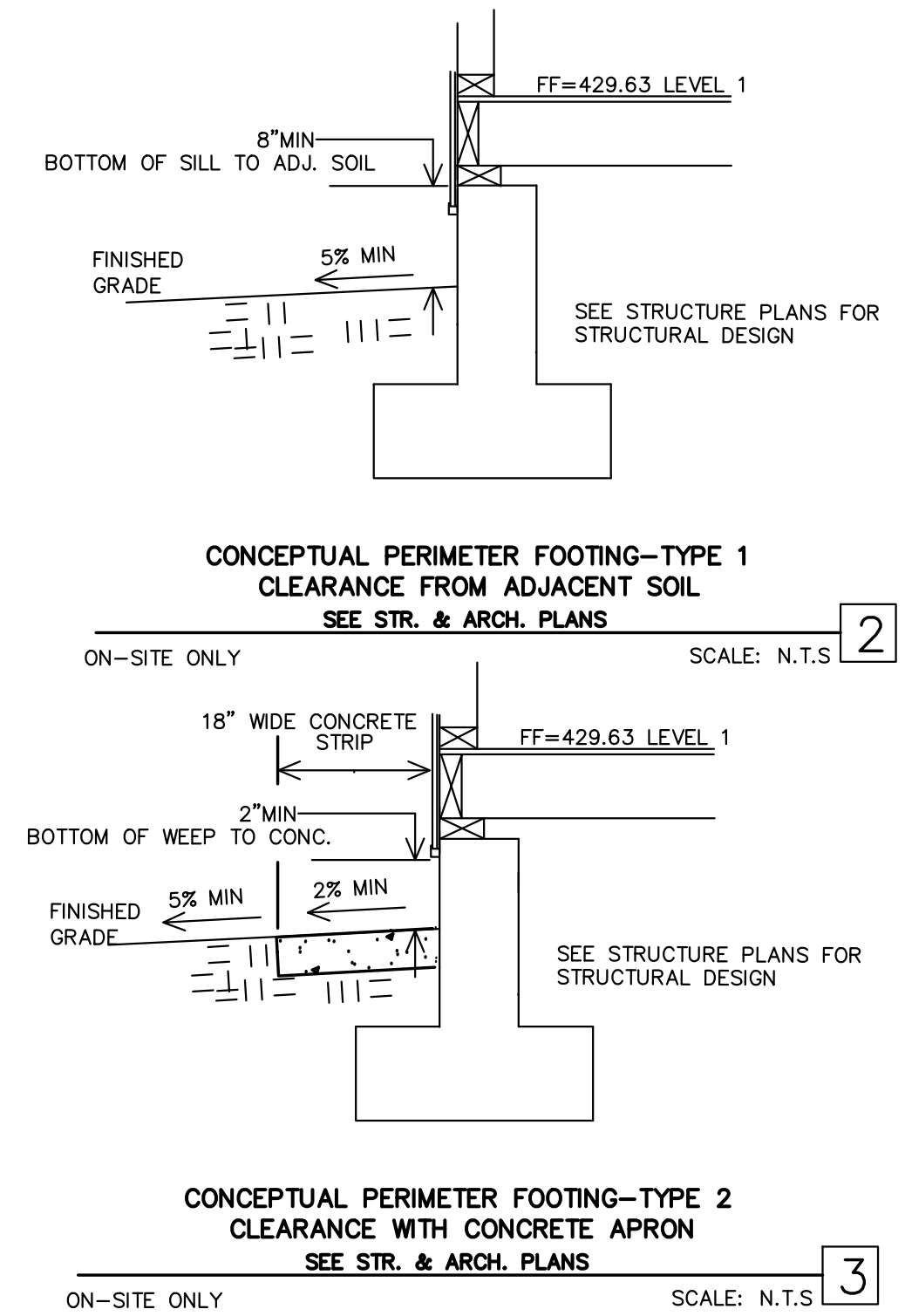
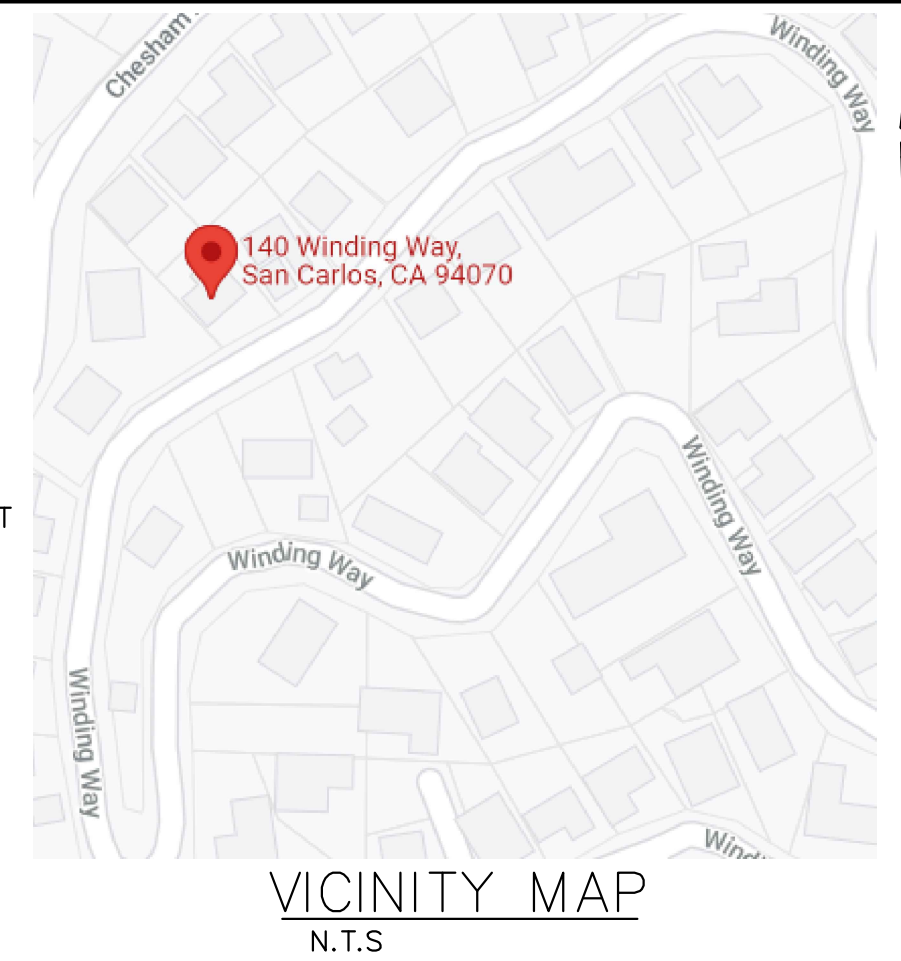
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENTS OF COUNTY OF SAN MATEO.
- CONTRACTOR SHALL SECURE A STREET OPENING PERMIT FROM THE COUNTY ENGINEERING DEPARTMENT AND PAY APPROPRIATE FEE PRIOR TO COMMENCEMENT OF WORK. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE UNDER A SINGLE STREET OPENING PERMIT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY AGENCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800/642-2444.
- EXISTING UTILITIES SHOWN ARE BASED UPON RECORD INFORMATION AND ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL POLOHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH, AND REPORT POTENTIAL CONFLICTS TO THE ENGINEER PRIOR TO EXCAVATION FOR NEW FACILITIES.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REPLACE ALL STREET MONUMENTS, LOT CORNER PIPES, AND GRADE STAKES DISTURBED DURING THE PROCESS OF CONSTRUCTION AT THE REGULAR ENGINEER'S FEE.
- PROVIDE CONCRETE PROTECTION BETWEEN UNDERGROUND PIPE CROSSINGS WITH 12" OR LESS VERTICAL CLEARANCE.
- ALL SURPLUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM PROJECT SITE AND FROM PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- GRADE BREAKS ON CURBS AND SIDEWALKS ARE TO BE ROUNDED OFF ON FORM WORK AND FINISHED SURFACING.
- CONTRACTOR SHALL PERFORM HIS CONSTRUCTION AND OPERATION IN MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY ISSUED BY THE SAN MATEO COUNTYWIDE STORM WATER POLLUTION PREVENTION PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT HIS PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED, EXCEPT AT LOCATION(S) APPROVED BY THE COUNTY.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY'S ENGINEERING DIVISION FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY
- THE STORM RUNOFF GENERATED BY THE NEW PROJECT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.

**GRADING NOTES**

- CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- THE SITE SHALL BE CLEARED OF ALL EXISTING STRUCTURES, CONCRETE FOOTINGS, PAVEMENT, LANDSCAPING MATERIALS AND UNDERGROUND UTILITIES.
- FINISHED GRADES ALONG THE PERIMETER OF THE FOUNDATION TO BE SLOPED AT A MINIMUM OF 5% FOR FIRST 5 FEET.
- ALL CONCRETE SHALL BE CLASS "A" CONFORMING TO SECTION 90 OF CALTRANS SPECIFICATIONS AND SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS PER CALIFORNIA TEST METHOD NO. 521.
- ASPHALT CONCRETE PAVEMENT SHALL BE TYPE B, 3/4" MAXIMUM, MEDIUM WITH SLURRY SEAL COAT. ASPHALT CONCRETE SHALL BE PLACED IN ONE OR MORE LIFTS TO THE MINIMUM TOTAL THICKNESS SHOWN ON THE PLANS. THE MAXIMUM THICKNESS OF EACH LIFT SHALL NOT EXCEED THREE (3) INCHES.
- AGGREGATE BASE SHALL BE PLACED BENEATH ALL SIDEWALK, CURB AND GUTTER, AND ASPHALT CONCRETE PAVEMENT AS SHOWN ON THE PLANS. AGGREGATE BASE SHALL BE CLASS 2, 1-1/2" MAXIMUM COMPACTED TO AT LEAST 95% RELATIVE COMPACTION PER ASTM D1557-91
- ON-SITE UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL. THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED EIGHT (8) INCHES IN UNCOMPACTED THICKNESS AND SHALL BE MECHANICALLY COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- ALL UTILITIES SHALL BE UNDERGROUND FROM THE PROPERTY LINES IN. LOCATION OF METERS ARE AS NOTED. COORDINATE ALL SUCH WORK WITH THE UTILITY COMPANY HAVING JURISDICTION.
- STORM DRAIN POLLUTION PREVENTION. PROTECT DOWNSLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH HAY BALES, TEMPORARY DRAINAGE SWALES, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS COVER STOCK PILES AND EXCAVATED SOIL WITH SECURED TARPS OR PLASTIC SHEETING.
- CONTACT PUBLIC WORKS TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK TO SCHEDULE A PRE-CONSTRUCTION MEETING AND FOR EACH SUBSEQUENT DAY OF WORK IN THE PUBLIC RIGHT OF WAY.
- ALL EXISTING FRONTAGE IMPROVEMENTS (CURB, GUTTER, SIDEWALK, VALLEY GUTTER, PARKING STRIP) THAT ARE DAMAGE DURING THE COURSE OF CONSTRUCTION MUST BE REPAIRED TO "AS NEW" CONDITION. COUNTY WILL NOT BEAR THE COSTS OF RECONSTRUCTION.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE COUNTY OF SAN MATEO STANDARD DETAILS. ALL DETAILS APPLICABLE TO THE PARTICULAR CONSTRUCTION ACTIVITY SHALL BE UTILIZED.
- ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY ARE TO BE COMPLETED AND APPROVED BY THE CONSTRUCTION SUPERVISOR PRIOR TO FINAL INSPECTION BY THE BUILDING INSPECTOR.
- DATE OF SURVEY: XXXX, 2021
- ALL GRADING DURING THE RAINY SEASON (OCT. 1ST THROUGH APRIL 30TH) REQUIRES AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE CITY. STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED THROUGHOUT THE YEAR, TO THE SATISFACTION OF THE CONSTRUCTION SUPERVISOR.
- ALL CHANGES TO THE APPROVED GRADING AND DRAINAGE PLAN REQUIRE A PLAN MODIFICATION APPROVAL BY THE COUNTY IN ADVANCE OF CONSTRUCTION THE CHANGE. THE PROPOSED PLAN CHANGE MUST BE GENERATED FROM THE ENGINEER/ARCHITECT WHO ORIGINALLY PREPARED THE PLAN.
- ANY DEVIATION FROM THE APPROVED PLAN AND/OR FAILURE TO OBTAIN GRADING AND DRAINAGE INSPECTION MAY AFFECT THE PUBLIC WORKS SIGN-OFF FOR BUILDING FINAL AND/OR OCCUPANCY.

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	MH	MAN HOLE
APN	ASSESSORS PARCEL NUMBER	MON	MONUMENT
BFP	BACK FLOW PREVENTER	N	NEW
BLD	BUILDING	PL	PROPERTY LINE
CB	CATCH BASIN	PM	PARCEL MAP
CO	CLEAN OUT	PVMT	PAVEMENT
CONC	CONCRETE	RD	ROOF DRAIN
CP	CONTROL POINT	RM	TOP OF GRATE
DS	DOWN SPOUT	SD	STORM DRAIN
DWY	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
EX	EXISTING	SS	SANITARY SEWER
EM	ELECTRICAL METER	SSCO	SANITARY SEWER CLEANOUT
FC	FACE OF CURB	S/W	SIDEWALK
FF	FINISH FLOOR	TBM	TEMPORARY BENCH MARK
FG	FINISH GRADE	VG	VALLEY GUTTER
FH	FIRE HYDRANT	W	WATER
G	GAS/GROUND	WDF	WOOD FENCE
GM	GAS METER	WM	WATER METER
INV	PIPE INVERT	WV	WATER VALVE
JP	JOINT POLE		
LW	LIGHT WELL		



**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
---	SD	STORM DRAIN
---	SS	SANITARY SEWER
---	G	GAS
---	W	WATER
---	DSO	DOWN SPOUT
---	CB	CATCH BASIN (CB)
---	FR	FIBER ROLL
---	RRF	RETENTION ROCK FOOTPRINT
---	TOF	TEMPORARY ORANGE TREE PROTECTION FENCING

**LAND SURVEY**

SURVEY COMPLETED BY B&H LAND SURVEYING  
901 WALTERMIRE STREET, BELMONT, CA 94001  
PHONE 650-637-1590

**LOT AREA**

4520 SQ. FT. +/-

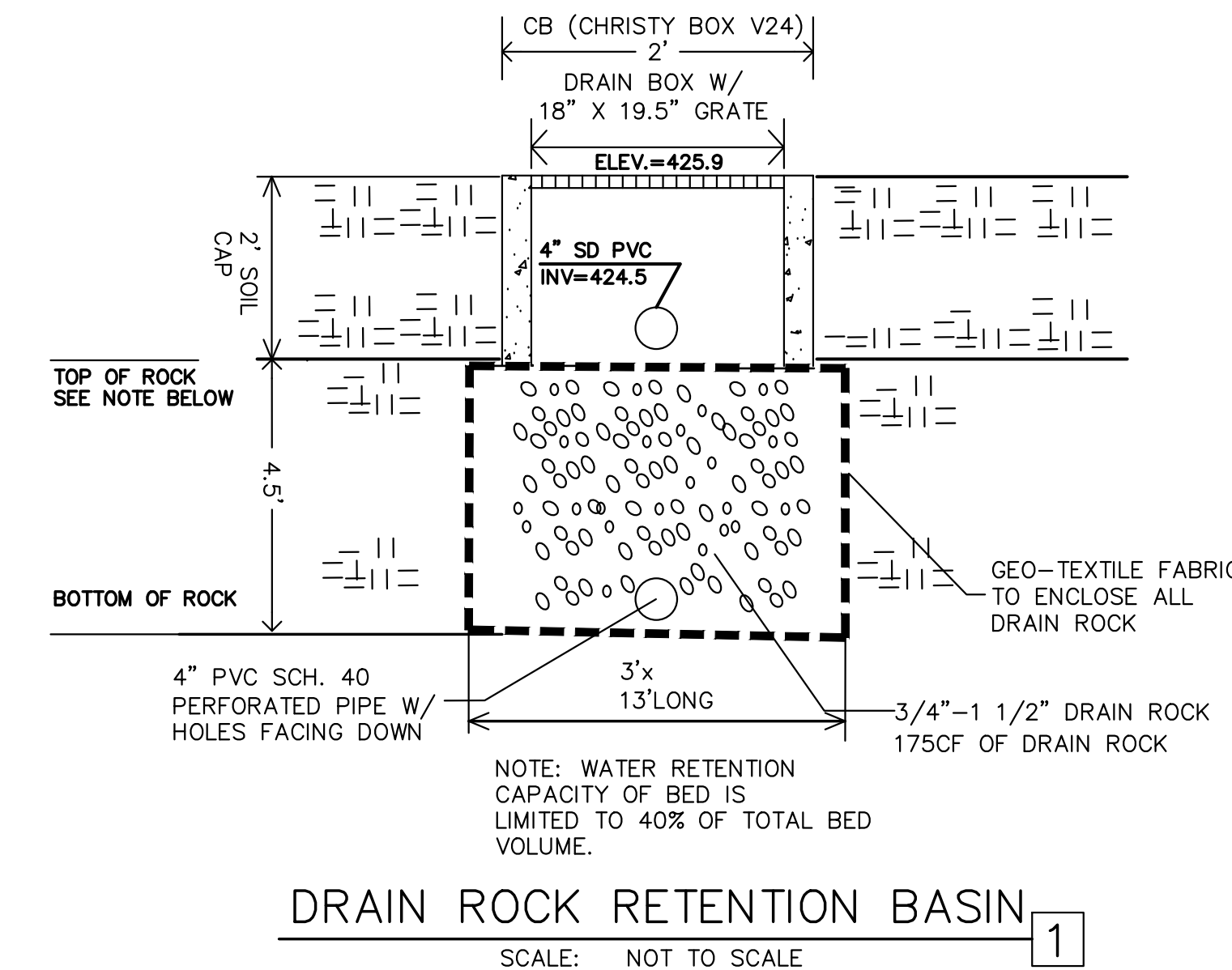
**BASIS OF ELEVATIONS:**

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.

TBM: NAIL AND SHINER SET AT EDGE OF ROAD POINT NUMBER 111  
ELEVATION = 445.93'

**BASIS OF BEARINGS:**

THE BEARING N 49°05'40" W ON THE NORTHEASTERLY LINE OF LOT 104, BLOCK 15, AS SHOWN ON 13 MAPS 51, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.



**DRAIN ROCK RETENTION BASIN**  
SCALE: NOT TO SCALE

**RETENTION CALCULATIONS**

VOLUME OF DRAIN ROCK REQUIRED PER CALCULATIONS  
V(CF) = 143CF  
VOLUME OF DRAIN ROCK  
USE 3' X 11' FOOTPRINT WITH 4.5' DEPTH OF ROCK  
VOL OF DRAIN ROCK = 3' X 11' X 4.5' DEEP = 148.5CF  
TOTAL VOL. OF VOIDS = 59.4 CF

**GEOTECHNICAL REPORT**

ALL WORK TO BE COMPLETED IN CONFORMANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROMIG ENGINEERS PROJECT NO. 5286-1, DECEMBER 2020. PHONE: 650-591-5224

**ESTIMATED EARTHWORK QUANTITIES**

	CUT	FILL
TOTAL	10CY±	10CY

ESTIMATE ASSUMES A 15% COMPACTION FACTOR ON ALL FILL MATERIAL AND A 0% COMPACTION FACTOR ON ALL CUT MATERIAL. ESTIMATE DOES NOT INCLUDE VOLUMES FOR CLEARING AND GRUBBING. ALL TOPSOIL FROM CUT CAN BE USED IN TOP 1' OF LANDSCAPE.  
CONTRACTOR TO MAKE OWN ESTIMATES OF QUANTITIES FOR BIDDING PURPOSES BASED ON ALL PLANS.



Scott W. Hoffman  
Digitally signed by Scott W. Hoffman  
Date: 2022.05.16 21:18:22 -0700

**REVISIONS**

DATE	DESCRIPTION

JOB NO. 21081

SCALE: AS SHOWN

DRAWN BY: YC

CHECKED BY: SH

DATE: 04/27/22

SHEET

**C1**

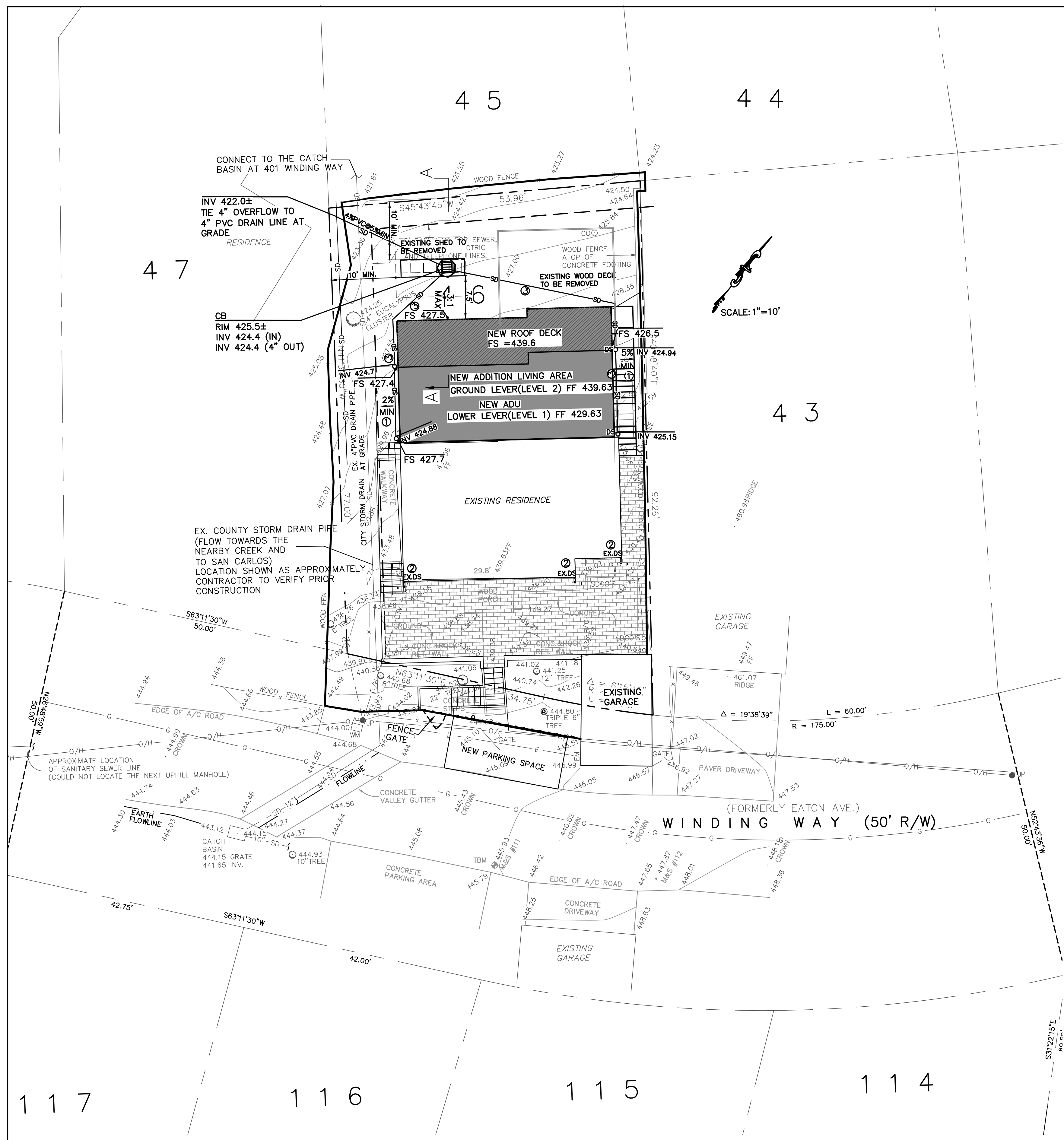
OF 5 SHEETS

GRADING AND DRAINAGE NOTES & DETAILS

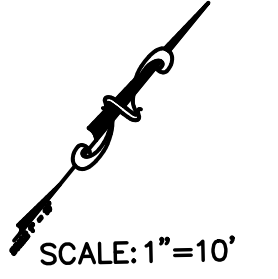
140 WINDING WAY, SAN CARLOS, CA 94070  
SAN MATEO COUNTY (UNINCORPORATED)  
APN 049-14-1420

BAY LAND CONSULTING  
CIVIL ENGINEERS  
P.O. BOX 299  
Santa Clara, California 95050  
Ph: (408) 296-6000  
SERVING THE BAY AREA

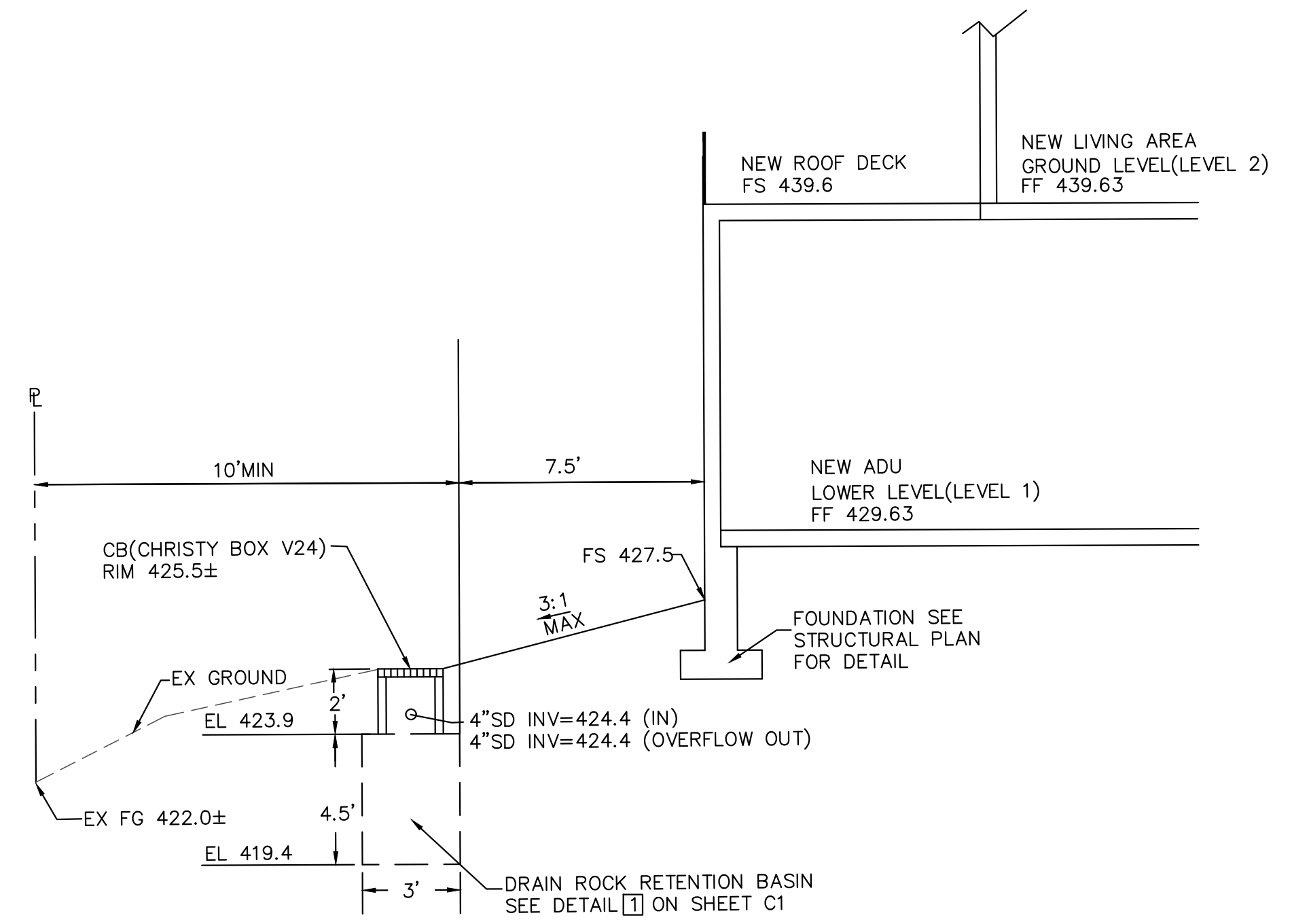




- NOTATIONS**
- ① SLOPE GROUND AWAY FROM FOUNDATION @ 5% MIN ON SOIL AND @ 2% MIN ON CONCRETE FOR FIRST 10 FEET.
  - ② EXISTING DOWNSPOUTS TO REMAIN
  - ③ 4" PVC SCHEDULE 40 MIN. @ 1.5% MIN UNLESS OTHERWISE NOTED



SCALE: 1"=10'



**SECTION A-A**  
SCALE: NOT TO SCALE

**GRADING AND DRAINAGE PLAN**

140 WINDING WAY, SAN CARLOS, CA 94070  
SAN MATEO COUNTY (UNINCORPORATED)  
APN 049-14-1420

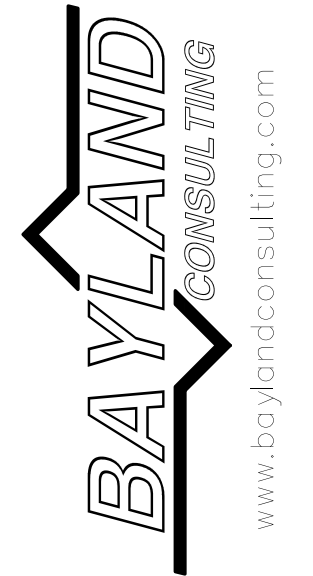
**REVISIONS**

DATE	DESCRIPTION

JOB NO. 21081  
SCALE: AS SHOWN  
DRAWN BY: YC  
CHECKED BY: SH  
DATE: 04/27/22

SHEET  
**C2**  
OF 5 SHEETS

**BAY LAND CONSULTING**  
CIVIL ENGINEERS  
P.O. BOX 299  
Santa Clara, California 95050  
Ph: (408) 296-6000  
SERVING THE BAY AREA



Scott W. Hoffman  
Hoffman  
Date: 2022.05.16 21:18:43  
-57.00



CONNECT TO THE CATCH BASIN AT 401 WINDING WAY

INV 422.0±  
TIE 4" OVERFLOW TO  
4" PVC DRAIN LINE AT  
GRADE

INSTALL TEMPORARY  
INLET PROTECTION  
SEE DETAIL SHEET C3A

INSTALL TEMPORARY TREE  
PROTECTION FENCING  
5' TALL ORANGE PLATIC  
FENCING SUPPORTED BY  
POLES POUNDED INTO THE  
GROUND

WRAP TREE W/ STRAW ROLL  
SEE DETAIL SHEET C3A

INSTALL TEMPORARY STRAW ROLLS  
AROUND THE PERIMETER FOR EROSION CONTROL  
SEE DETAIL SHEET C3A

EX. COUNTY STORM DRAIN PIPE  
(FLOW TOWARDS THE  
NEARBY CREEK AND  
TO SAN CARLOS)  
LOCATION SHOWN AS APPROXIMATELY  
CONTRACTOR TO VERIFY PRIOR  
CONSTRUCTION

WRAP TREE W/ STRAW ROLL SEE DETAIL  
SHEET C3A

INSTALL TEMPORARY TREE  
PROTECTION FENCING  
5' TALL ORANGE PLATIC  
FENCING SUPPORTED BY  
POLES POUNDED INTO THE  
GROUND

APPROXIMATE LOCATION  
OF SANITARY SEWER LINE  
(COULD NOT LOCATE THE NEXT UPHILL MANHOLE)

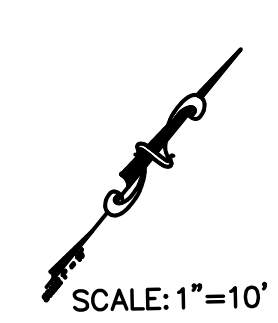
INSTALL INLET PROTECTION  
AT NEAREST DOWNSTREAM INLET.  
DETAIL SHEET C3A

CONCRETE PARKING AREA

CONCRETE DRIVEWAY

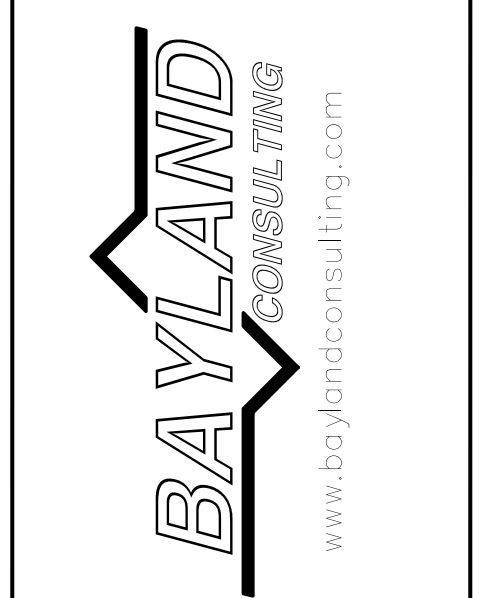
EXISTING GARAGE

WINDING WAY (FORMERLY EATON AVE.)  
(50' R/W)



SCALE: 1"=10'

BAY LAND CONSULTING  
CIVIL ENGINEERS  
P.O. BOX 299  
Santa Clara, California 95050  
Ph: (408) 296-6000  
SERVING THE BAY AREA

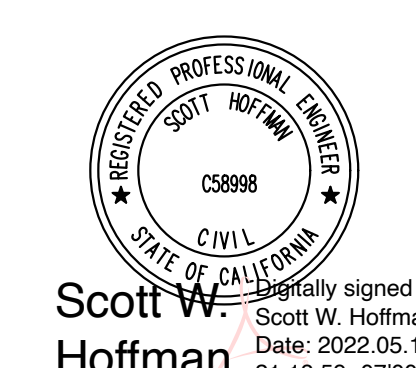


GRADING AND DRAINAGE  
EROSION CONTROL, STAGING AND  
TREE PROTECTION PLAN  
140 WINDING WAY, SAN CARLOS, CA 94070  
SAN MATEO COUNTY (UNINCORPORATED)  
APN 049-14-1420

REVISIONS	
DATE	DESCRIPTION

JOB NO. 21081  
SCALE: AS SHOWN  
DRAWN BY: YC  
CHECKED BY: SH  
DATE: 04/27/22

SHEET  
C3  
OF 5 SHEETS



Scott W. Hoffman  
Digitally signed by Scott W. Hoffman  
Date: 2022.05.14 21:18:50 -0700

**Standard Erosion Control Comments:**

- Erosion Control Point of Contact. (Please provide an Erosion Control Point of Contact including name, title/qualification, email, and phone number. The EC Point of Contact will be the County's main point of contact if Erosion Control or Tree Protection corrections are required).  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Email: \_\_\_\_\_  
Phone Number: \_\_\_\_\_
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points.
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
- Placement of erosion materials at these locations are required on weekends and during rain events: (List locations)
- The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or run over.
- Construction sites are required to have erosion control materials on-site during the off-season.
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1 and April 30 is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- Tree protection shall be in place before any demolition, grading, excavating or grubbing is started.

**Erosion Control Notes:**

- All erosion control measures shall be onsite and readily accessible prior to construction.
- Sweep or scrape up soils tracked onto the road at the end of each day. Do not hose into street, gutter or storm drain.
- Revegetate disturbed areas. Exposed bare dirt shall be covered with mulch, jute netting or other erosion control blanket.
- All temporary stockpiles shall be covered with 6 mil. Plastic sheets, suitable anchored.
- The site shall be monitored by the contractor/owner after rain event to verify erosion control measures are functioning.

NOTE: MAX. DEPTH OF BED IS LIMITED TO 2FT & BED MUST BE LOCATED AT LEAST 10FT AWAY FROM NEAREST PROPERTY LINE & TREE.

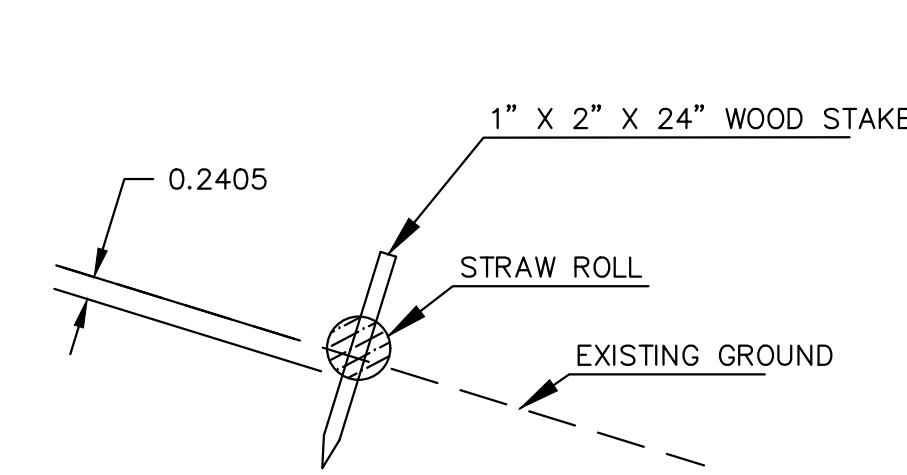
**EST. DIMENSIONS OF GRAVEL BED:**

WIDTH = 4FT  
LENGTH = 4FT  
DEPTH = 2 FT

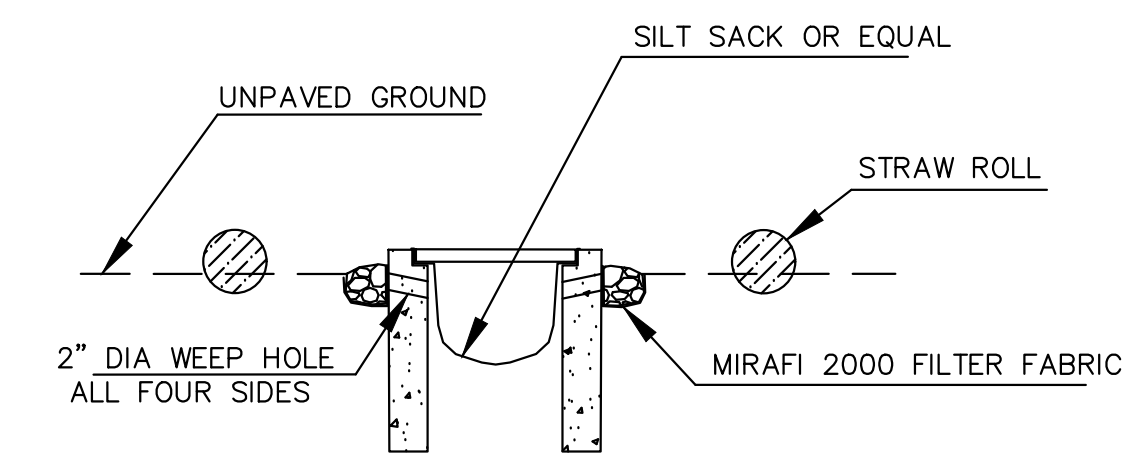
PER DETAIL BELOW

**MAINTENANCE NOTES**

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLIES MUST BE REPAIRED.
- SAND BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.

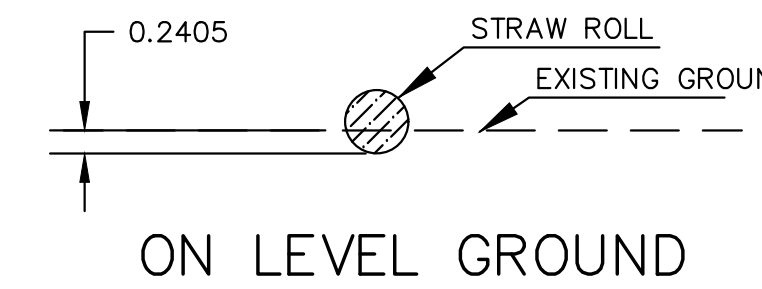


ON SLOPES



SECTION IPU-1

NOT TO SCALE

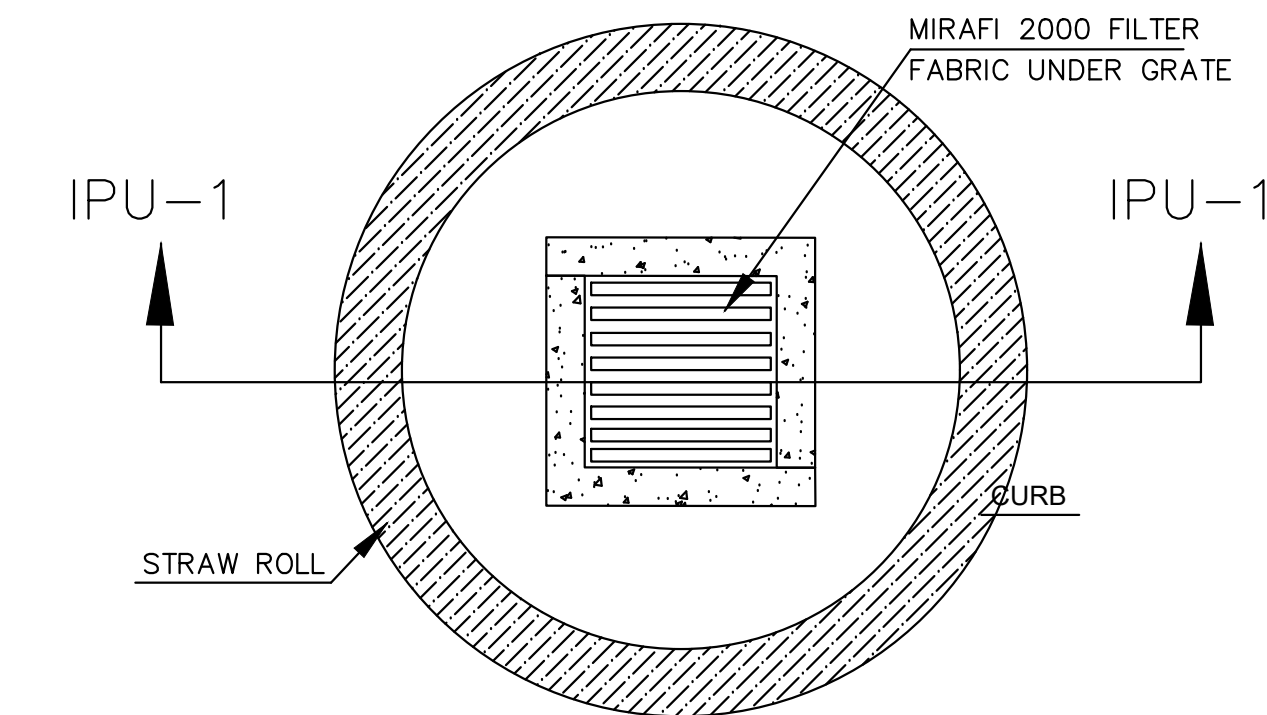


ON LEVEL GROUND

- PLACE STRAW ROLL IN TRENCH EXCAVATED 3" (0.024') INTO GROUND ALONG CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
- ON SLOPES PLACE ROLL TO FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. CURVE ENDS UPHILL AT THE ENDS.
- ABUT ADJACENT ROLLS TIGHTLY.

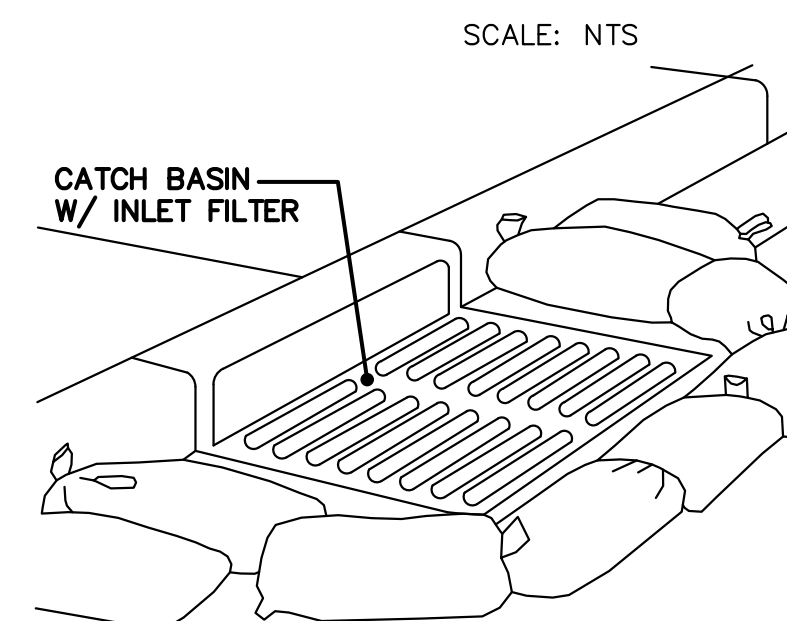
STRAW ROLL OR FIBER ROLL

SCALE: NTS



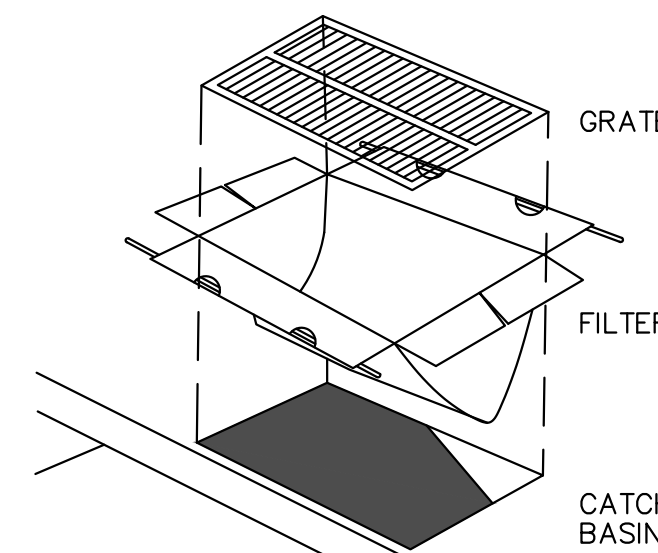
INLET PROTECTION IN UNPAVED AREAS

SCALE: NTS



CATCH BASIN W/ INLET FILTER

SCALE: NTS



CATCH BASIN INLET FILTER

**NOTES:**  
BRING THE DISTURBED AREA TO THE GRADE OF THE DROP INLET AND SMOOTH AND COMPACT IT. APPROXIMATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

PROPERLY DISPOSE OF ACCUMULATED SEDIMENT

INSPECT ALL INLET PROTECTION DEVICES BEFORE AND AFTER RAINFALL EVENTS, AND WEEKLY THROUGHOUT THE RAIN SEASON. DURING EXTENDED RAINFALL EVENTS, INSPECT INLET PROTECTION DEVICES AT LEAST ONCE EVERY 24 HOURS.

REMOVE ALL INLET PROTECTION DEVICES WITHIN THIRTY DAYS AFTER THE SITE IS STABILIZED, OR WHEN INLET PROTECTIONS IS NO LONGER REQUIRED.

**INSTALLATION**  
REMOVE DRAIN GRATE

INSERT CATCH BASIN FILTER INTO BASIN LEAVING 3" FLAP EXPOSED

REPLACE GRATE TO BASIN THEREBY PINCHING FABRIC BETWEEN GRATE AND CATCH BASIN AND HOLDING FILTER IN PLACE

**INSPECTION AND MAINTENANCE**

INSPECT CATCH BASIN FILTERS WEEKLY AND AFTER EVERY RAIN EVENT

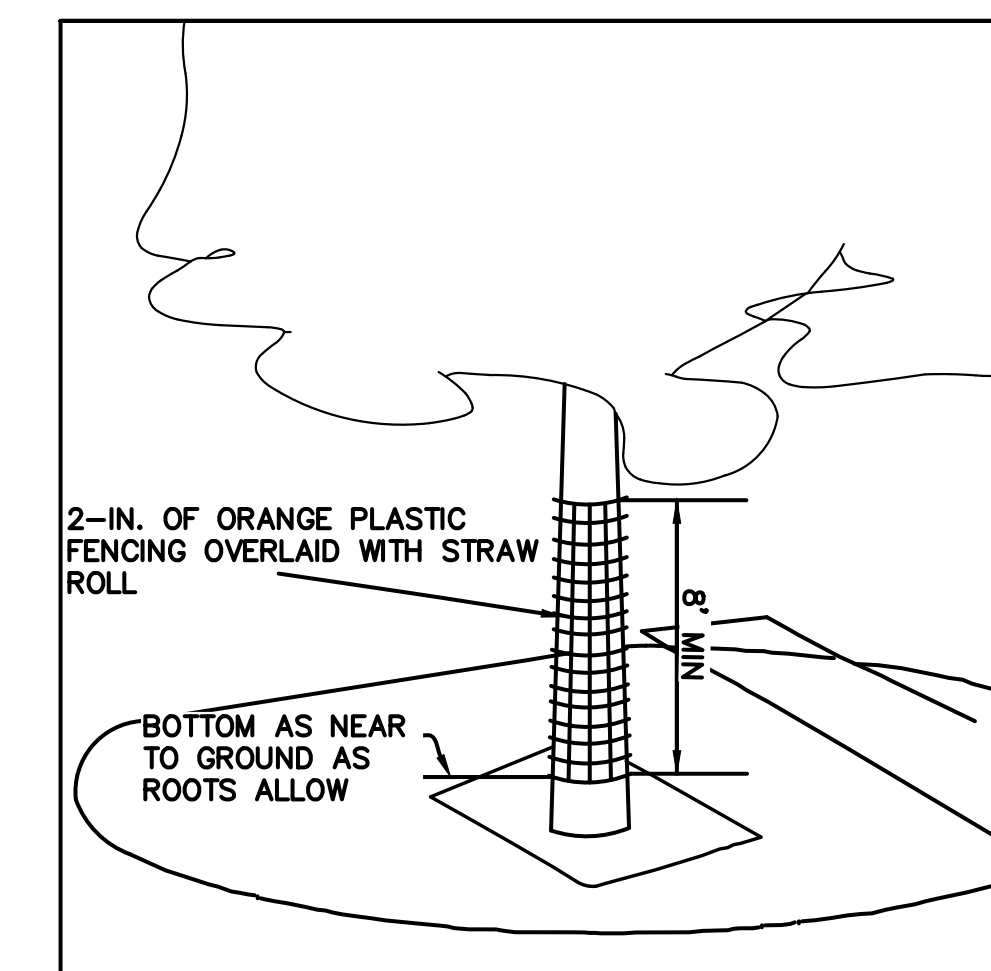
EMPTY CATCH BASIN FILTERS WHEN FILTERS APPEAR TO BE HALF FULL

DISPOSE OF TRAPPED SEDIMENT IN ACCORDANCE WITH LOCAL REQUIREMENTS

CLEAN AND REUSE INLET FILTERS OR DISCARD AND REPLACE AS NECESSARY

STORM DRAIN INLET PROTECTION PUBLIC STREET

4



DETAIL TREE PROTECTION WRAP WITH STRAW ROLL

SCALE: NTS

3

BAY LAND CONSULTING  
CIVIL ENGINEERS  
P.O. BOX 299  
Santa Clara, California, 95050  
Ph: (408) 296-6000  
SERVING THE BAY AREA



GRADING AND DRAINAGE  
EROSION CONTROL AND DETAILS  
TREE PROTECTION DETAILS  
140 WINDING WAY, SAN CARLOS, CA 94070  
SAN MATEO COUNTY (UNINCORPORATED)  
APN 049-14-1420

**REVISIONS**

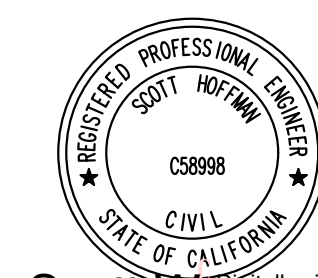
DATE	DESCRIPTION

JOB NO. 21081  
SCALE: AS SHOWN  
DRAWN BY: YC  
CHECKED BY: SH  
DATE: 04/27/22

SHEET

C3A

OF 5 SHEETS



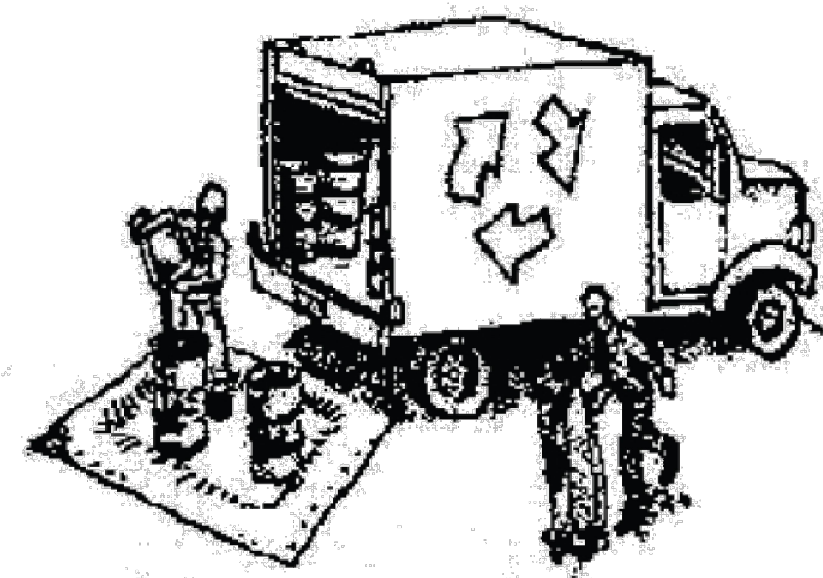
Scott W. Hoffman  
Hoffman  
Digitally signed by Scott W. Hoffman  
Date: 2022.05.16 21:19:16 -0700



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



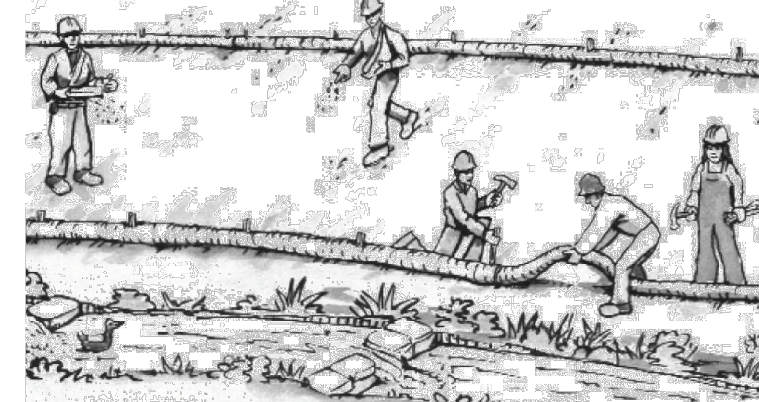
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving

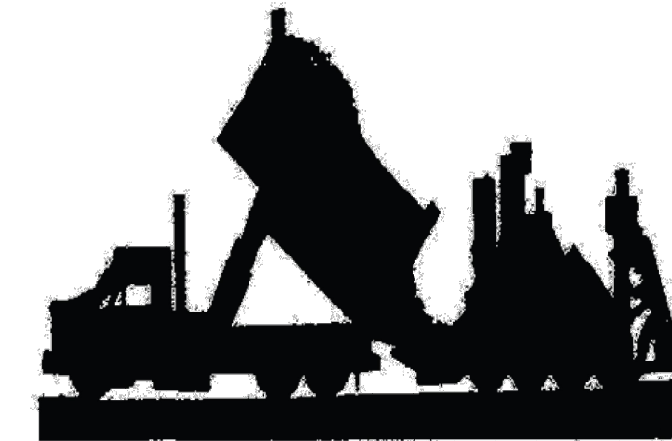


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

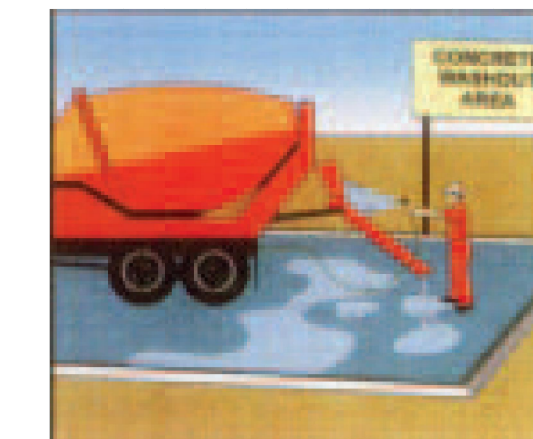


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

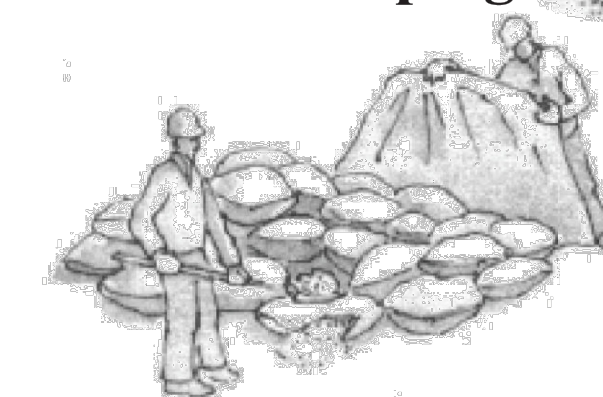
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



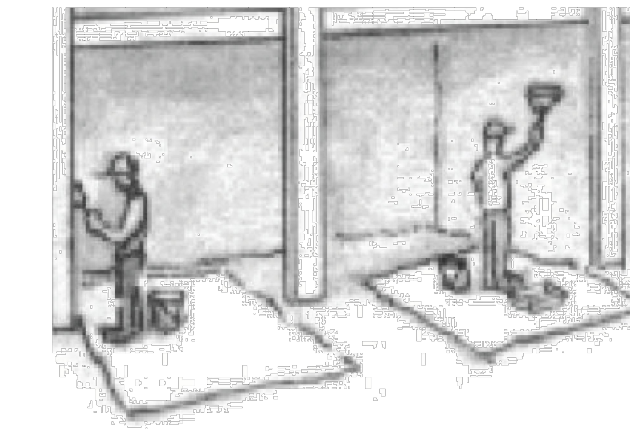
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

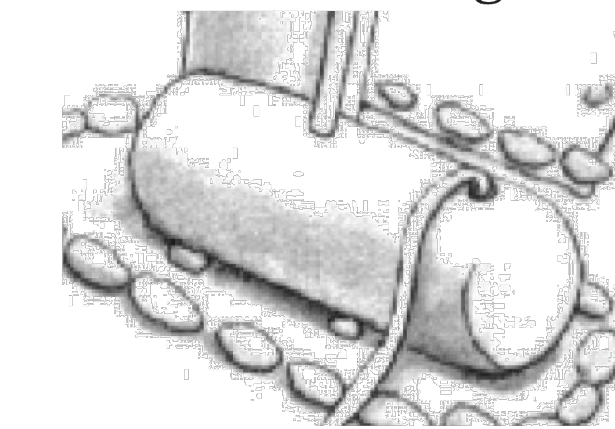
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

### REVISIONS

DATE	DESCRIPTION

JOB NO. 21081  
SCALE: AS SHOWN  
DRAWN BY: YC  
CHECKED BY: SH  
DATE: 04/27/22